



1 SE CORNER
A900 SCALE:

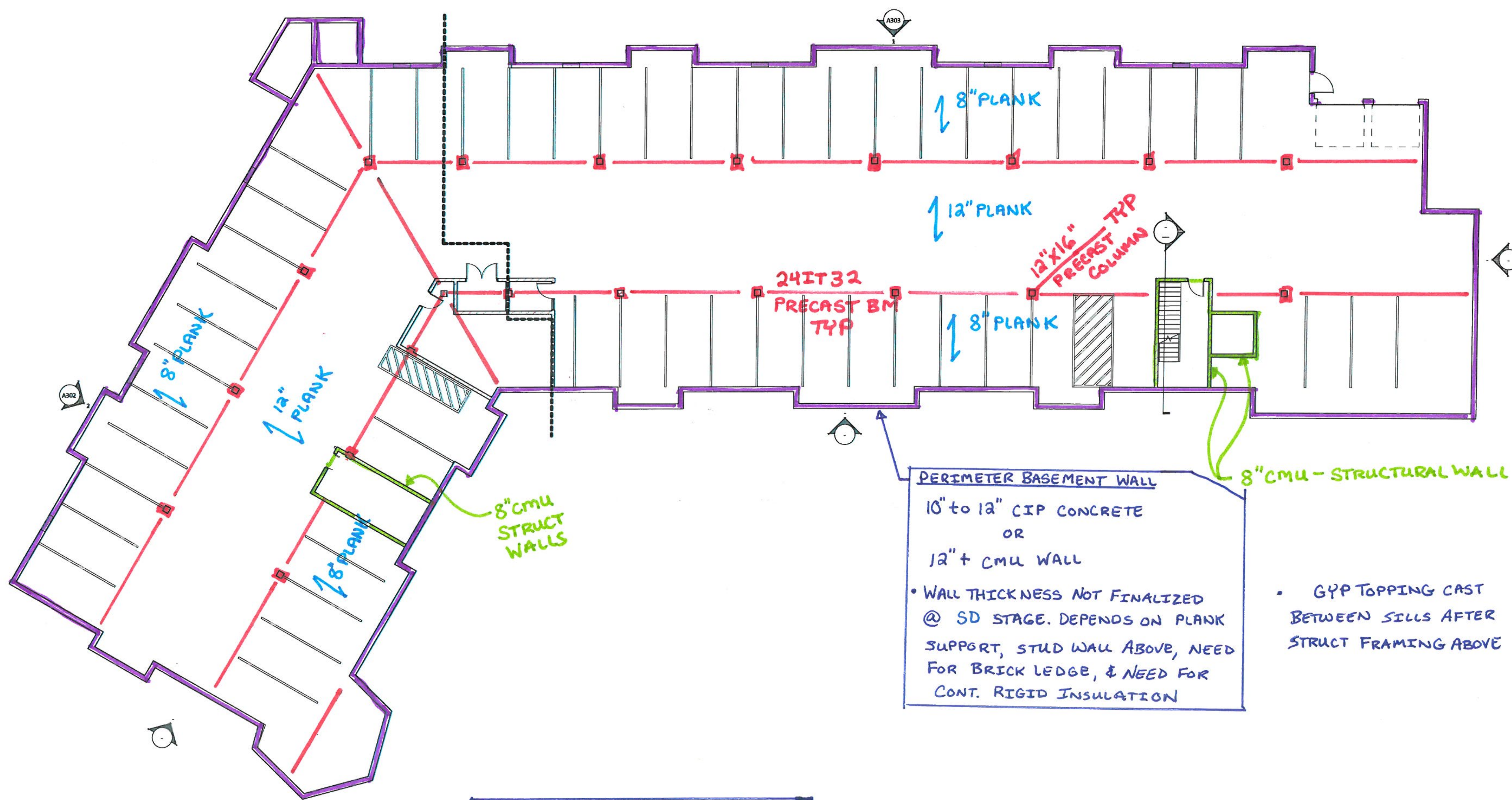
16098 BOTTINEAU RIDGE II APARTMENTS - SD SUBMITTAL

JANUARY 03, 2017

© 2017 JLG ARCHITECTS



1ST LEVEL FLOOR FRAMING



PERIMETER BASEMENT WALL
 10" to 12" CIP CONCRETE
 OR
 12" + CMU WALL
 • WALL THICKNESS NOT FINALIZED @ SD STAGE. DEPENDS ON PLANK SUPPORT, STUD WALL ABOVE, NEED FOR BRICK LEDGE, & NEED FOR CONT. RIGID INSULATION

• GYP TOPPING CAST BETWEEN SILLS AFTER STRUCT FRAMING ABOVE

FOUNDATION DESIGN PENDING W/ GEOTECH REPORT. EXPECTED SYSTEM TO BE CONCRETE SPREAD FOOTINGS AT WALLS & COLUMNS.

1 GARAGE FLOOR PLAN - OVERALL
 A200 SCALE: 3/32" = 1'-0"

SANDMAN STRUCTURAL
 NATHAN HOFFMANN
 12/2/16



322 1st Ave N, Suite #500
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE
-----	-------------	------

SD PHASE
 STRUCT LAYOUTS
 12/2/16

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
 11/30/16
 PHASE
 SCHEMATIC DESIGN
 PROJECT
 16098

SHEET
A200
 GARAGE PLAN - OVERALL

12/2/2016 9:52:38 AM

FLOOR FRAMING
LEVEL 2/3/4 ALL SIM

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

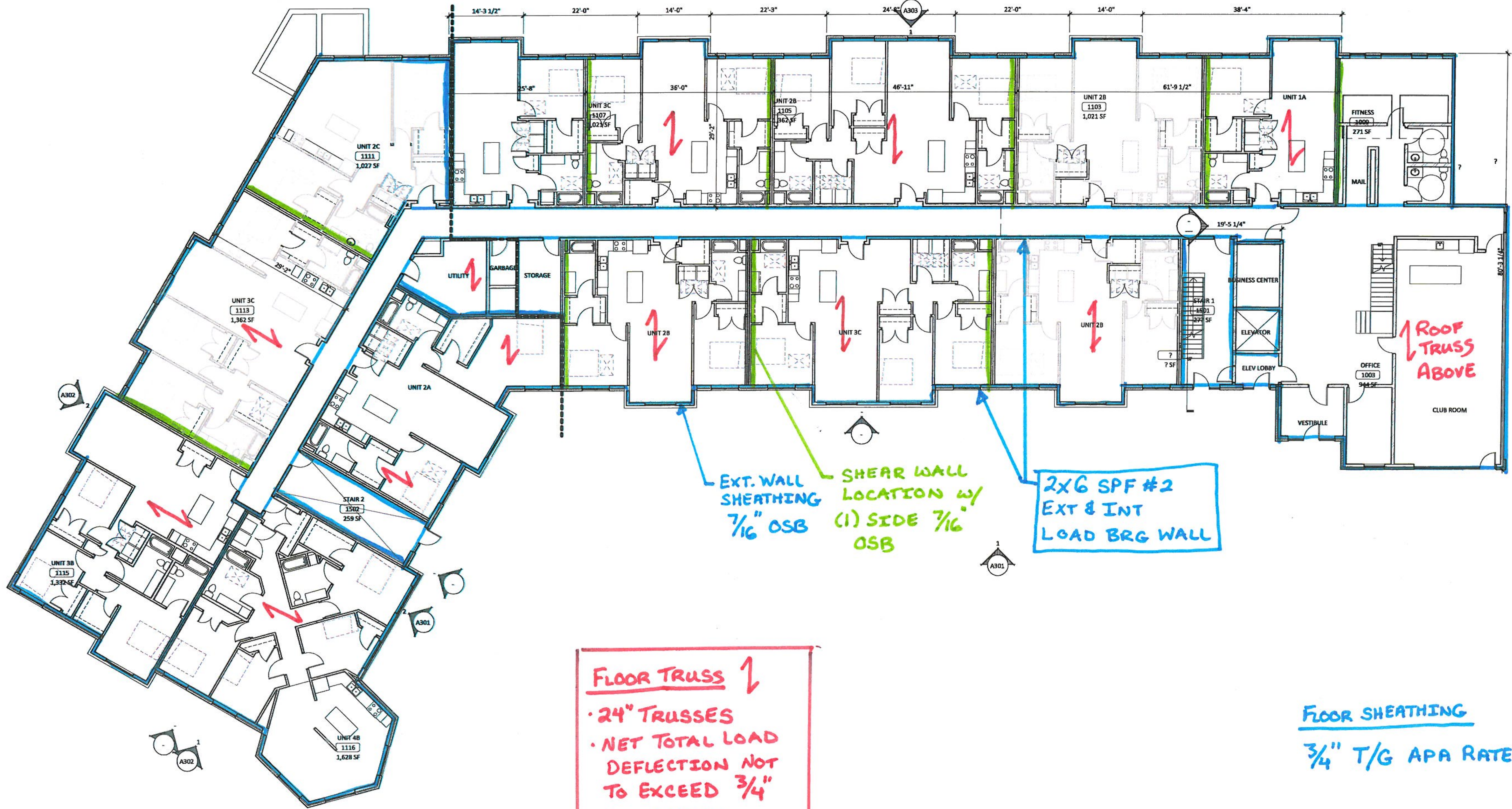
JLG ARCHITECTS

DATE
11/30/16

PHASE
SCHEMATIC
DESIGN

PROJECT
16098

SHEET
A201
FIRST FLOOR PLAN -
OVERALL



FLOOR TRUSS ↑
 • 24" TRUSSES
 • NET TOTAL LOAD DEFLECTION NOT TO EXCEED 3/4"
 • DL = 25 PSF
 • LL = 40 PSF

2x6 SPF #2
EXT & INT
LOAD BRG WALL

SHEAR WALL
LOCATION w/
(1) SIDE 7/16"
OSB

EXT. WALL
SHEATHING
7/16" OSB

FLOOR SHEATHING
3/4" T/G APA RATED

1 FIRST FLOOR PLAN - OVERALL
A201 SCALE: 3/32" = 1'-0"

12/22/2016 9:52:42 AM

ROOF FRAMING PLAN

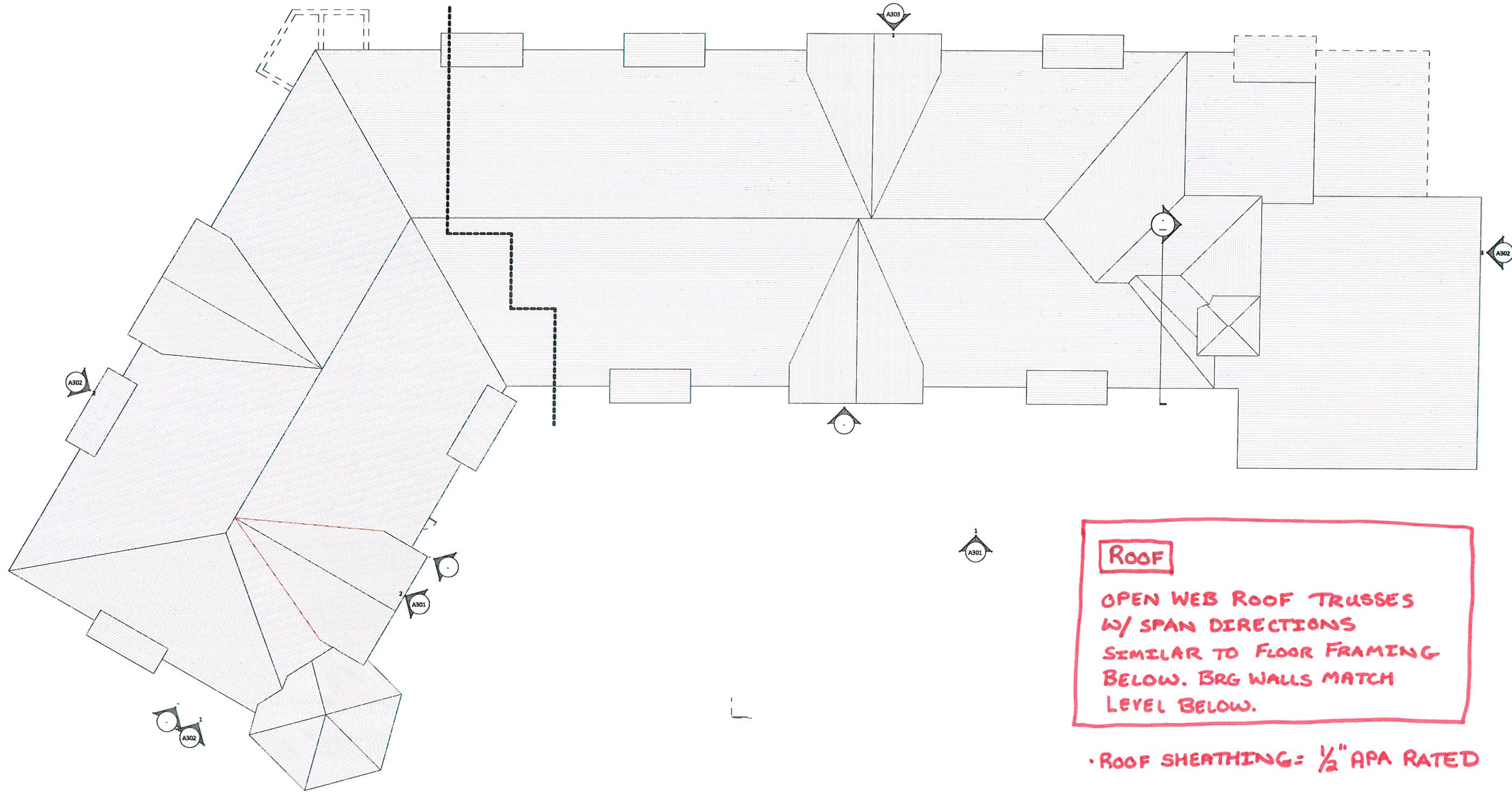


322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE



ROOF
 OPEN WEB ROOF TRUSSES
 W/ SPAN DIRECTIONS
 SIMILAR TO FLOOR FRAMING
 BELOW. BRG WALLS MATCH
 LEVEL BELOW.

• ROOF SHEATHING: 1/2" APA RATED

1 ROOF PLAN - OVERALL
 A206 SCALE: 3/32" = 1'-0"

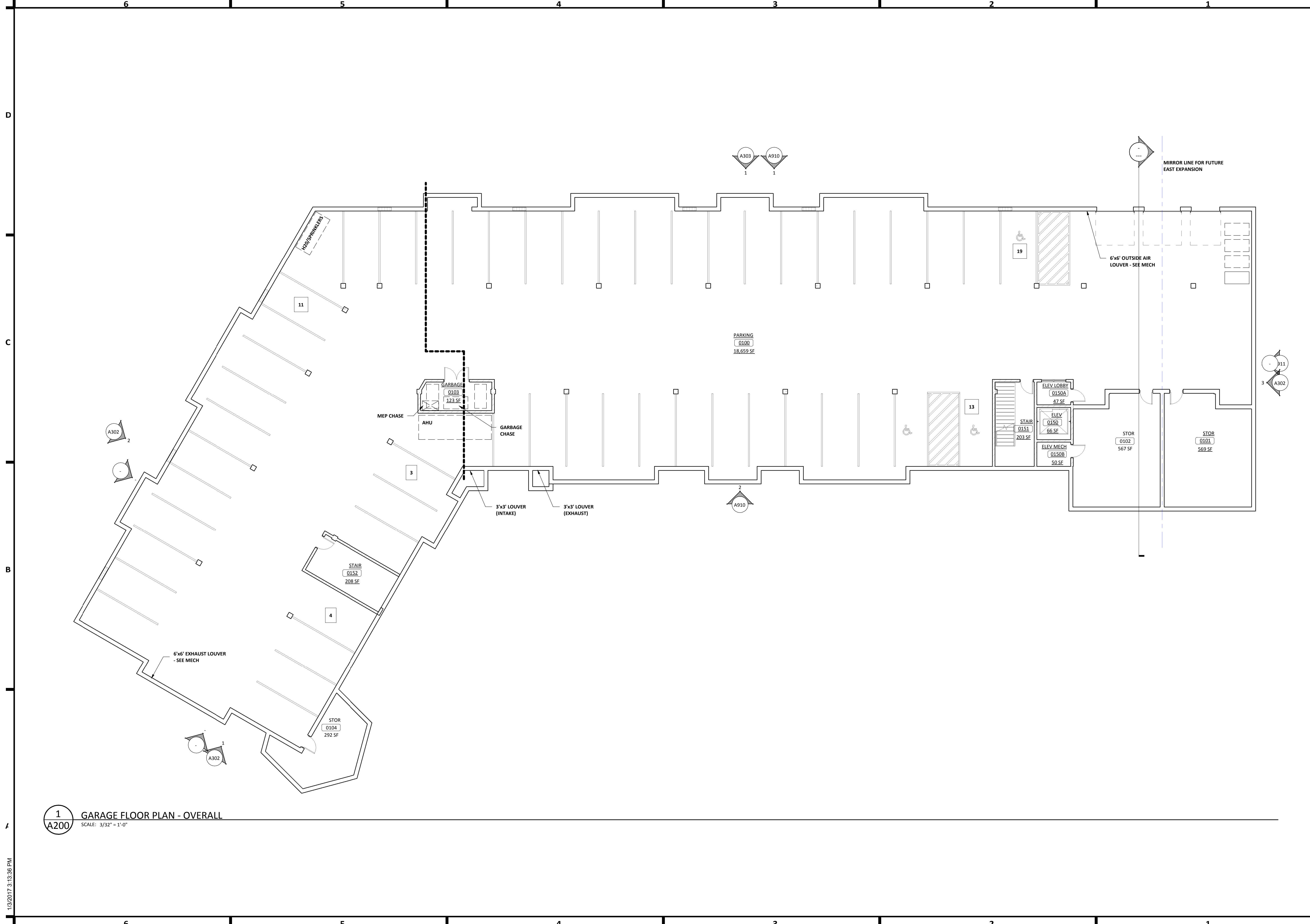
JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
 12/01/16
 PHASE
 SCHEMATIC
 DESIGN
 PROJECT
 16098
 SHEET
A206
 ROOF PLAN -
 OVERALL

12/2/2016 9:52:53 AM

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



1
A200 GARAGE FLOOR PLAN - OVERALL
SCALE: 3/32" = 1'-0"

1/8/2017 3:13:36 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
11/30/16
PHASE
SCHEMATIC
DESIGN
PROJECT
16098

SHEET
A200
GARAGE PLAN -
OVERALL

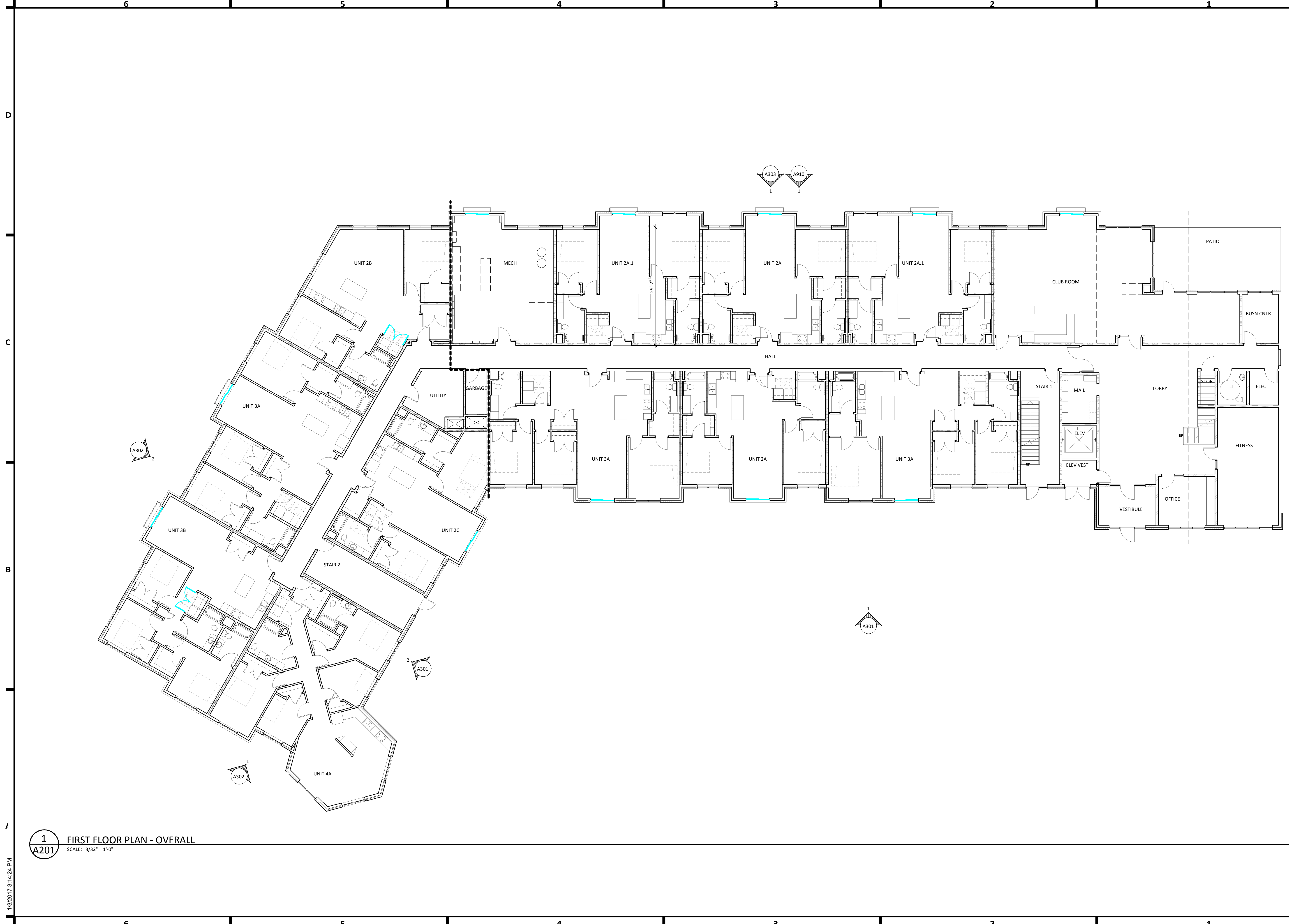
PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE	11/30/16
PHASE	SCHEMATIC DESIGN
PROJECT	16098

SHEET
A201
FIRST FLOOR PLAN - OVERALL



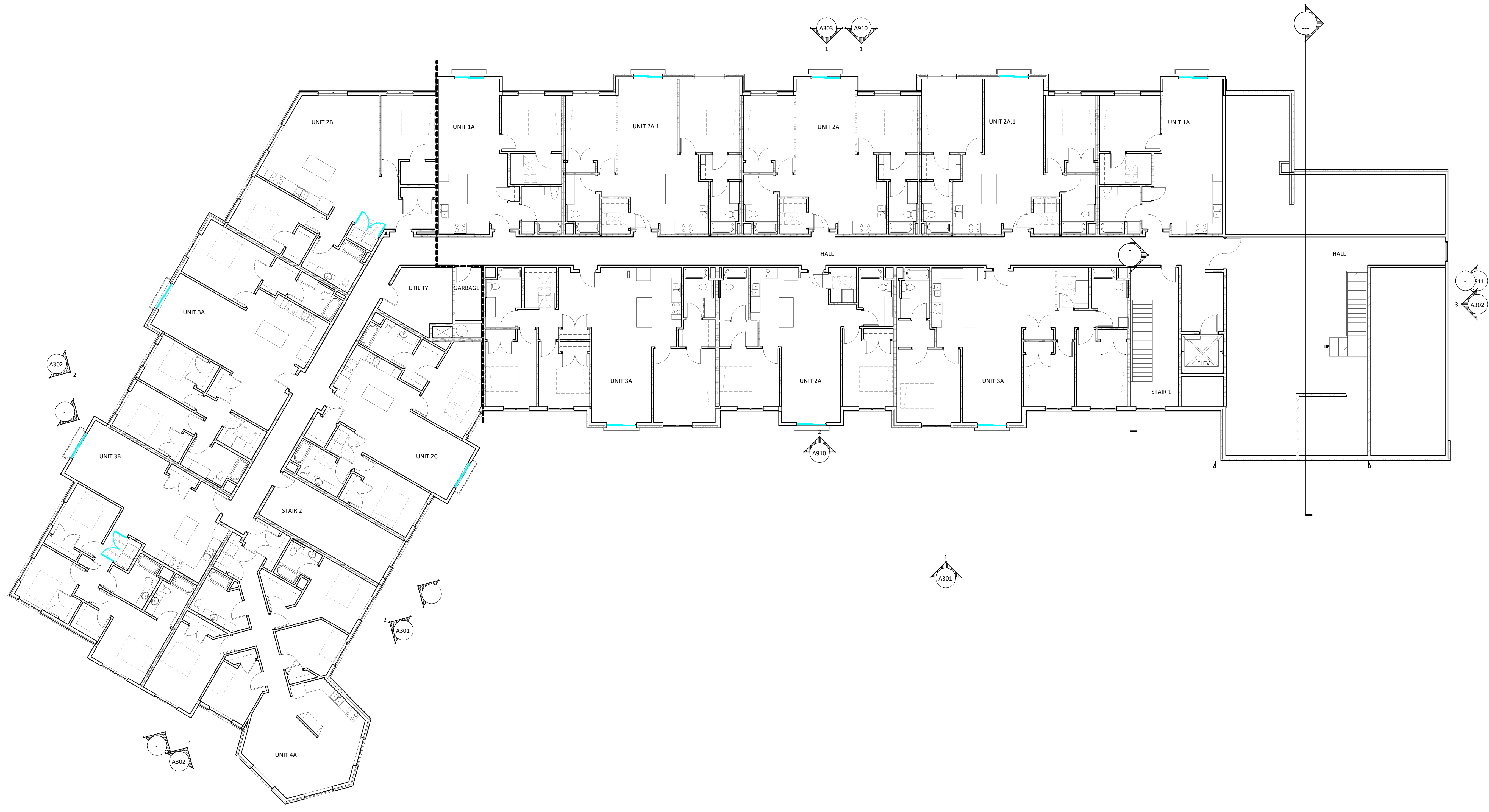
1
A201 FIRST FLOOR PLAN - OVERALL
SCALE: 3/32" = 1'-0"

1/8/2017 3:14:24 PM

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

D
C
B
A



1
A202 SECOND FLOOR PLAN - OVERALL
SCALE: 3/32" = 1'-0"

1/3/2017 3:14:52 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
PHASE
SCHEMATIC
DESIGN
PROJECT
16098
SHEET
A202
SECOND FLOOR
PLAN - OVERALL

6 5 4 3 2 1

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



D
C
B
A

6 5 4 3 2 1

6 5 4 3 2 1

1/3/2017 3:15:23 PM

1
A203 3RD FLOOR PLAN - OVERALL
SCALE: 3/32" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
12/01/16
PHASE
SCHEMATIC
DESIGN
PROJECT
16098

SHEET
A203
3RD FLOOR PLAN -
OVERALL



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

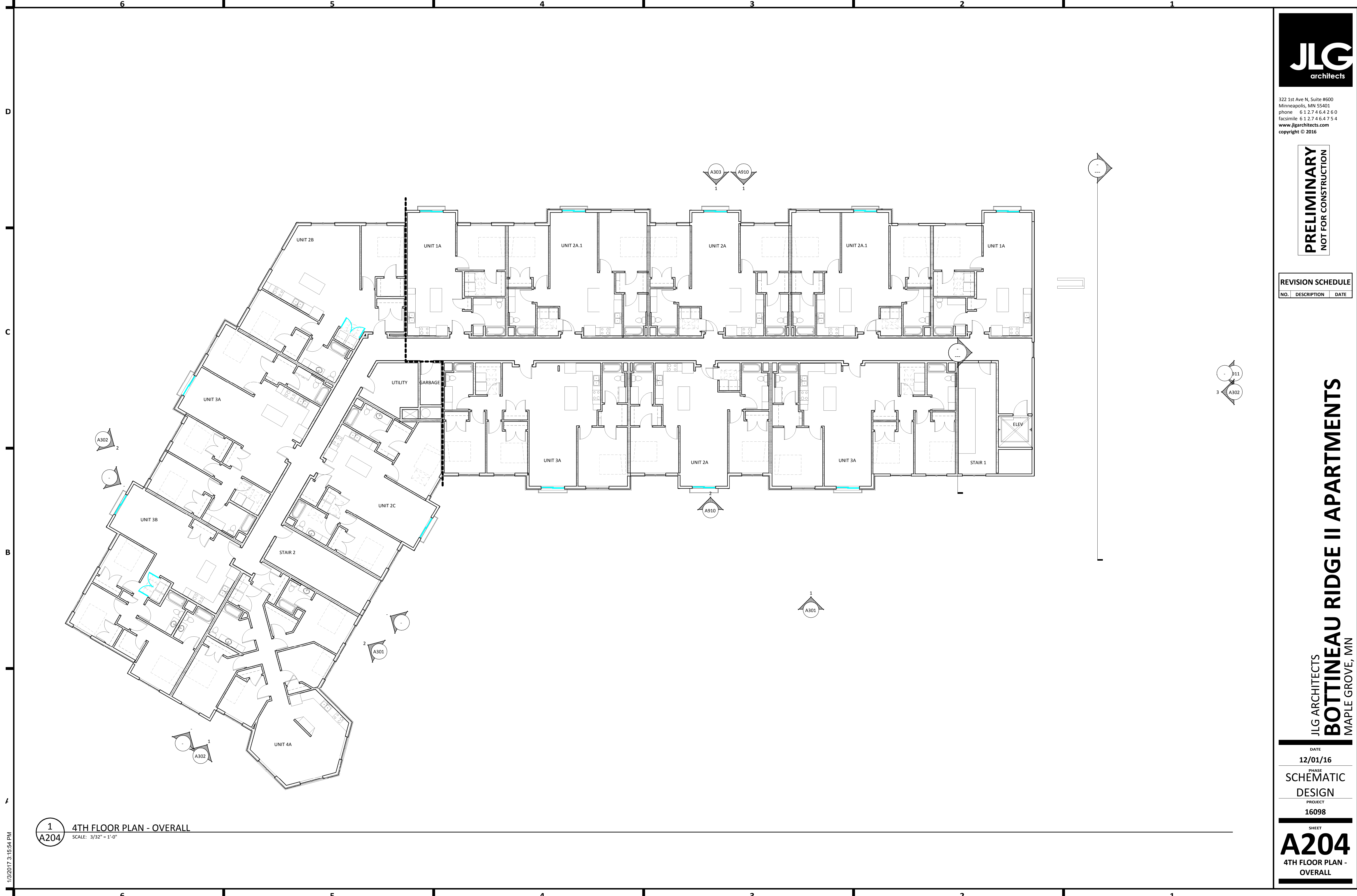
PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/01/16
 PHASE
 SCHEMATIC
 DESIGN
 PROJECT
16098

SHEET
A204
 4TH FLOOR PLAN -
 OVERALL



1
A204 4TH FLOOR PLAN - OVERALL
 SCALE: 3/32" = 1'-0"

1/3/2017 3:15:54 PM

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



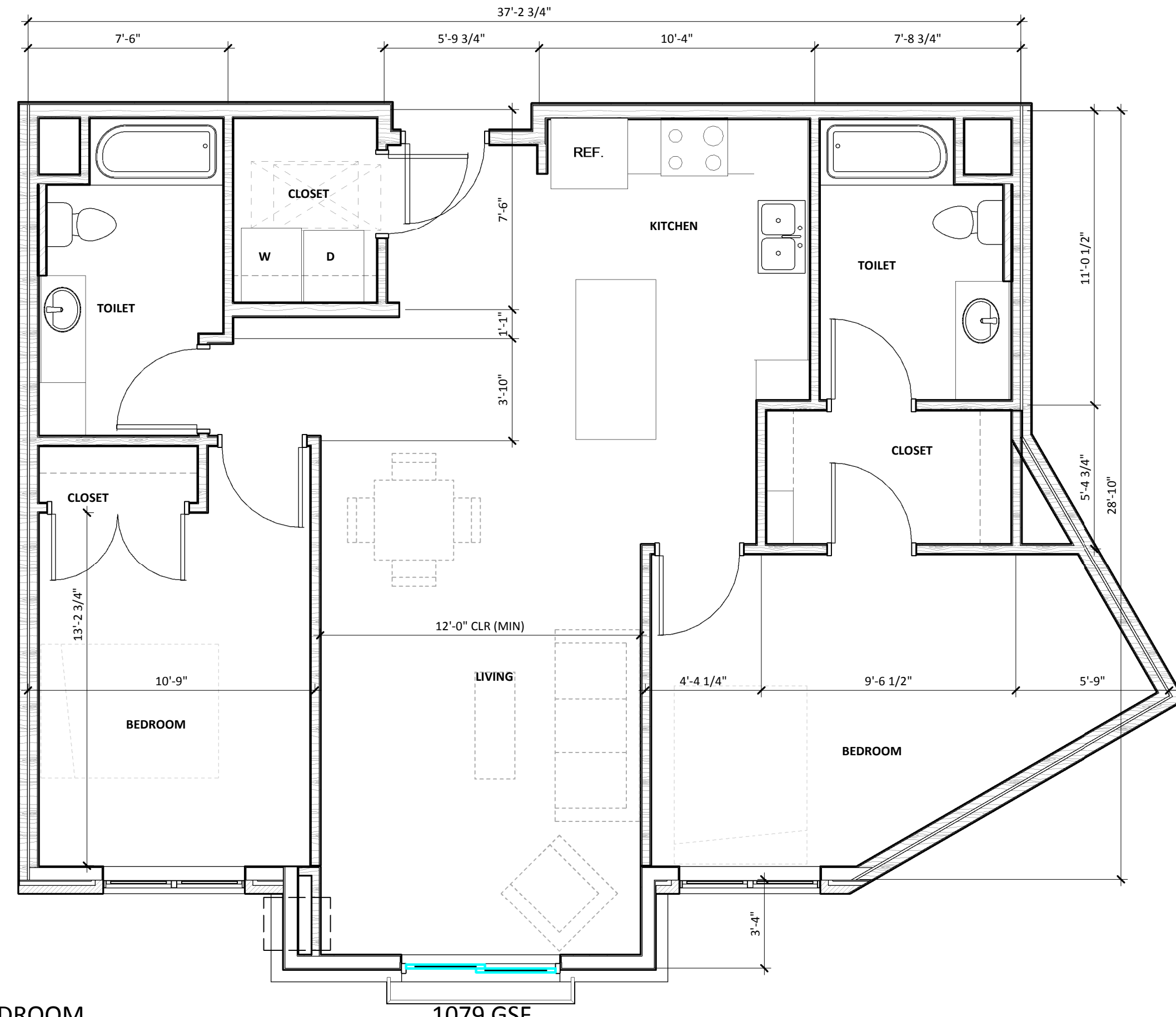
1
A206
ROOF PLAN - OVERALL
SCALE: 3/32" = 1'-0"

1/8/2017 3:15:35 PM

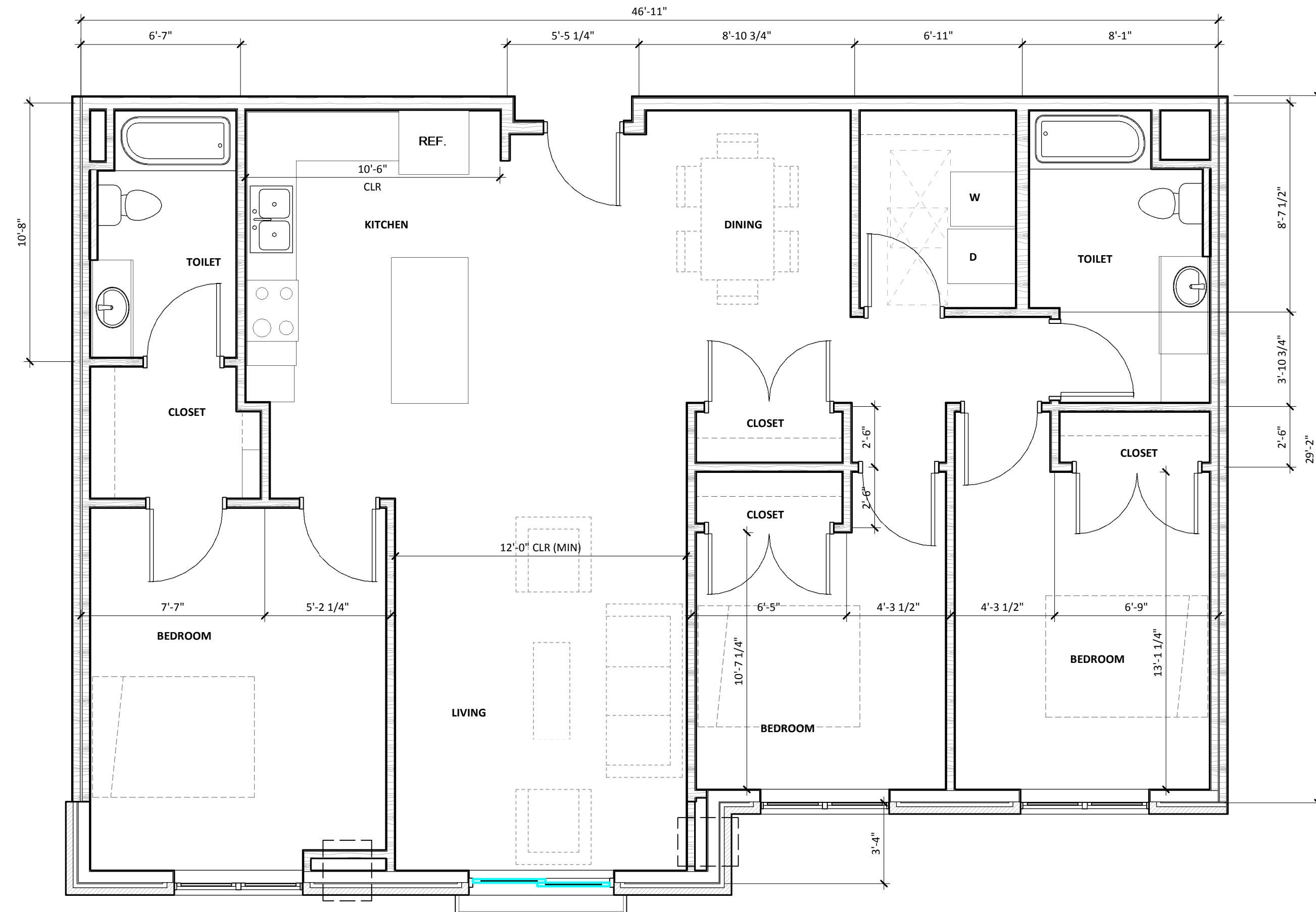
JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
12/01/16
PHASE
SCHEMATIC
DESIGN
PROJECT
16098

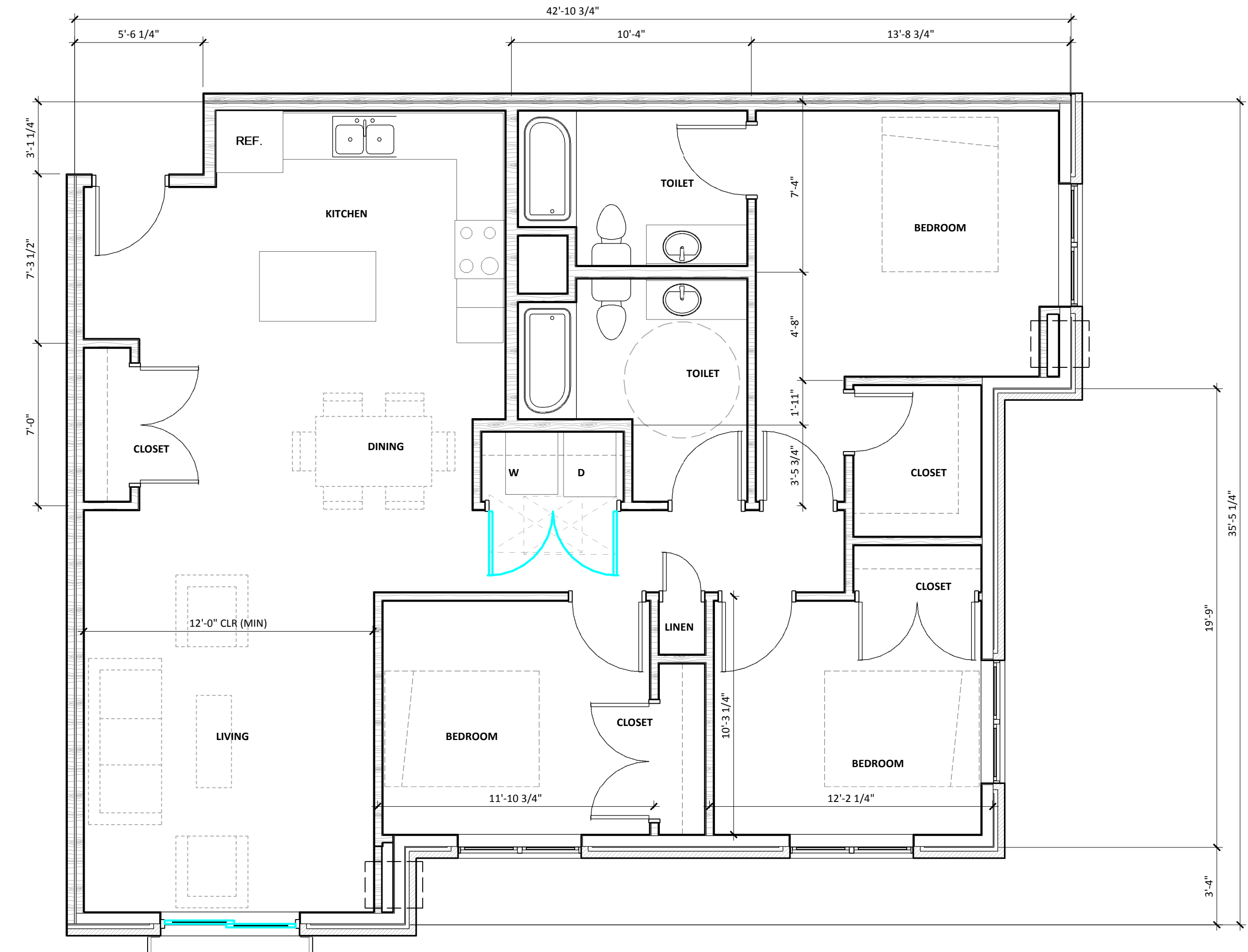
SHEET
A206
ROOF PLAN -
OVERALL



3
A221 UNIT 2C - 2 BEDROOM
SCALE: 1/4" = 1'-0"
1079 GSF



2
A221 UNIT 3A - 3 BEDROOM
SCALE: 1/4" = 1'-0"
1380 GSF



1
A221 UNIT 3B - 3 BEDROOM
SCALE: 1/4" = 1'-0"
1270 GSF

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
---------	-------------

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
-------------	----------------------------



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.4260
facsimile 612.746.4754
www.jlgarchitects.com
copyright © 2016

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
-----	-------------	------

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE

11/01/16

PHASE

SCHEMATIC

DESIGN

PROJECT

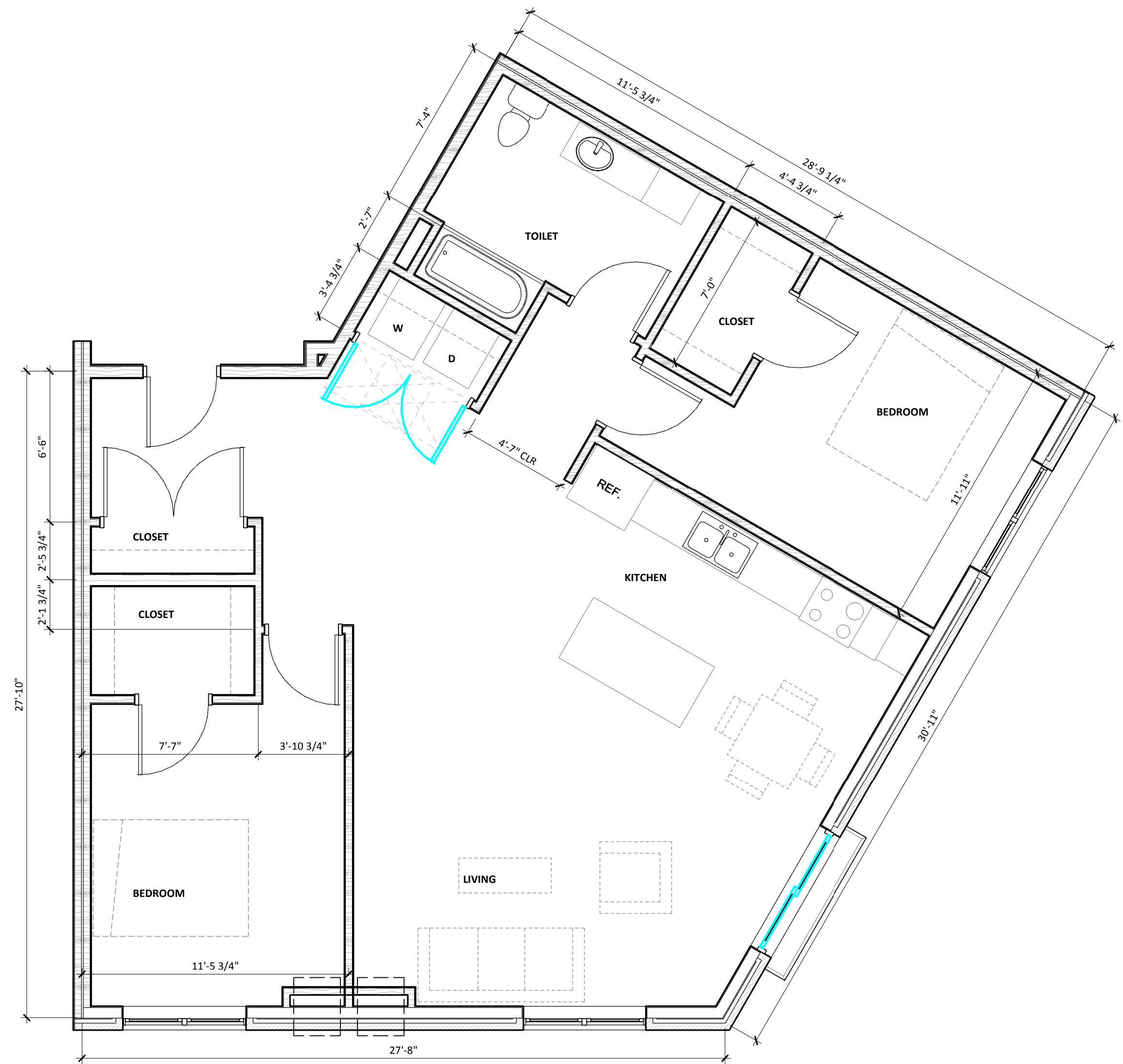
16098

SHEET

A221

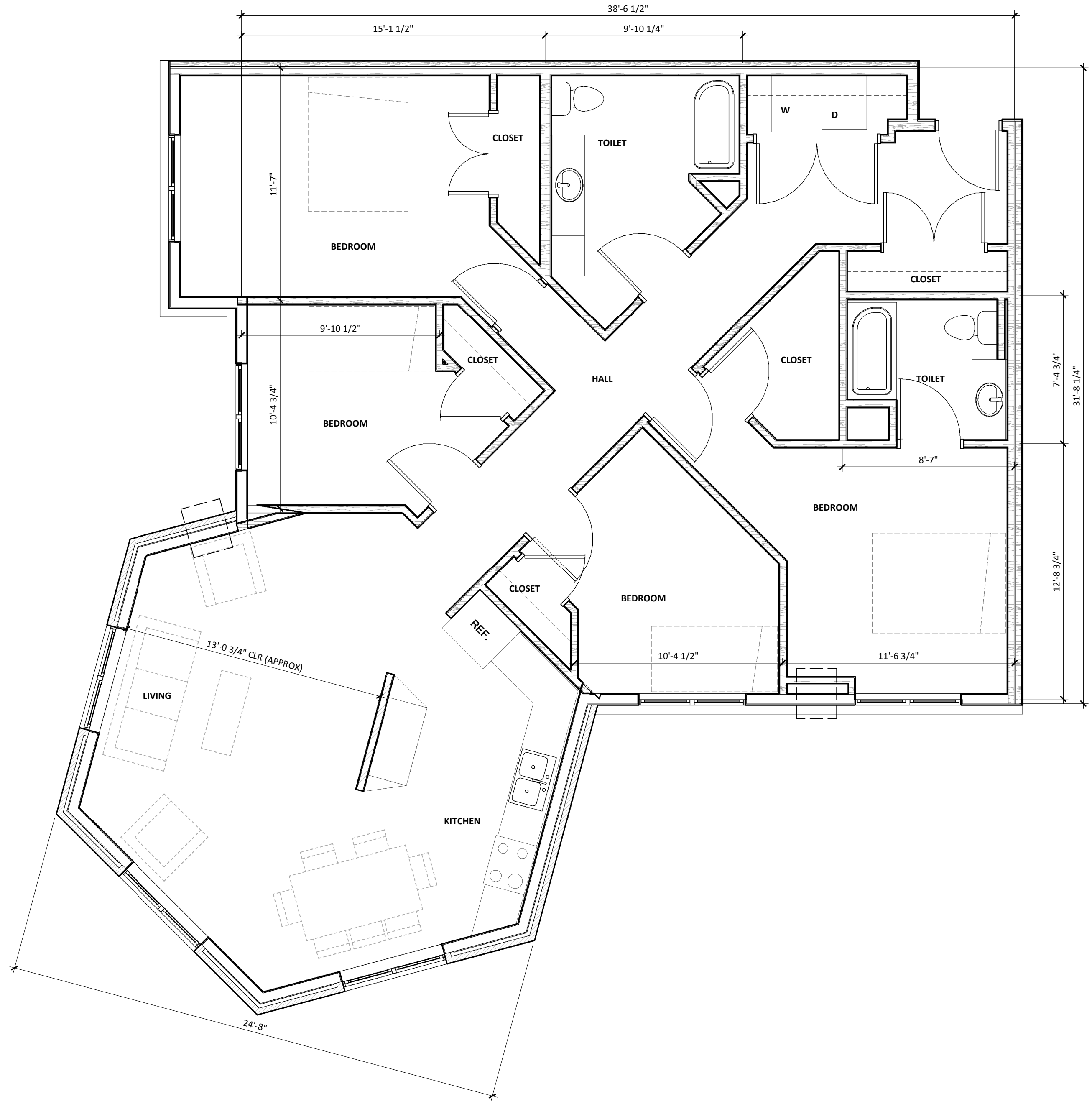
UNIT PLANS

1/3/2017 3:18:05 PM



2
A222 UNIT 2B - 2 BEDROOM
SCALE: 1/4" = 1'-0"

1133 GSF



1
A222 UNIT 4A - 4 BEDROOM
SCALE: 1/4" = 1'-0"

1470 GSF

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
---------	-------------

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
-------------	----------------------------



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.4260
facsimile 612.746.4754
www.jlgarchitects.com
copyright © 2016

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
-----	-------------	------

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
11/01/16
PHASE
SCHEMATIC
DESIGN
PROJECT
16098

SHEET
A222
UNIT PLANS

1/3/2017 3:18:30 PM



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



1 North Elev - FP
 A910 SCALE: 3/32" = 1'-0"



2 South Elev - FP
 A910 SCALE: 3/32" = 1'-0"

1/3/2017 3:12:50 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE: 12/05/16
 PHASE: SCHEMATIC DESIGN
 PROJECT: 16098
 SHEET: **A910**
 OVERALL ELEVATIONS



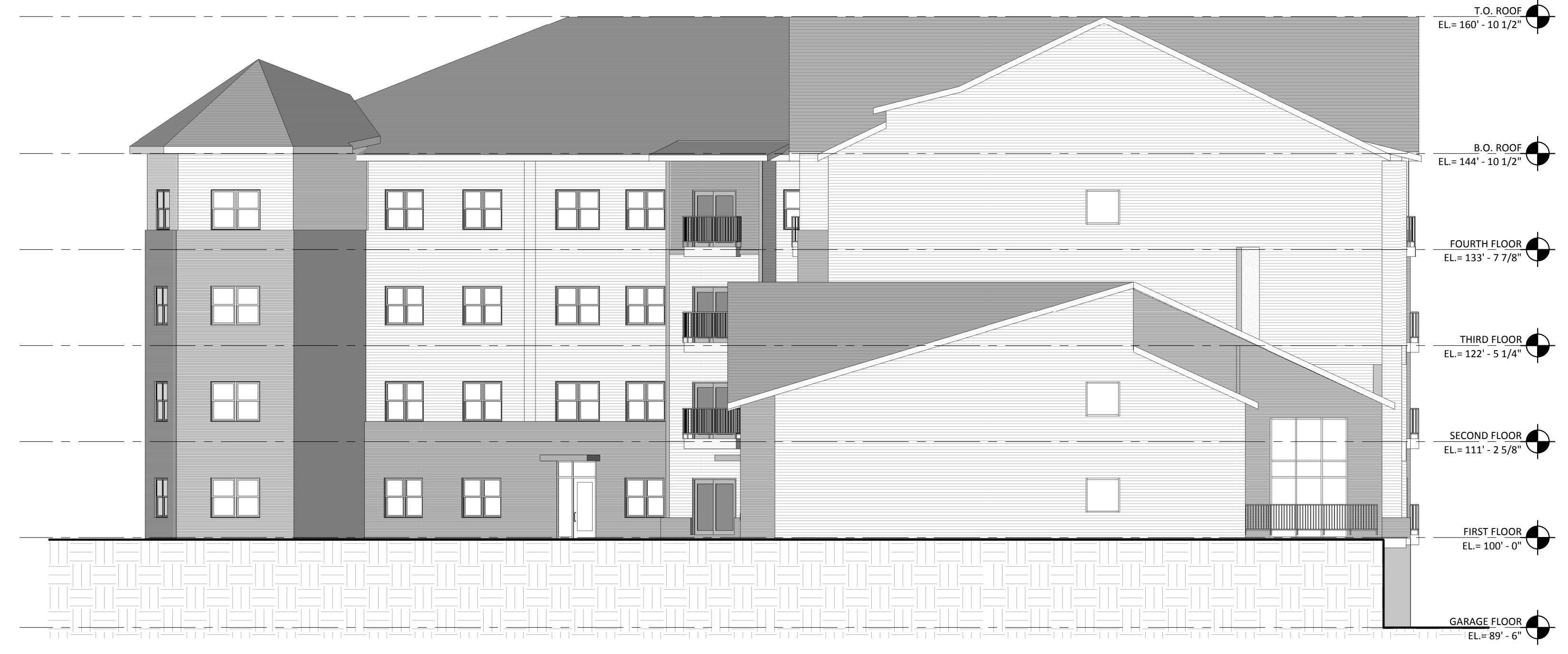
322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



1 WEST ELEVATION - NJ
 SCALE: 3/32" = 1'-0"



2 East Elev - FP
 SCALE: 3/32" = 1'-0"

D

C

B

A

1/3/2017 2:55:59 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
 12/05/16
 PHASE
 SCHEMATIC
 DESIGN
 PROJECT
 16098

SHEET
A911
 OVERALL
 ELEVATIONS

6 5 4 3 2 1

D

C

B

A

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
-------------	----------------------------



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



2 A301 **SOUTHEAST ELEVATION**
 SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS KEYNOTE

KEYNOTE	DESCRIPTION
---------	-------------

- light tan - vinyl siding
- medium tan - shingle siding
- brick

* colors to match Bottineau 1

EXT. ELEVATION GENERAL

NOTES
 A. REFER TO GLAZING ELEVATIONS FOR WINDOW AND CURTAINWALL ELEVATIONS

NOTE***
 DESIGN TEAMS ARE TO NOT INDICATE ANY GEOTECHNICAL/SOILS INFORMATION. CONTRACTORS ARE TO REMAIN RESPONSIBLE FOR READING, CUTTING AND FILLING IN ACCORDANCE TO THE GEOTECHNICAL REPORT.
 BUILDING ELEVATIONS SHOULD ONLY INDICATE A HEAVY LINE FOR GRADE AND NO EARTH HATCH PATTERN.

sketch 7

rendered elevations

10.12.23



1 A301 **SOUTH ELEVATION**
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE _____
 PHASE _____
 PROJECT 16098
 SHEET **A301**
 EXTERIOR ELEVATIONS

12/28/2016 1:42:19 PM

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE



2
A302 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



3
A302 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1
A302 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
11/29/16

PHASE
SCHEMATIC DESIGN

PROJECT
16098

SHEET
A302
EXTERIOR ELEVATIONS

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE

NO.	DESCRIPTION	DATE



1
A303 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

12/20/2016 1:42:24 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
11/29/16
PHASE
SCHEMATIC
DESIGN
PROJECT
16098

SHEET
A303
EXTERIOR
ELEVATIONS



To: CC:
 Firstname Lastname
 Company

Exterior Wall Types

EX1 – Vinyl Lap Siding

- 5/8" Type "X" Gyp Bd
- Vapor Barrier, 6 mil poly
- 2x6 Wood Studs @ 16" o.c. max.
- 5 1/2" Batt Insul, R-19
- 7/16" APA Plywood Sheathing
- A/V Retarder
- 2" Rigid Insul, R-10
- 7/8" Metal Furring @ 2'-0" o.c. max.
- Vinyl Siding

EX2 – Shingle Siding

- 5/8" Type "X" Gyp Bd
- Vapor Barrier, 6 mil poly
- 2x6 Wood Studs @ 16" o.c. max.
- 5 1/2" Batt Insul, R-19
- 7/16" APA Plywood Sheathing
- A/V Retarder
- 2" Rigid Insul, R-10
- 7/8" Metal Furring @ 2'-0" o.c. max.
- Shingle Siding – cement fiber shingle siding

EX3 – Brick Veneer

- 5/8" Type "X" Gyp Bd
- Vapor Barrier, 6 mil poly
- 2x6 Wood Studs @ 16" o.c. max.
- 5 1/2" Batt Insul, R-19
- 7/16" APA Plywood Sheathing
- A/V Retarder
- 2" Rigid Insul, R-10
- 4" nominal Brick Veneer

Foundation Wall Type

B12 – Foundation Wall

- 12" CIP Concrete
- Liquid Applied Waterproofing
- 3" Rigid Insulation below grade, R-15/2" Rigid Insulation above grade
- Air Gap, 3/4" min.
- 4" nom. Brick Veneer

Interior Wall Types

A4 – Typical Interior wall

- 5/8" Type 'X' Gyp Board, each side
- 2x4 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation

A6 – Typical Interior wall

- 5/8" Type 'X' Gyp Board, each side
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation

A6.1 – Typical Interior wall – fire-rated

- 5/8" Type 'X' Gyp Board, each side
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation

C4.1 – Unit Demising Wall

- 5/8" Type 'X' Gyp Board
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation
- 1" Air Gap
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation
- 5/8" Type 'X' Gyp Board

Note: see wood sheathing requirements for shear walls, see Structural.

C6.1 – Unit Corridor Wall

- 5/8" Type 'X' Gyp Board
- 1/2" Resilient Furring Channel @ 2'-0" o.c. max.
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation
- 5/8" Type 'X' Gyp Board

F2 – Furring Wall

- 5/8" Type 'X' Gyp Board
- 2x2 Wood Furring @ 24" o.c. max

F3 – Furring Wall

- 5/8" Type 'X' Gyp Board
- 2x4 Wood Furring @ 24" o.c. max

S2.2 – Shaft Wall

- 1" Type 'X' Gyp Shaft Liner
- 2 1/2" C-H Steel Stud @ 24" o.c. max., fill cavity with Batt Insulation
- 2-layers 5/8" Type 'X' Gyp Board

S6.2 – Shaft Wall

- 2-layers 5/8" Type 'X' Gyp Board
- 2x6 Wood Studs @ 16" o.c. max., fill cavity with Batt Insulation
- 2-layers 5/8" Type 'X' Gyp Board

M8 – Masonry Wall

- 8" CMU – 2 hr. fire-rated

Floor/Ceiling Types

F1 – Concrete Slab-on-grade

- Compacted fill
- Vapor Retarder, 10 mil.
- 5" Reinforced Concrete Slab

F2 – Precast Concrete Floor/Ceiling Assembly – 2 hr. fire-rated

- 4" Closed Cell Spray Foam Insulation with Thermal Ignition Barrier, R-25.2
- Precast Concrete Plank, see Structural
- 2" Gypsum Based Underlayment
- Finished Flooring

Note: provide Acoustimat II at hard floor finishes

F3 – Wood Truss Floor/Ceiling Assembly – 1 hr. fire-rated

- 5/8" Type 'X' Gyp Board
- 1/2" Resilient Furring Channel
- 24" deep Wood Trusses, see Structural, with 3 1/2" Batt Insulation in the cavity
- 3/4" Wood Sturd-i-Floor Sheathing, Exposure 1, T&G
- Finish Flooring

F4 – Wood Framed Floor/Ceiling Assembly – 1 hr. fire-rated

- 5/8" Type 'X' Gyp Board
- 1/2" Resilient Furring Channel
- 2x10 Wood Joists, see Structural
- 3/4" Wood Sturd-i-Floor Sheathing, Exposure 1, T&G
- Finish Flooring

Roof/Ceiling Types

R1 – Attic Roof Trusses

- 5/8" Type 'X' Gyp Board
- 1/2" Resilient Furring Channel
- Vapor Barrier, 6 mil poly
- Sloped Top Wood Roof Trusses, see Structural, with Blown-in Loose Laid Insulation, R-44



- Air Barrier/Ice & Water Shield
- Asphalt Shingles, match Bottineau 1 shingles

R2 – Sloped Roof Trusses

- 5/8" Type 'X' Gyp Board
- 1/2" Resilient Furring Channel
- Vapor Barrier, 6 mil poly
- Parallel Chords Wood Roof Trusses, see Structural, with Blown-in Loose Laid Insulation, R-44
- Air Barrier/Ice & Water Shield
- Asphalt Shingles, match Bottineau 1 shingles

R3 – Entry Canopy Framed Roof

- 5/8" Type 'X' Gyp Sheathing
- 2x Wood Joists, see Structural
- 3/4" Wood Sturdy-Floor Sheathing, Exposure 1, T&G
- Vapor Barrier
- Tapered Extruded Rigid Insulation
- Fully Adhered EPDM roofing system

Exterior Windows and Doors

Vinyl Windows

- Equivalent to Thermo-tech Classic Series Vinyl Windows with double glazed, clear, Low-e coated, argon filled with glass thickness as recommended by manufacturer for conditions. Provide hardware and screens at single hung openings. White.

Sliding Patio Doors

- Equivalent to Thermo-tech Classic Series French Sliding Doors with double glazed, clear, Low-e coated, argon filled with glass thickness as recommended by manufacturer for conditions. Provide hardware and screens at operable openings. White.

Aluminum Storefront & Entrance

- Equivalent to Tubelite, 14000 Series, Center-Set Style, thermally broken with 1" insulated double glazing, clear, Low-e coated, argon filled glass. Black.
- Equivalent to Tubelite, Thermal-Block Wide Stile Entrance Door, thermally broken with 1" insulated double glazing, clear, Low-e coated, argon filled glass. Black.

Hollow Metal Frames and Doors

- HM Door. Polystyrene foam at exterior locations. Painted.
- HM Frames with fully welded corners. Rigid insulation at exterior locations. Painted.

Section Doors

- Equivalent to Overhead Door Corporation, Thermacore 592. Flush steel construction, 2 inches thick with pre-finished with baked enamel, R-17.5 min., electric operated.

Interior Windows and Doors

Flush Wood Doors

- 5-ply wood veneer doors. Provide solid core doors at all locations except provide hollow core doors at interior of apartment units. Maple, plain sliced, book veneer match, center balance assembly match. Wood frames.

Prehung Wood Doors

- 5-ply wood veneer doors. Provide stile and rail doors at apartment unit entries. Maple, plain sliced, book veneer match, center balance assembly match. Wood frames.

Hollow Metal Windows and Frames

- Hollow metal frames. Painted.

Metal Balconies and Railings

- Equivalent to Classic Industries, Alumadeck. Aluminum decking and railings. Black railings, tan platform.

Elevator

- Equivalent to ThyssenKrupp Endura Below-Ground Conventional hydraulic 3500 lb. elevator. Single speed LH, front & rear openings with 5 stops, 100 fpm.

BR2 - SD SUBMITTAL : ARCHITECTURAL DRAWINGS

JANUARY 03, 2017

© 2017 JLG ARCHITECTS

