

## ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

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**PROJECT:** NEW APARTMENT COMPLEX: **ASI No.:** 2  
RIVERS RIDGE LUXURY APTS.  
Red Wing, MN 55066  
**DATE OF ISSUANCE:** December 27, 2016

**OWNER:** Keller-Baartman Properties, IV, LLC **ARCHITECT:** HMA Architects, Ltd.  
1489 Hay Creek Valley Road  
PO Box 31  
Red Wing, MN 55066  
700 W. St. Germain Street  
Suite 200  
St. Cloud, MN 56301-3507

**TO CONTRACTOR:** Lumber One Avon  
101 Second Street NW  
PO Box 7  
Avon, MN 56310  
**ARCHITECT'S  
PROJECT NO.:** 1602

**CONTRACT FOR:** General Construction

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The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgement that there will be no change in the Contract Sum or Contract Time.

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**Description:**

SHEET A2.7, A2.9, A2.11, A2.13


1. Revise Unit Type 1A bathtub location as shown. See enlarged plan on sheet A2.16.

SHEET A2.16

2. Revise unit type 1A bathtub location as shown.

Attachments: A2.7, A2.9, A2.11, A2.13, A2.16

ISSUED BY:



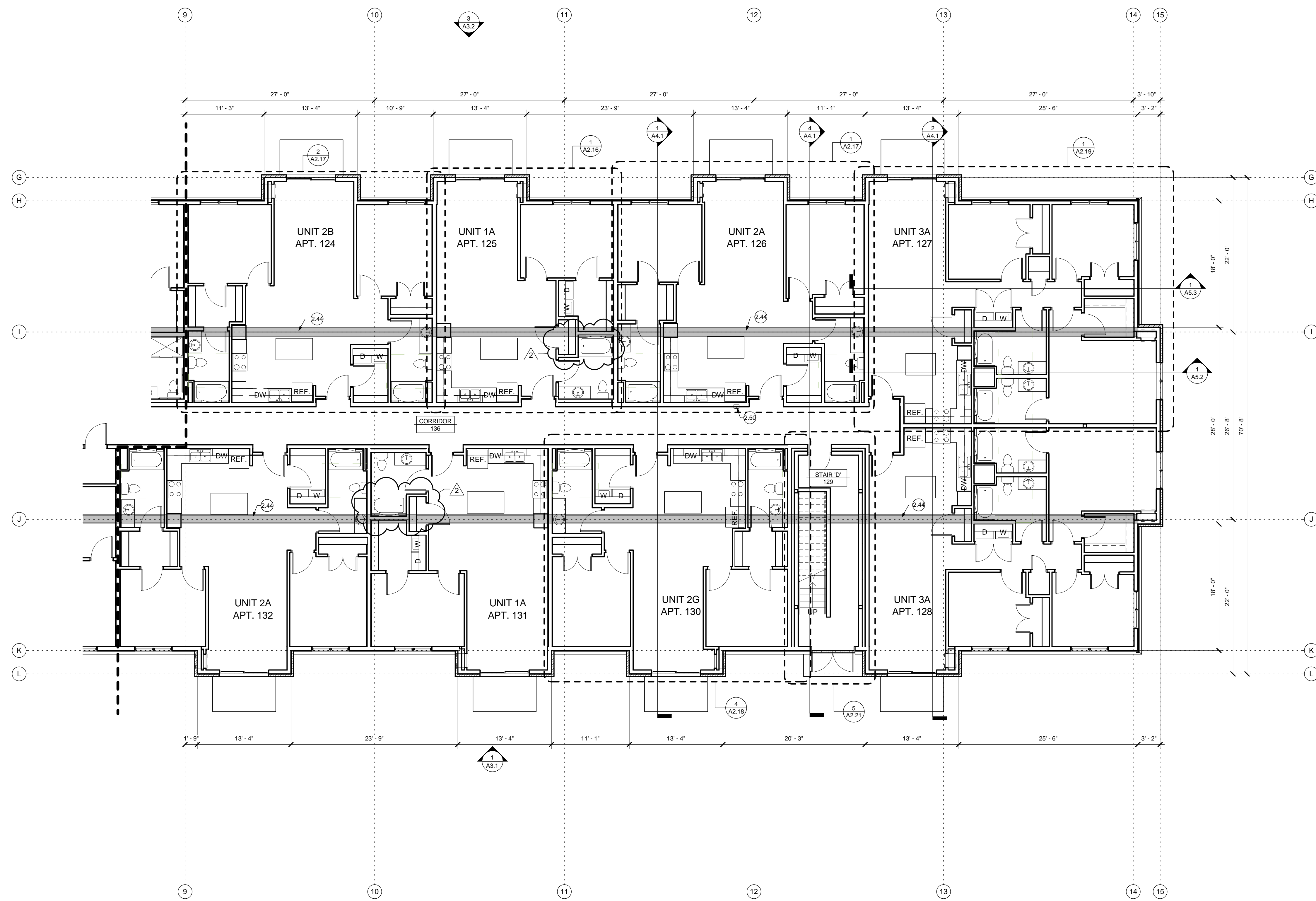
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Dean Stienessen, Sr. Project Manager  
HMA Architects, Ltd.

Cc: Lumber One Avon

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T | 320.251.9155  
F | 320.251.4919



1 FIRST FLOOR - AREA B  
A2.7 SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- A. ALL DIMENSIONS ON FLOOR PLANS ARE TAKEN FROM OUTSIDE FACE OF SHEATHING OR CENTERLINE OF STUDS OR FACE OF CONCRETE.
  - B. PROVIDE ESCUTCHEON PLATES AT ALL PLUMBING PIPE PENETRATIONS.
  - C. PROVIDE NECESSARY BLOCKING FOR KITCHEN CABINETS, WINDOW TREATMENTS, HANDRAILS, TOWEL BARS, GRAB BARS, FUTURE GRAB BARS, CLOSET SHELVING, ETC.
  - D. ALL PENETRATIONS IN UNIT PARTY WALLS (1-HOUR TYP.) SHALL BE FIRE STOPPED IN ACCORDANCE WITH FIRE STOP ASSEMBLIES LISTED WITH APPROVED TESTING AGENCIES AND APPROVED BY THE BUILDING OFFICIAL.
  - E. INSTALL FIRE BLOCKING IN ACCORDANCE WITH THE BUILDING CODE, FOR EXAMPLE:
    - CONCEALED STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICALLY AND HORIZONTALLY.
    - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (SOFFITS, DROPPED CEILINGS, COVERED CEILINGS, ETC.)
    - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND SIMILAR OPENINGS.
  - F. SEE SHEET A2.20 FOR TYPICAL DOOR SCHEDULE AND ROOM FINISH SCHEDULE.
  - G. ALL INTERIOR APARTMENT UNIT WALLS ARE WALL TYPE 3 UNLESS NOTED OTHERWISE.
  - H. PROVIDE FIRE SPRINKLER PROTECTION TO ALL EXTERIOR BALCONIES.
  - I. PROVIDE PAINTED NUMBERS AT EACH PARKING STALL. COORDINATE WITH OWNER.
- FLOOR PLAN - KEY NOTES**
- 2.44 SHADED AREA INDICATES PRECAST BEAM BELOW
  - 2.50 APPROXIMATE LOCATION OF 4-A RATED FIRE EXTINGUISHER AND RECESSED MOUNTED CABINET

**Lumber One, Avon**  
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Murray A. Mack*  
Printed Name: Murray A. Mack  
License No.: 18686  
Date: 09/30/2016

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Project No: 1602  
Project Manager: DAS  
Drawn By: SR, BW, BZ  
Date: 09/30/2016

Δ	Date	Description
2	12/21/2016	Revision 2

**hma ARCHITECTS**

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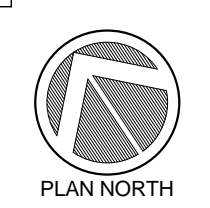
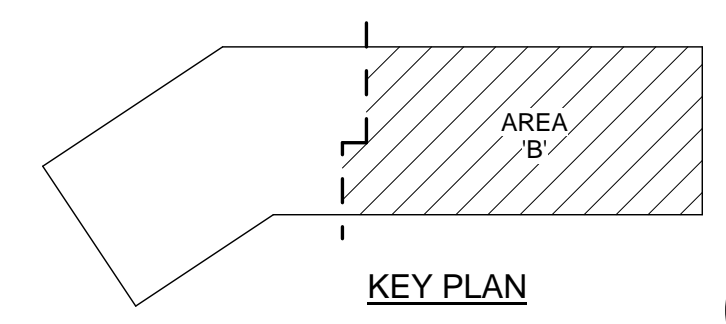
New Apartment Complex:

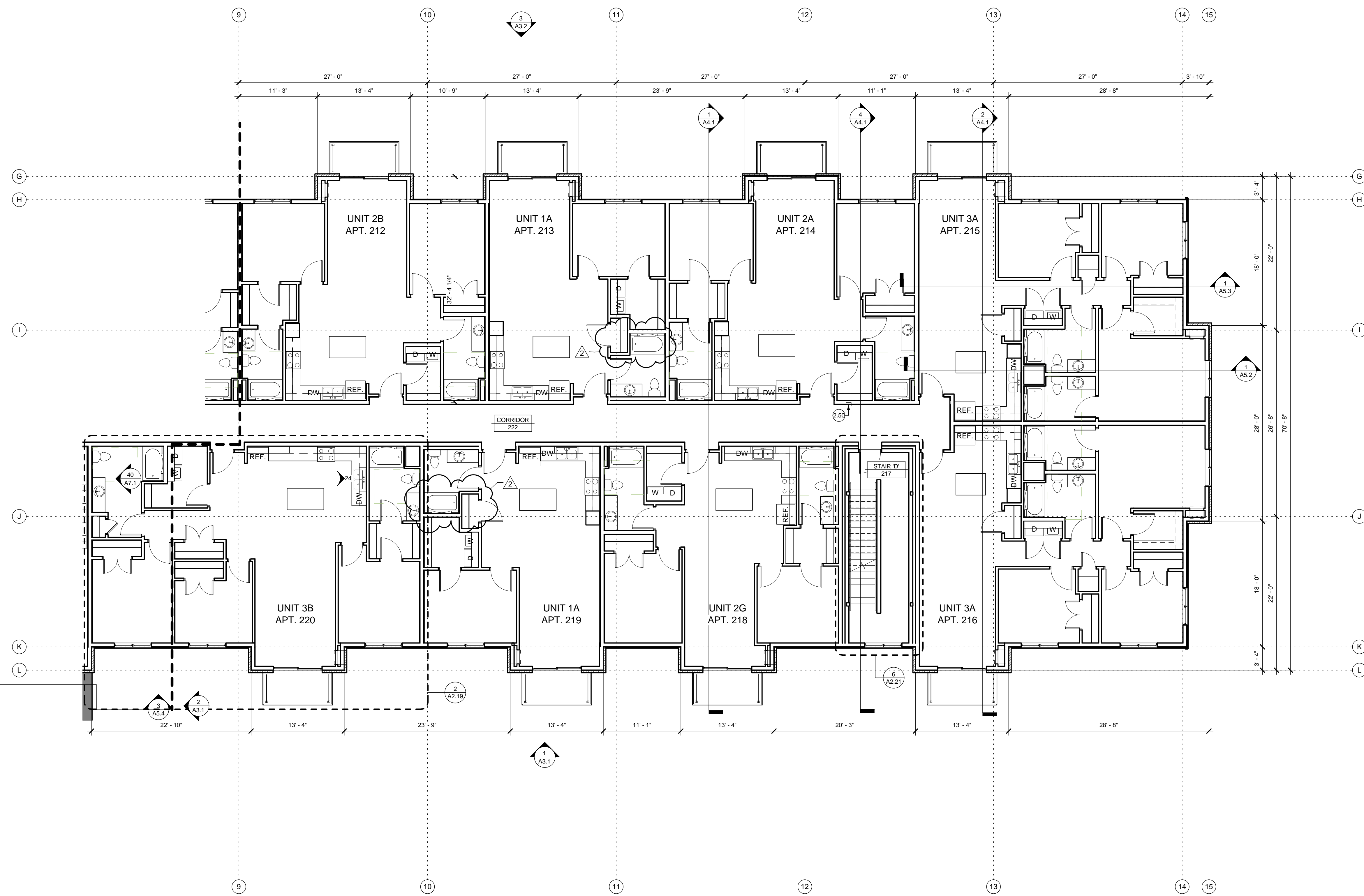
**Rivers Ridge  
Luxury  
Apartments**

Red Wing, MN

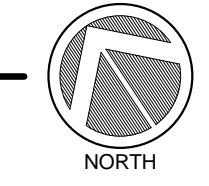
First Floor Plan - Area B

**A2.7**





1 SECOND FLOOR - AREA B  
A2.9 SCALE: 1/8" = 1'-0"



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- ALL DIMENSIONS ON FLOOR PLANS ARE TAKEN FROM OUTSIDE FACE OF SHEATHING OR CENTERLINE OF STUDS OR FACE OF CONCRETE.
  - PROVIDE ESCUTCHEON PLATES AT ALL PLUMBING PIPE PENETRATIONS.
  - PROVIDE NECESSARY BLOCKING FOR KITCHEN CABINETS, WINDOW TREATMENTS, HANDRAILS, TOWEL BARS, GRAB BARS, FUTURE GRAB BARS, CLOSET SHELVING, ETC.
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  - SEE SHEET A2.20 FOR TYPICAL DOOR SCHEDULE AND ROOM FINISH SCHEDULE.
  - ALL INTERIOR APARTMENT UNIT WALLS ARE WALL TYPE 3 UNLESS NOTED OTHERWISE.
  - PROVIDE FIRE SPRINKLER PROTECTION TO ALL EXTERIOR BALCONIES.
  - PROVIDE PAINTED NUMBERS AT EACH PARKING STALL. COORDINATE WITH OWNER.
- FLOOR PLAN - KEY NOTES**
- APPROXIMATE LOCATION OF 4-A RATED FIRE EXTINGUISHER AND RECESSED MOUNTED CABINET

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Drawn By: SR, BW, BZ  
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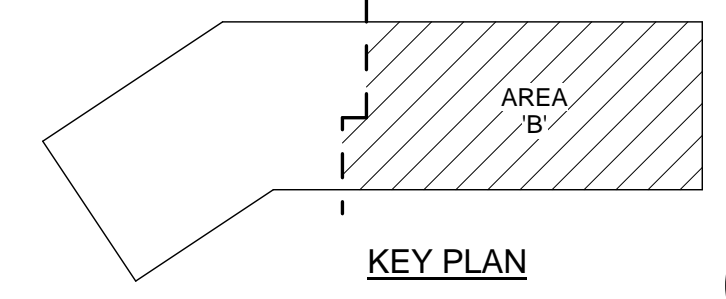
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New Apartment Complex:

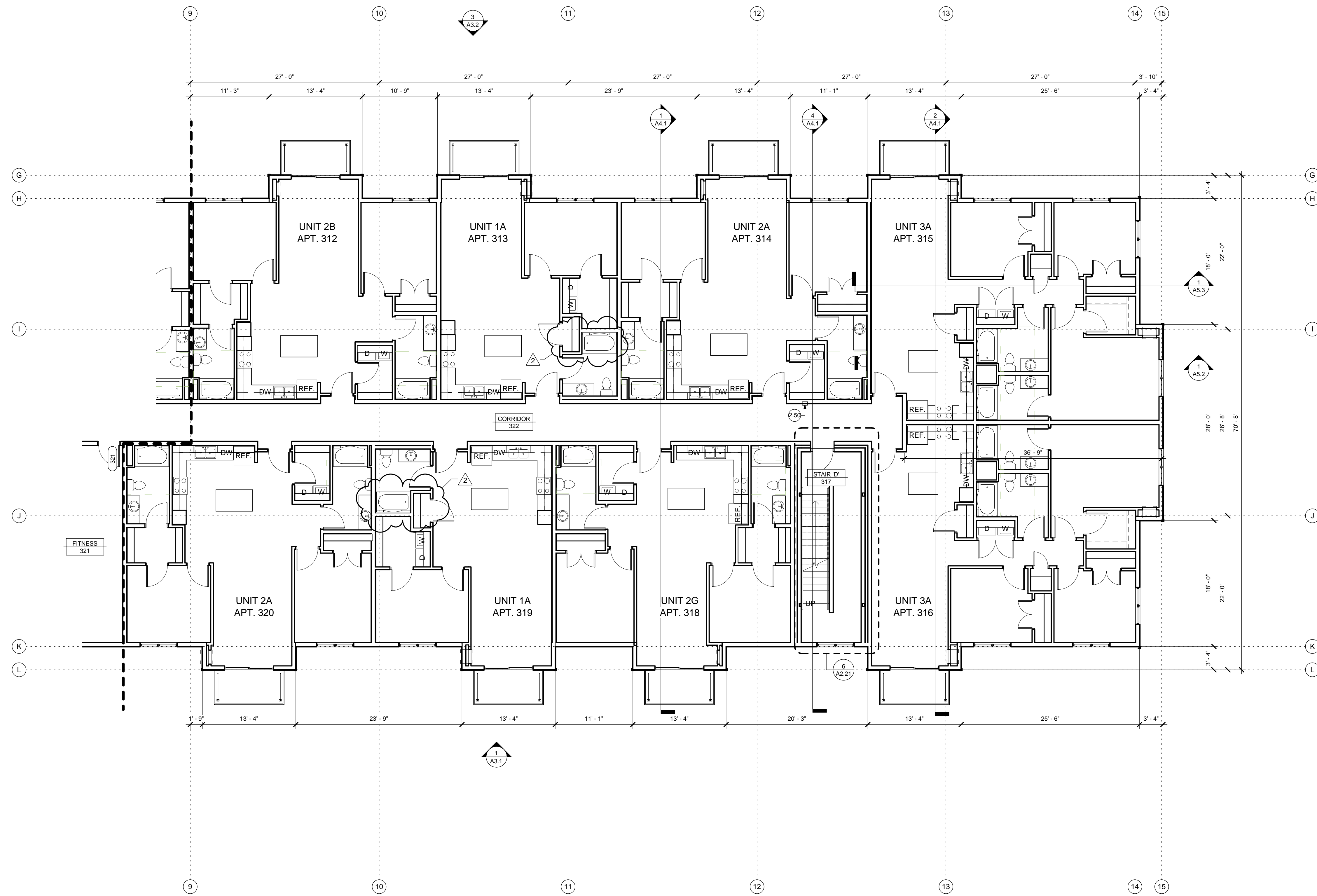
**Rivers Ridge  
Luxury  
Apartments**

Red Wing, MN

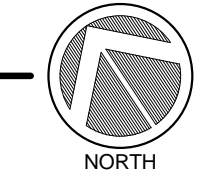
Second Floor Plan - Area B



**A2.9**



1 THIRD FLOOR - AREA B  
A2.11 SCALE: 1/8" = 1'-0"



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- FLOOR PLAN - KEY NOTES**
- 2.50 APPROXIMATE LOCATION OF 4-A RATED FIRE EXTINGUISHER AND RECESSED MOUNTED CABINET

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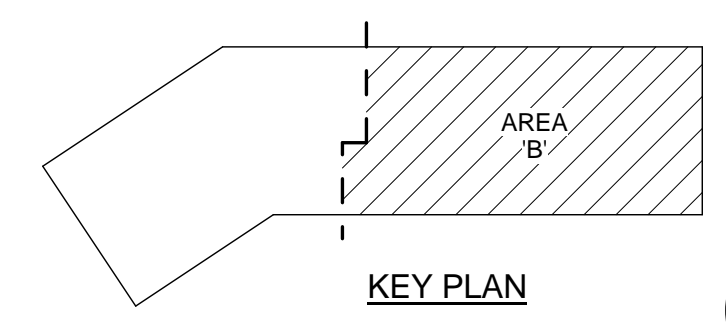
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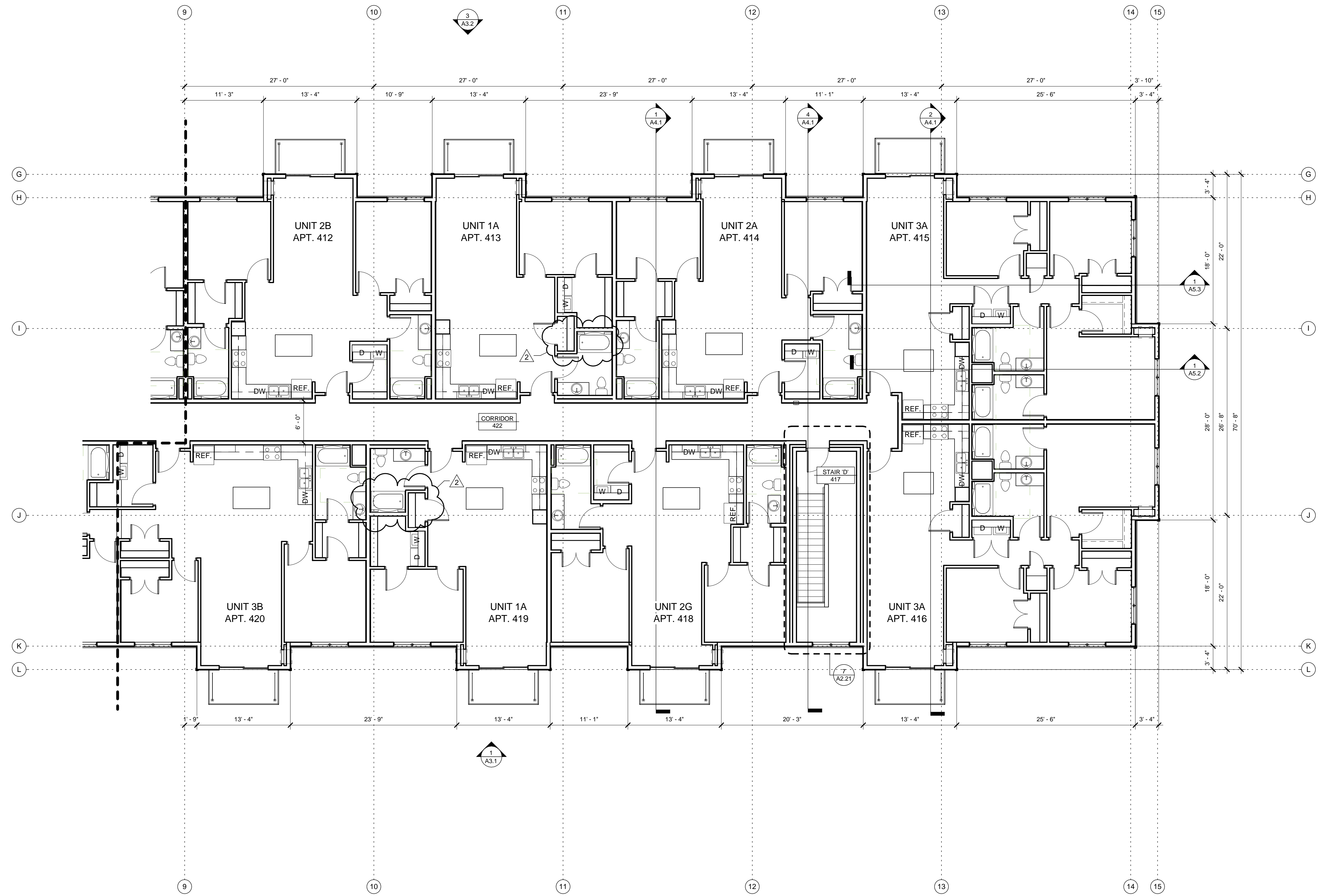
**Rivers Ridge  
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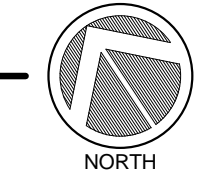
Third Floor Plan - Area B



**A2.11**



1 FOURTH FLOOR - AREA B  
A2.13 SCALE: 1/8" = 1'-0"



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**FLOOR PLAN - KEY NOTES**

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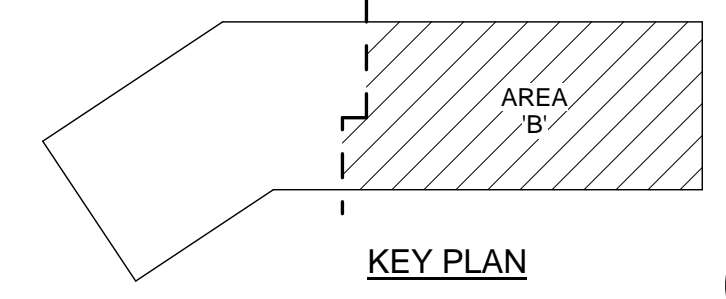
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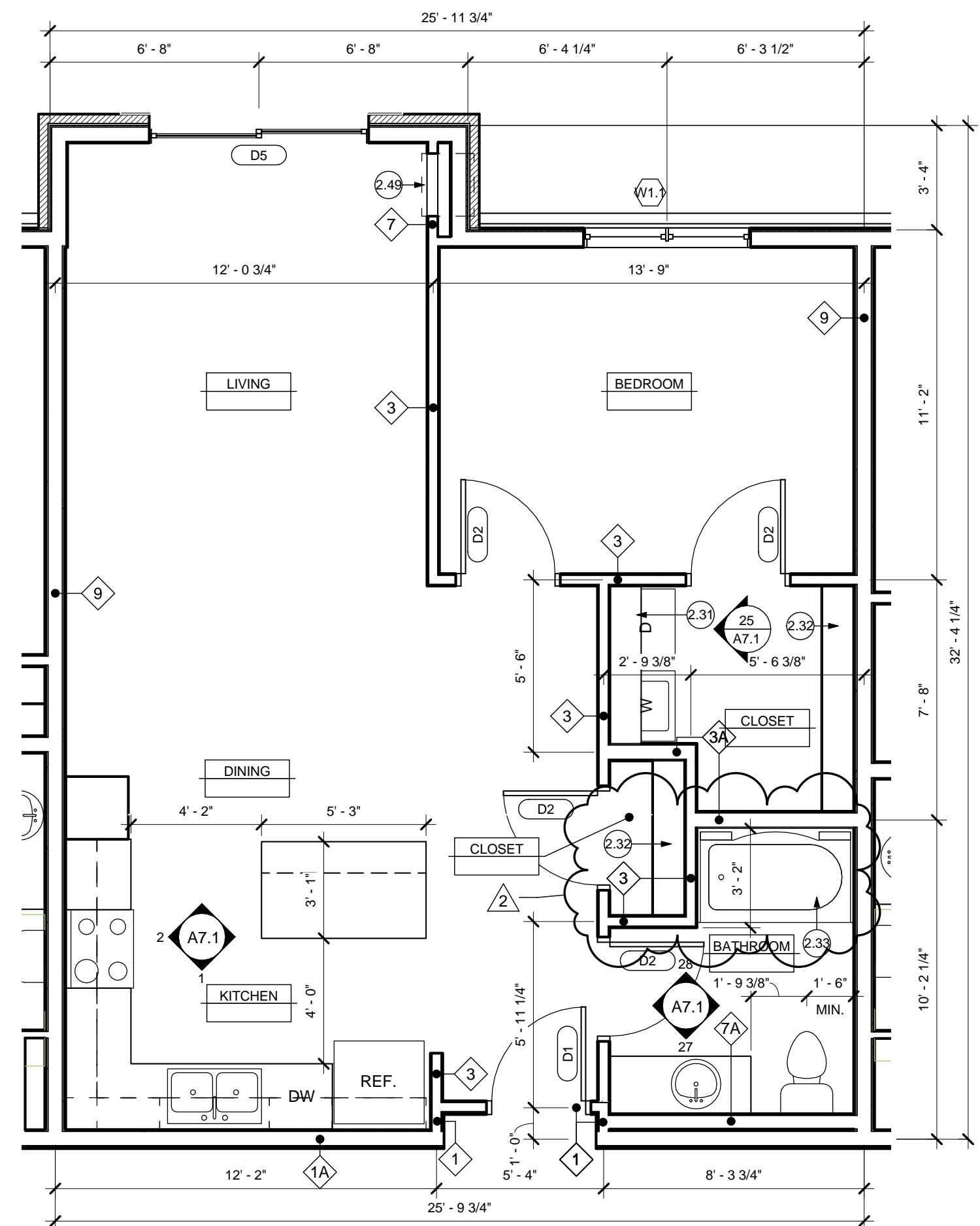
**Rivers Ridge  
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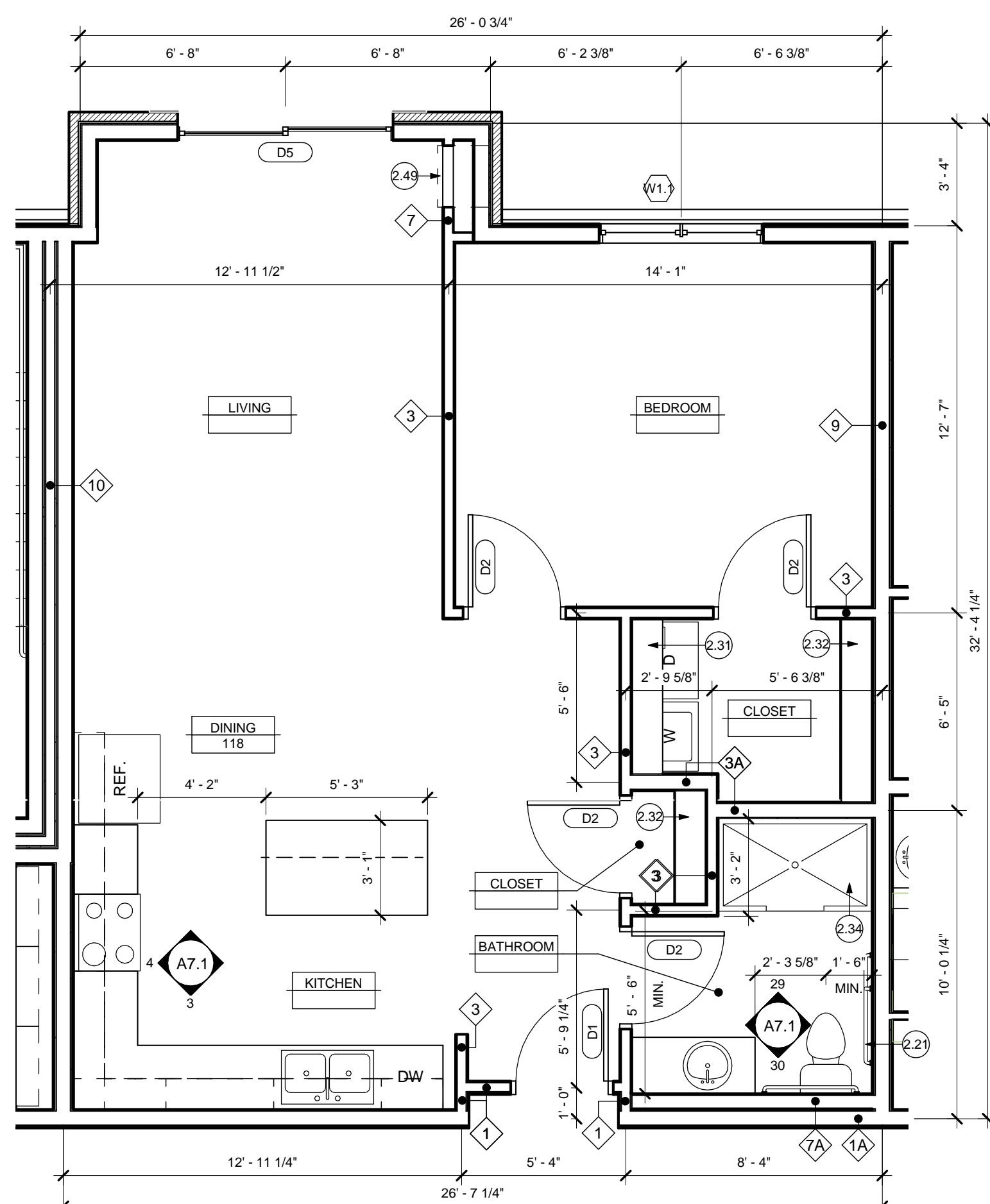
Fourth Floor Plan - Area B

**A2.13**

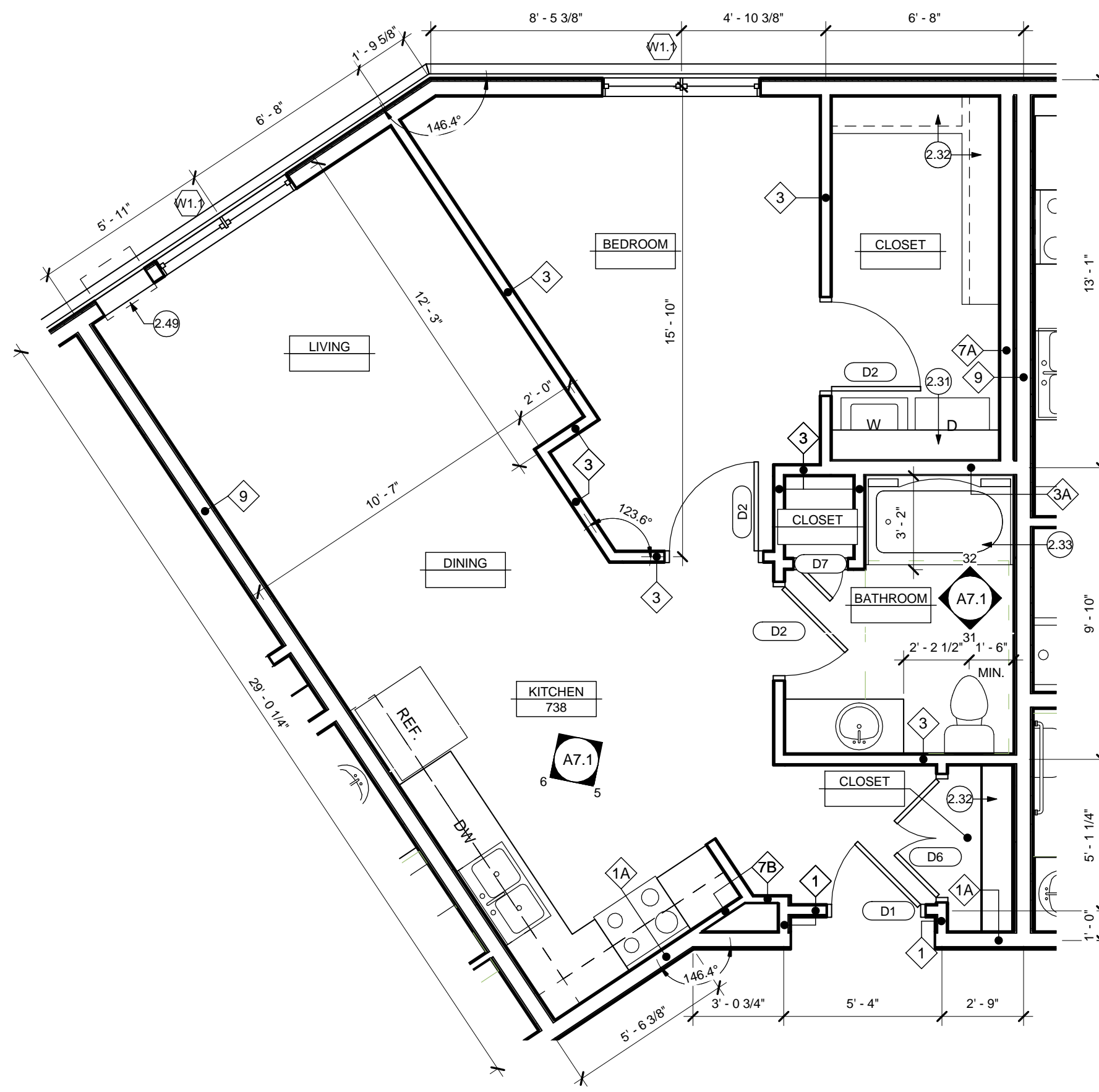




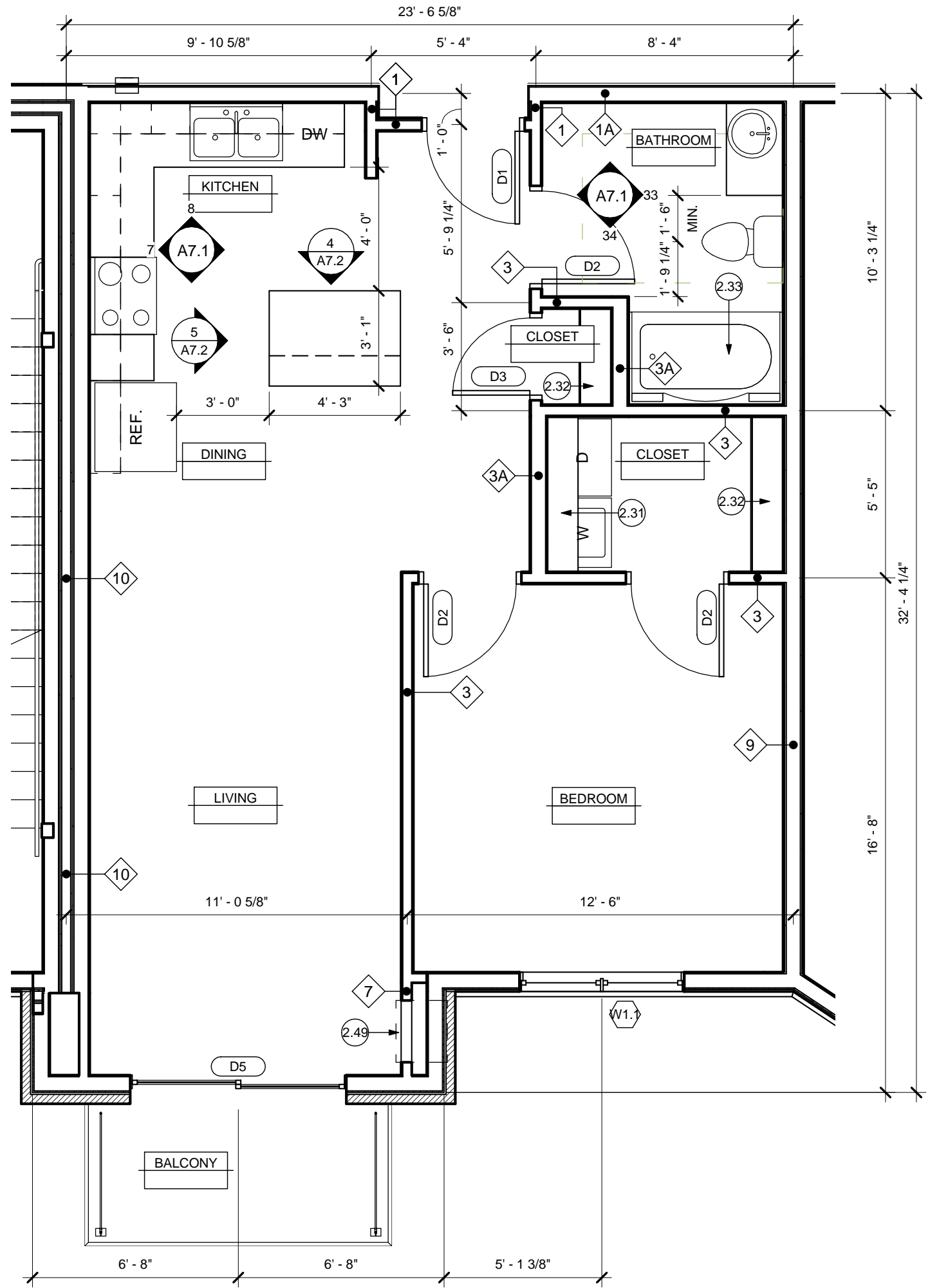
**1 UNIT 1A - 1 BED / 1 BATH**  
794 SF.  
A2.16 SCALE: 1/4" = 1'-0" (8 Thus)



**2 UNIT 1B - 1 BED / 1 BATH (TYPE A)**  
830 SF.  
A2.16 SCALE: 1/4" = 1'-0" (1 Thus)



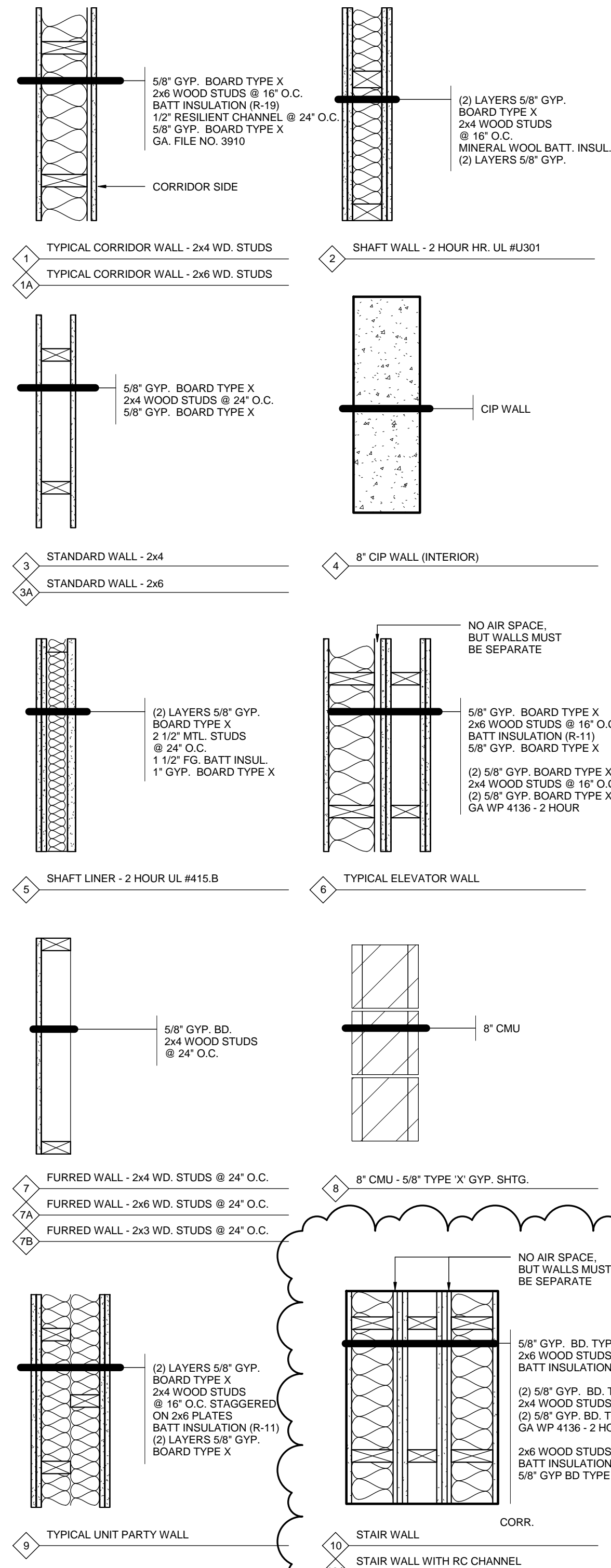
**3 UNIT 1C - 1 BED / 1 BATH**  
766 SF.  
A2.16 SCALE: 1/4" = 1'-0" (4 Thus)



**4 UNIT 1D - 1 BED / 1 BATH**  
785 SF.  
A2.16 SCALE: 1/4" = 1'-0" (3 Thus)

- UNIT PLAN - KEY NOTES**
- 2.21 GRAB BARS.
  - 2.31 12" DEEP WIRE SHELF AT 5'-0" A.F.F.
  - 2.32 12" DEEP WIRE SHELF WITH ROD AT 5'-0" A.F.F.
  - 2.33 60" TUB/SHOWER, PROVIDE 5'-1 1/4" CLEAR DIMENSION FROM FACE OF STUD TO FACE OF STUD.
  - 2.34 30" X 60" HANDICAP ACCESSIBLE ROLL-IN SHOWER. PROVIDE 5'-1 1/4" CLEAR DIMENSION FROM FACE OF STUD TO FACE OF STUD.
  - 2.49 WALL MOUNT A/C

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Unit Plans 1A - 1D

**A2.16**