

Main Street Flats Limited Partnership

Main Street Flats

Cambridge, MN

OWNER
 MAIN STREET FLATS LIMITED PARTNERSHIP
 801 WASHINGTON AVE. NORTH, #108
 MINNEAPOLIS, MN 55401
 PHONE: (651) 523-1241

DEVELOPER
 METROPLAINS LLC
 801 WASHINGTON AVE. NORTH, #108
 MINNEAPOLIS, MN 55401
 PHONE: (651) 523-1241

CIVIL ENGINEER
 ROSHELL ENGINEERING, LLC
 6192 267TH CT.
 WYOMING, MN 55092
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ARCHITECT
 SIKES ABERNATHIE ARCHITECTS, P.C.
 406 SOUTH BOULDER AVENUE, SUITE 700
 TULSA, OK 74103
 PHONE: (918) 599-0541

STRUCTURAL ENGINEER
 SANDMAN STRUCTURAL ENGINEERS
 1581 30TH AVE S
 MOORHEAD, MINNESOTA 56560
 PHONE: (218) 227-0022

MECHANICAL ENGINEER
 MPW ENGINEERING SOLUTIONS
 110 W 7TH STREET, STE. 600
 TULSA, OK 74119
 PHONE: (918) 582-4088

PLUMBING ENGINEER
 MPW ENGINEERING SOLUTIONS
 110 W 7TH STREET, STE. 600
 TULSA, OK 74119
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ELECTRICAL ENGINEER
 MPW ENGINEERING SOLUTIONS
 110 W 7TH STREET, STE. 600
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DRAWING INDEX

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PROJECT DATA

1. SITE DATA			
TOTAL SITE AREA	33,120 SF. (0.76 ACRES)		
PARKING			
STANDARD PARKING SPACES	32 (11 FUTURE)		
ACCESSIBLE PARKING SPACES	3		
SINGLE CAR GARAGES	28		
TOTAL PARKING SPACES	63		
2. BUILDING DATA			
LEVEL	TOTAL GROSS SQUARE FOOTAGE		
FIRST LEVEL	16,681 SQ. FT.		
SECOND LEVEL	16,505 SQ. FT.		
TOTAL BUILDING AREA	33,186 SQ. FT.		
3. DWELLING UNITS:			
	1 BEDROOM	2 BEDROOM	TOTAL
FIRST LEVEL	4	10	14
SECOND LEVEL	3	11	14
TOTAL UNITS	7	21	28

ACCESSIBILITY:

TYPE "A": 15% OF 28 = 5 UNITS
 TYPE "B": 23 UNITS
 TYPE "C": 28 UNITS
 SIGHT/HEARING IMPAIRED EQUIPPED: 1 UNIT

CODE REVIEW

2009 INTERNATIONAL EXISTING BUILDING CODE	
2009 INTERNATIONAL BUILDING CODE	
2009 INTERNATIONAL MECHANICAL CODE	
2009 INTERNATIONAL PLUMBING CODE	
2009 NATIONAL ELECTRIC CODE	
2009 INTERNATIONAL ENERGY CONSERVATION CODE	
PROPERTY ZONING:	R-2
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	TYPE 5-A FULLY SPRINKLERED W/ NFPA 13R SYSTEM
HEIGHT/AREA LIMITATIONS:	3 STORIES/12,000 SF. (PER TABLE 503)
AREA INCREASE - FRONTAGE INCREASE	19,000 SF. (PER 506.2)
FIRE RESISTIVE REQUIREMENTS:	
STRUCTURAL FRAME	1 HR TABLE 601
EXTERIOR BEARING WALLS	1 HR TABLE 601
INTERIOR BEARING WALLS	1 HR TABLE 601
EXTERIOR NON BEARING WALLS	0 HR TABLE 602
INTERIOR NON BEARING WALLS	0 HR TABLE 601
FLOOR CONSTRUCTION	1 HR TABLE 601
ROOF CONSTRUCTION	1 HR TABLE 601
SHAFTS	1 HR SECTION 113.4
FLOOR CEILING (DWELLING UNIT SEPARATION)	1 HR SECTION 112.3
CORRIDORS	1/2 HR TABLE 102.1
VERTICAL EXIT ENCLOSURES	1 HR SECTION 1022.1
DWELLING UNIT SEPARATION	1 HR SECTION 108.3

GENERAL NOTES

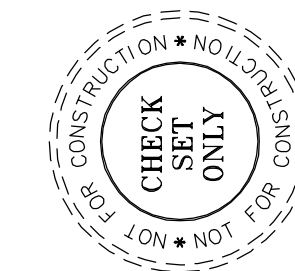
- THE SQUARE FOOTAGE IN THESE DOCUMENTS, DEFINED AS TOTAL AREA WAS CALCULATED FROM THE EXTERIOR FACE OF WALL AT EACH LEVEL.
- ALL WORK SHALL MEET ALL GOVERNING CODE JURISDICTIONS.
- THESE DOCUMENTS INDICATE THE INTENT OF THE IMPROVEMENTS/REPAIRS AND MAY REQUIRE ADDITIONAL INTERPRETATION OR DETAIL AS CONSTRUCTION CONDITIONS OCCUR. DIRECT ALL QUESTIONS TO THE OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL OUTLETS, TV JACKS, PHONE JACKS, ETC. MUST BE INSTALLED A MINIMUM OF 18" FROM THE FLOOR TO THE BOTTOM OF THE OUTLET OR JACK IN TYPICAL APARTMENTS, AND 18" AFF IN ACCESSIBLE APARTMENTS AND PUBLIC AREAS. ALL SWITCHES ARE TO BE LOCATED AT 48" AFF.
- ALL FIRE RATED ASSEMBLIES SHOWN IN THESE DOCUMENTS SHALL BE CONTINUOUS FROM THE TOP OF THE FLOOR ASSEMBLY BELOW TO THE UNDERSIDE OF THE FIRE RATED FLOOR OR ROOF SLAB ASSEMBLY ABOVE. PROVIDE FIRESTOPPING MATERIAL AS REQUIRED AT ALL VOIDS AND CAVITIES.
- REFER TO TECHNICAL SPECIFICATION SECTION 00200 FOR ADDITIONAL BID INFORMATION.
- ALL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE INCLUDED, AND SHALL MEET TESTED U.L. ASSEMBLIES FOR THE REQUIRED RATING. THIS ALSO INCLUDES ANY FIRE DAMPERS OR FIRE/SMOKE DAMPERS.
- THE BUILDING WILL BE FULLY SPRINKLERED WITH A NFPA 13R SYSTEM. CONTRACTOR TO VERIFY LOCAL WATER PRESSURE REQUIRED.

- PROVIDE FIRE PUMP AS REQUIRED BY LOCAL FIRE MARSHAL.
- BASE BID SHALL INCLUDE TWO AT-GRADE FREEZE PROOF HOSE BIBS LOCATED ON THE EAST & WEST SIDES OF THE BUILDING (WITH STUB-OUTS FOR IRRIGATION) AND ONE FREEZE PROOF HOSE BIB LOCATED ON THE ROOF. RE: PLUMBING
- PROVIDE A MINIMUM OF 1 UNIT THAT SHALL BE DESIGNATED AUDIO/VISUAL IMPAIRED WITH AUDIO/VISUAL FIRE ALARM DEVICES INCORPORATED IN ADDITION TO THE 5 TYPE "A" UNITS WHICH ARE TO BE EQUIPPED WITH THE SAME AUDIO/VISUAL IMPAIRED DEVICES. RE: ELECTRICAL.
- ALL HVAC SYSTEMS ARE REQUIRED TO HAVE AIR-BALANCE TESTS SUBMITTED TO THE ARCHITECT & OWNER IN WRITING FOR EACH UNIT PRIOR TO ACCEPTANCE AND SUBSTANTIAL COMPLETION. RE: MECHANICAL.
- PROVIDE MOCK UP OR DIAGRAM OF ROOF MOUNTED MECHANICAL EQUIPMENT AND DOG HOUSE DETAILS FOR APPROVAL BY OWNER AND ARCHITECT.
- PROVIDE HOT AND COLD WATER SHUT OFF VALVES FOR EACH INDIVIDUAL APARTMENT UNIT IN ADDITION TO SHUT OFF VALVES AT EACH FIXTURE. RE: MECHANICAL.

MHFA TAX CREDIT COMMITMENTS

METRO Plains

50% Progress Set
06/30/17

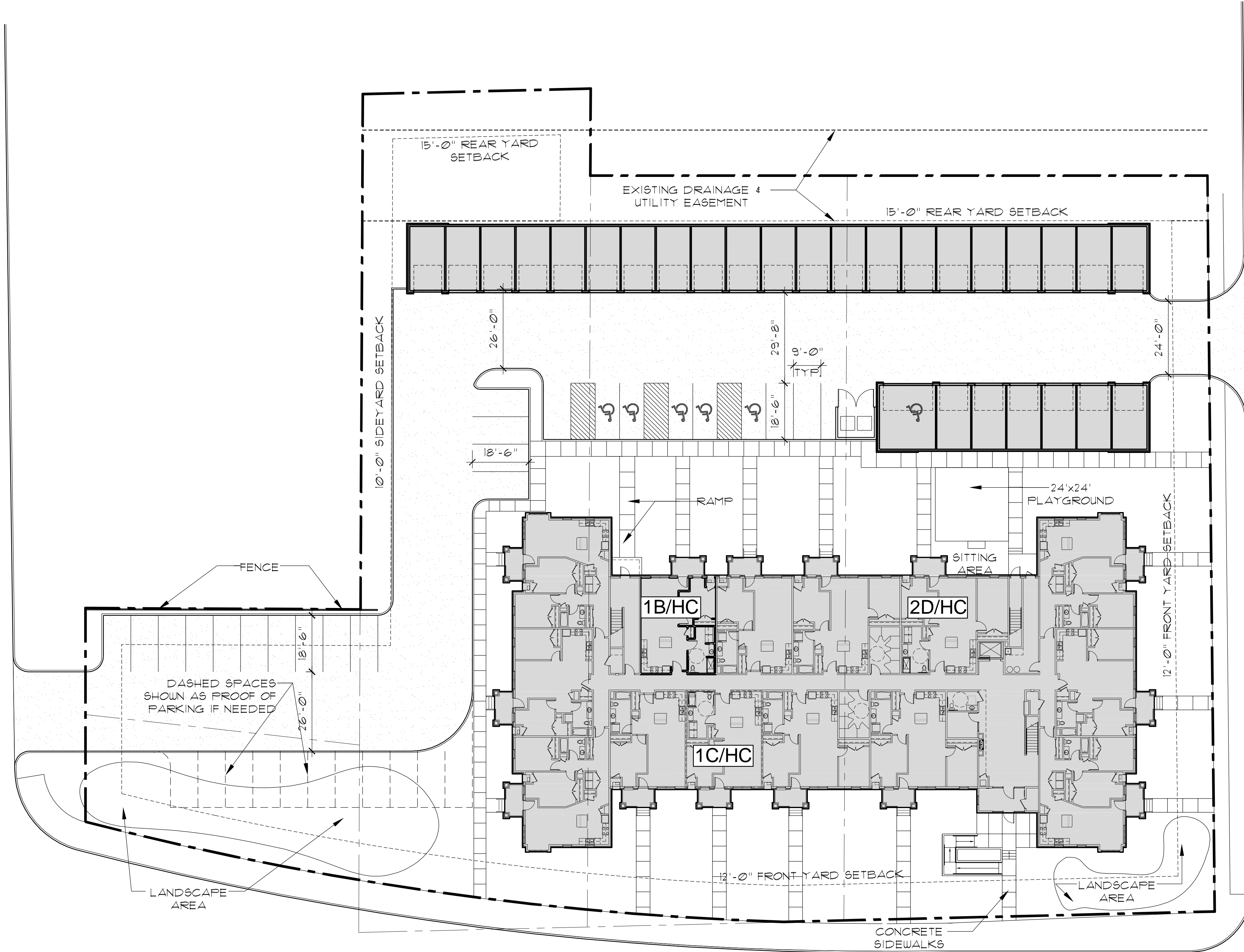


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Main Street Flats Limited Partnership
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4th Avenue NE



3rd Avenue NE

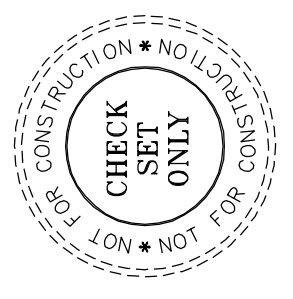
Main Street N



ARCHITECTURAL SITE PLAN
 SCALE: 1"=40'



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DRAWN BY:	MRA
CHECKED BY:	MRA
ISSUED:	06/30/11
REVISIONS	

SHEET TITLE:
Architectural Site Plan

AS101

GENERAL NOTES

- REFER TO SHEETS A201, A202, AND A203 FOR ALL ENLARGED UNIT PLANS.
- ALL DIMENSIONS ARE TO NEW OR EXISTING FINISH FACE OF WALL.
- FINISH COLORS WILL BE SELECTED BY OWNER AND APPLIED AS FOLLOWS:
APARTMENT UNITS:
TWO COLORS FOR CEILINGS & WALLS. ALL UNITS IN ALTERNATING SEQUENCE FROM ROOM TO ROOM AND FLOOR TO FLOOR. TRIM SEPARATE COLOR THAN WALL.
CORRIDORS & COMMON SPACES:
TWO COLORS ON ALL WALLS & CEILINGS. COLOR BREAK AT HANDRAIL OR PICTURE RAIL OR HOLDING LINE. TRIM TO BE DIFFERENT COLOR THAN WALL COLORS.
- PROVIDE SIGNS @ 5'-0" AFF AT EACH STAIR ENCLOSURE DESIGNATING FLOOR LEVEL, TERMINUS OF TOP AND BOTTOM, DIRECTION OF EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS. ACTUAL COPY AND LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL.
- ALL FIRE EXTINGUISHERS SHALL COMPLY WITH 2006 IFC, LOCAL FIRE MARSHAL REQUIREMENTS AND NFPA 10. PROVIDE 10 LB FIRE EXTINGUISHERS IN SEMI-RECESSED CABINETS. FINAL LAYOUT AND QUANTITY TO BE APPROVED BY THE FIRE MARSHAL. EACH APPLIANCE SHALL HAVE THE DES MOINES FIRE DEPARTMENT TAG ATTACHED BY A LICENSED REPRESENTATIVE.
- ALL VERTICAL CHASES ARE TO BE 1 HOUR FIRE RATED ASSEMBLIES. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY THE BUILDING CODE AND TO MEET ANY SYSTEM REQUIREMENT.

- SEMI-RECESSED FIRE EXTINGUISHER, 2A RATING MIN., RE: 2-A401
- WALL MOUNTED FIRE EXTINGUISHER CABINET, 2A RATING MIN., RE: 2-A401
- 8" CMU 1 HOUR FIRE RATED ELEVATOR SHAFT.
- STAIR HANDRAIL, RE: 6-A413.
- SECURITY ACCESS PAD.
- FIRE ALARM ANNUNCIATOR PANEL. FINAL LOCATION TO BE APPROVED BY THE FIRE MARSHAL.
- 3500 LB HYDRAULIC ELEVATOR AND EQUIPMENT, RE: SPECIFICATIONS.
- FRONT LOADING MAILBOXES.
- AUTOMATIC DOOR OPENER PUSH PAD.

KEYNOTE LEGEND

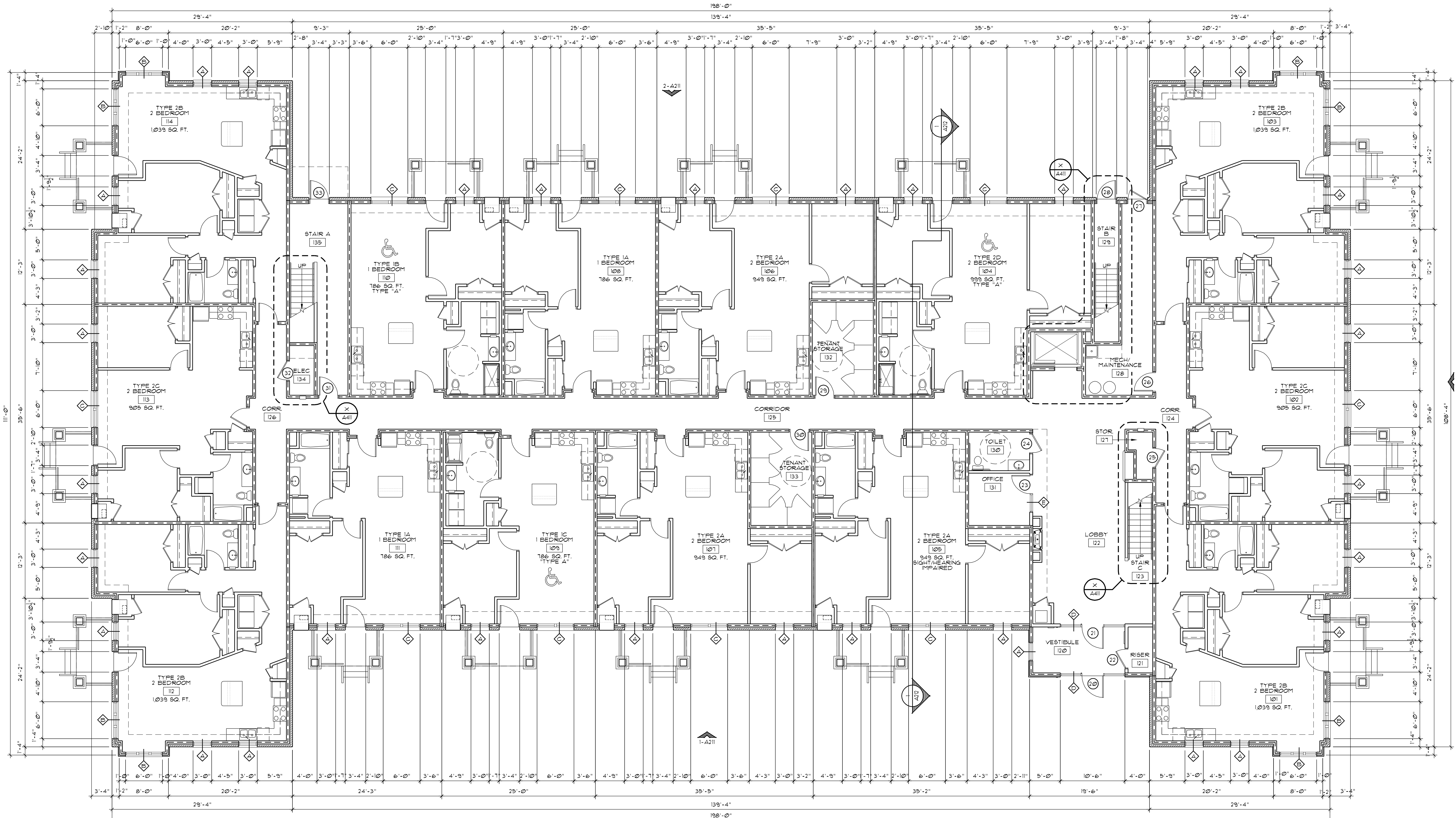
- ROOF ACCESS LADDER, RE: 13-A411.
- JANITOR FLOOR SINK.
- ROOF MEMBRANE ON RIGID TAPERED INSULATION, 6" MINIMUM THICKNESS, CRICKET TO PROVIDE 1/2" FT. POSITIVE SLOPE TO SCUPPERS, DRAINS OR GUTTERS.
- 42" STEEL GUARD, PRIME & PAINT.
- NEW ROOF TOP MECHANICAL EQUIPMENT LOCATIONS, RE: MECHANICAL PLANS.
- PRECAST CONCRETE SPLASH BLOCK.
- PROPOSED STANDPIPE LOCATION. FIRE SPRINKLER DRAWINGS TO BE SUBMITTED FOR APPROVAL BY FIRE MARSHAL.
- PROVIDE SUMP PUMP & SUMP PIT IN ELEVATOR PIT AS REQUIRED BY THE WISCONSIN STATE ELEVATOR

INSPECTOR

- TAPER CONCRETE OVERLAY TO FEATHER EDGE AT TRANSITION TO EXISTING FLOOR. PROVIDE 5'-0" X 5'-0" FLAT FLOOR ON BOTH SIDES OF DOORS.
- 2'-6" X 4'-6" STEEL ROOF HATCH EQUAL TO BILCO NB-20, RE: 13-A411.

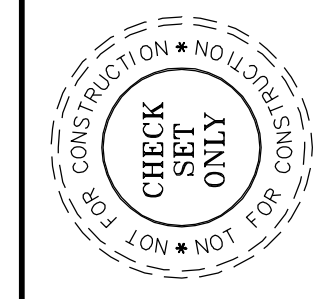
LEGEND

- 0 HOUR PARTITION
- 1 HOUR RATED PARTITION
- RE: SHEET A501 FOR DOOR SCHEDULE
- RE: SHEET A401 FOR PARTITION TYPES
- RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
- W/D WASHER & DRYER
- R45 ROD & SHELF, RE: 5-A4602
- SLV SHELVES, RE: 6-A4602



FIRST LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"
NORTH

Sikes Abernathie Architects
406 South Boulder Ave.
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50% Progress Set
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DRAWN BY: MRA
CHECKED BY: MRA
ISSUED: 06/30/17
REVISIONS

SHEET TITLE:
First Level Floor Plan

A101

GENERAL NOTES

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- STAIR HANDRAIL, RE: 6-A413.
- SECURITY ACCESS PAD.
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- 3500 LB HYDRAULIC ELEVATOR AND EQUIPMENT, RE: SPECIFICATIONS.
- FRONT LOADING MAILBOXES.
- AUTOMATIC DOOR OPENER PUSH PAD.

KEYNOTE LEGEND

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- ROOF MEMBRANE ON RIGID TAPERED INSULATION, 6" MINIMUM THICKNESS, CRICKET TO PROVIDE 1/2" FT. POSITIVE SLOPE TO SCUPPERS, DRAINS OR GUTTERS.
- 42" STEEL GUARD, PRIME & PAINT.
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LEGEND

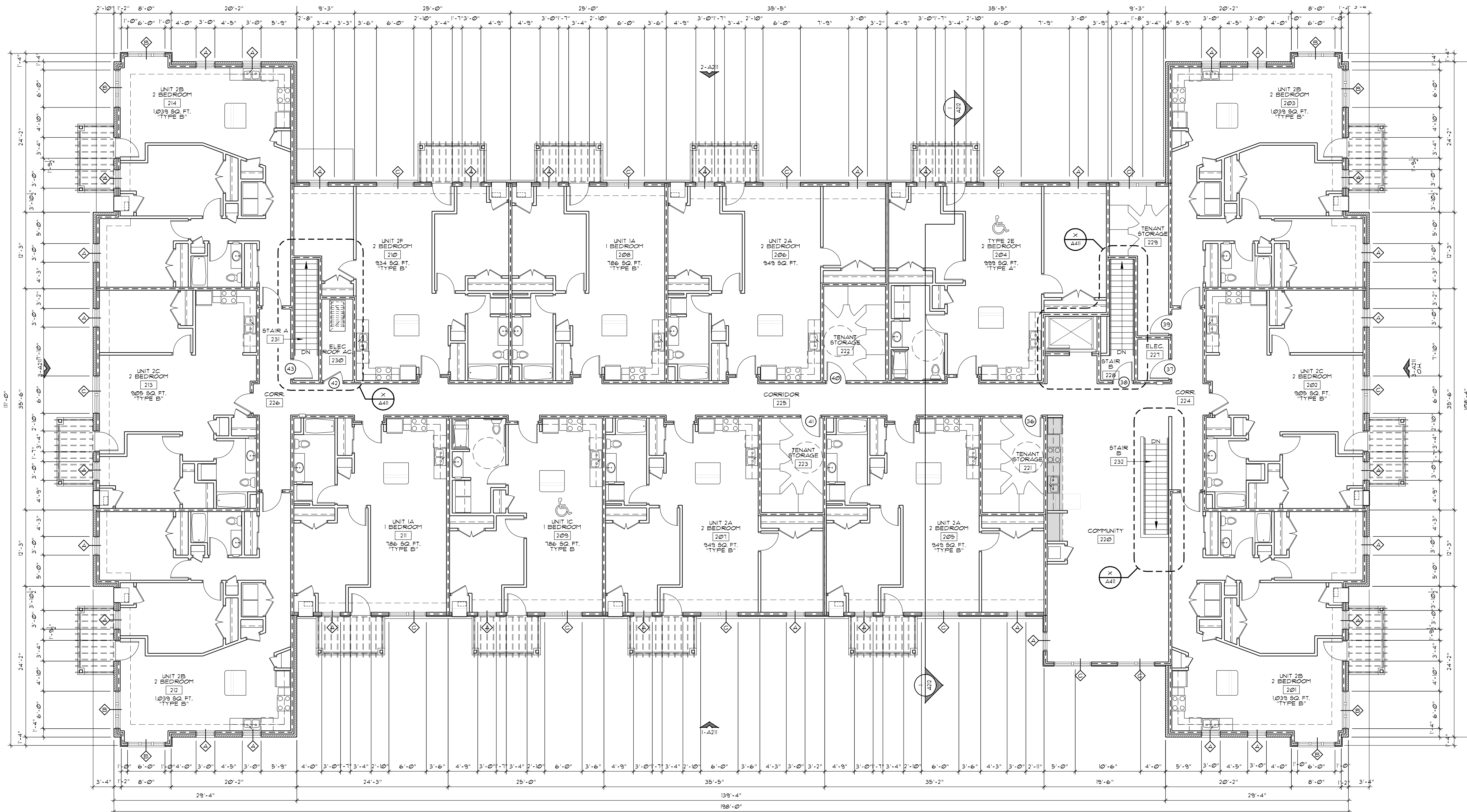
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- RE: SHEET A401 FOR PARTITION TYPES
- RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
- W/D WASHER & DRYER
- R45 ROD & SHELF, RE: 5-A602
- SLV SHELVES, RE: 6-A602

LEGEND

- INSPECTOR
- TAPER CONCRETE OVERLAY TO FEATHER EDGE AT TRANSITION TO EXISTING FLOOR. PROVIDE 5'-0" X 5'-0" FLAT FLOOR ON BOTH SIDES OF DOORS.
- 2'-6" X 4'-6" STEEL ROOF HATCH EQUAL TO BILCO NB-20, RE: 13-A411.

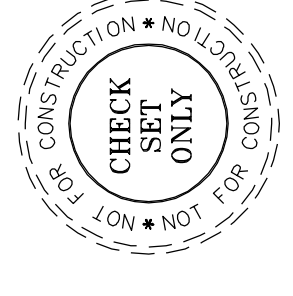
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SECOND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"
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DRAWN BY: MRA
CHECKED BY: MRA
ISSUED: 06/30/17
REVISIONS

SHEET TITLE:
Second Level Floor Plan

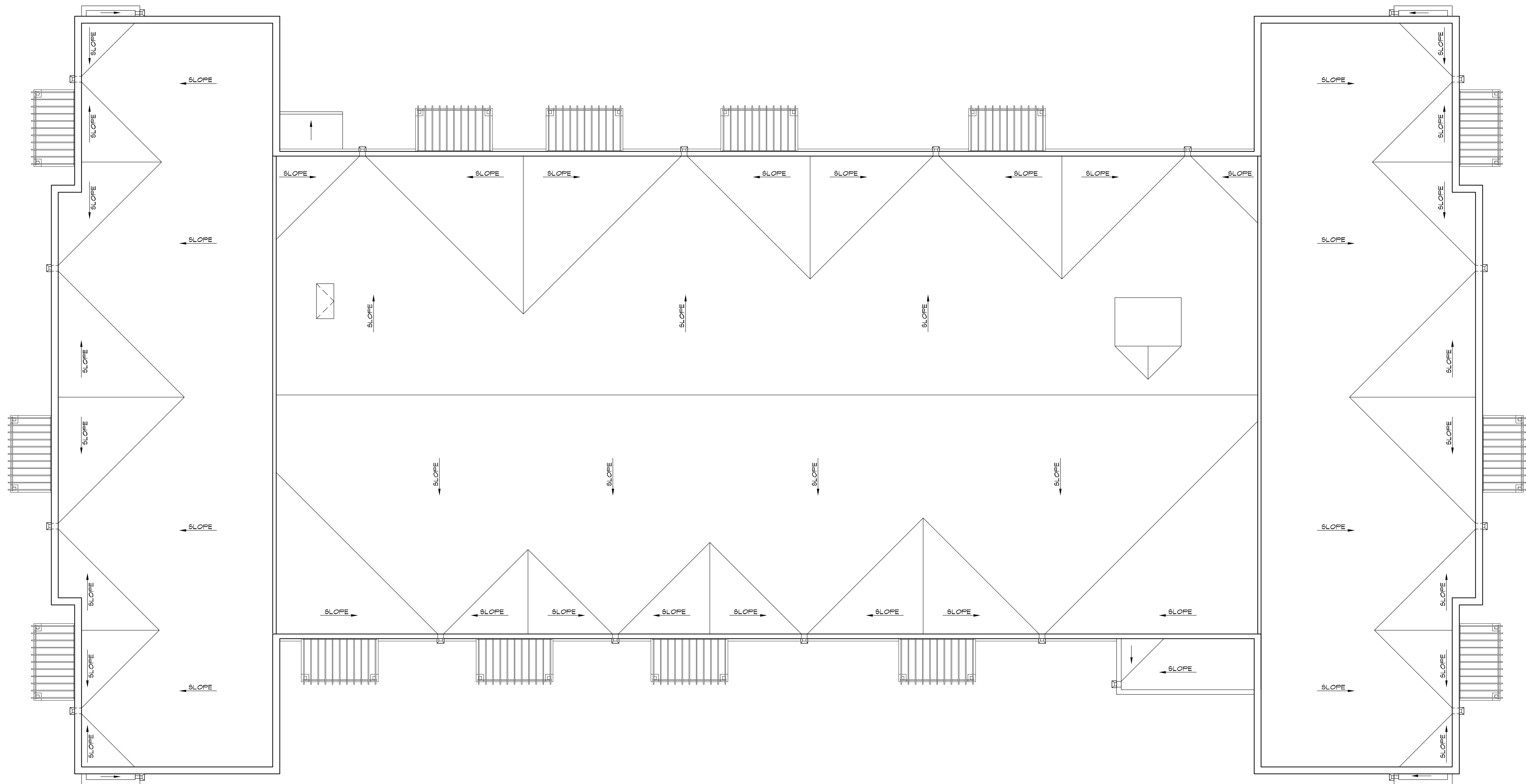
A102

GENERAL NOTES	
1. REFER TO SHEETS A201, A202, AND A203 FOR ALL ENLARGED UNIT PLANS.	4. PROVIDE SIGNS @ 5'-0" AFF AT EACH STAIR ENCLOSURE DESIGNATING FLOOR LEVEL, TERMINUS OF TOP AND BOTTOM, DIRECTION OF EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS. ACTUAL COPY AND LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL.
2. ALL DIMENSIONS ARE TO NEW OR EXISTING FINISH FACE OF WALL.	5. ALL FIRE EXTINGUISHERS SHALL COMPLY WITH 2006 IFC, LOCAL FIRE MARSHAL REQUIREMENTS AND NFPA 10. PROVIDE 10 LB FIRE EXTINGUISHERS IN SEMI-RECESSED CABINETS. FINAL LAYOUT AND QUANTITY TO BE APPROVED BY THE FIRE MARSHAL. EACH APPLIANCE SHALL HAVE THE DES MOINES FIRE DEPARTMENT TAG ATTACHED BY A LICENSED REPRESENTATIVE.
3. FINISH COLORS WILL BE SELECTED BY OWNER AND APPLIED AS FOLLOWS: APARTMENT UNITS: TWO COLORS FOR CEILINGS & WALLS ALL UNITS- IN ALTERNATING SEQUENCE FROM ROOM TO ROOM AND FLOOR TO FLOOR. TRIM SEPARATE COLOR THAN WALL. CORRIDORS & COMMON SPACES: TWO COLORS ON ALL WALLS & CEILINGS, COLOR BREAK AT HANDRAIL OR PICTURE RAIL OR HOLDING LINE. TRIM TO BE DIFFERENT COLOR THAN WALL COLORS.	6. ALL VERTICAL CHASES ARE TO BE 1 HOUR FIRE RATED ASSEMBLIES. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY THE BUILDING CODE AND TO MEET ANY SYSTEM REQUIREMENT.

KEYNOTE LEGEND	
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1B. WALL MOUNTED FIRE EXTINGUISHER CABINET, 2A RATING MIN., RE: 2-A401	10. JANITOR FLOOR SINK.
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3. STAIR HANDRAIL, RE: 6-A413.	12. 42" STEEL GUARD, PRIME & PAINT.
4. SECURITY ACCESS PAD.	13. NEW ROOF TOP MECHANICAL EQUIPMENT LOCATIONS, RE: MECHANICAL PLANS.
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6. 3500 LB HYDRAULIC ELEVATOR AND EQUIPMENT, RE: SPECIFICATIONS.	15. PROPOSED STANDPIPE LOCATION. FIRE SPRINKLER DRAWINGS TO BE SUBMITTED FOR APPROVAL BY FIRE MARSHAL.
7. FRONT LOADING MAILBOXES.	16. PROVIDE SUMP PUMP & SUMP PIT IN ELEVATOR PIT AS REQUIRED BY THE WISCONSIN STATE ELEVATOR
8. AUTOMATIC DOOR OPENER PUSH PAD.	

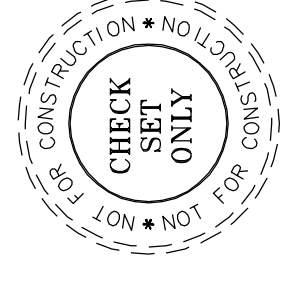
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W/D	WASHER & DRYER
R4S	ROD & SHELF, RE: 5-A602
SLV	SHELVES, RE: 6-A602



NORTH
1 ROOF PLAN
 A103 SCALE: 1/8"=1'-0"

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Main Street Flats Limited Partnership
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 50% Progress Set
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DRAWN BY:	MRA
CHECKED BY:	MRA
ISSUED:	06/30/11
REVISIONS	

SHEET TITLE:
Roof Plan

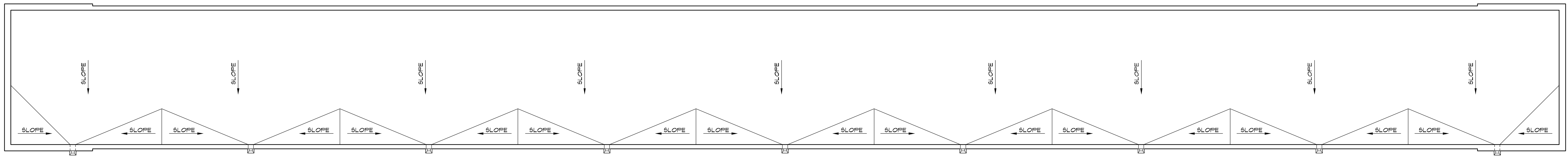
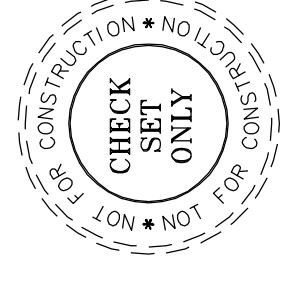
A103

GENERAL NOTES	
1. REFER TO SHEETS A201, A202, AND A203 FOR ALL ENLARGED UNIT PLANS.	4. PROVIDE SIGNS @ 5'-0" AFF AT EACH STAIR ENCLOSURE DESIGNATING FLOOR LEVEL, TERMINUS OF TOP AND BOTTOM, DIRECTION OF EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS. ACTUAL COPY AND LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL.
2. ALL DIMENSIONS ARE TO NEW OR EXISTING FINISH FACE OF WALL.	5. ALL FIRE EXTINGUISHERS SHALL COMPLY WITH 2006 IFC, LOCAL FIRE MARSHAL REQUIREMENTS AND NFPA 10. PROVIDE 10 LB FIRE EXTINGUISHERS IN SEMI-RECESSED CABINETS. FINAL LAYOUT AND QUANTITY TO BE APPROVED BY THE FIRE MARSHAL. EACH APPLIANCE SHALL HAVE THE DES MOINES FIRE DEPARTMENT TAG ATTACHED BY A LICENSED REPRESENTATIVE.
3. FINISH COLORS WILL BE SELECTED BY OWNER AND APPLIED AS FOLLOWS: APARTMENT UNITS: TWO COLORS FOR CEILINGS & WALLS ALL UNITS-IN ALTERNATING SEQUENCE FROM ROOM TO ROOM AND FLOOR TO FLOOR. TRIM SEPARATE COLOR THAN WALL. CORRIDORS & COMMON SPACES: TWO COLORS ON ALL WALLS & CEILINGS, COLOR BREAK AT HANDRAIL OR PICTURE RAIL OR HOLDING LINE. TRIM TO BE DIFFERENT COLOR THAN WALL COLORS.	6. ALL VERTICAL CHASES ARE TO BE 1 HOUR FIRE RATED ASSEMBLIES. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY THE BUILDING CODE AND TO MEET ANY SYSTEM REQUIREMENT.

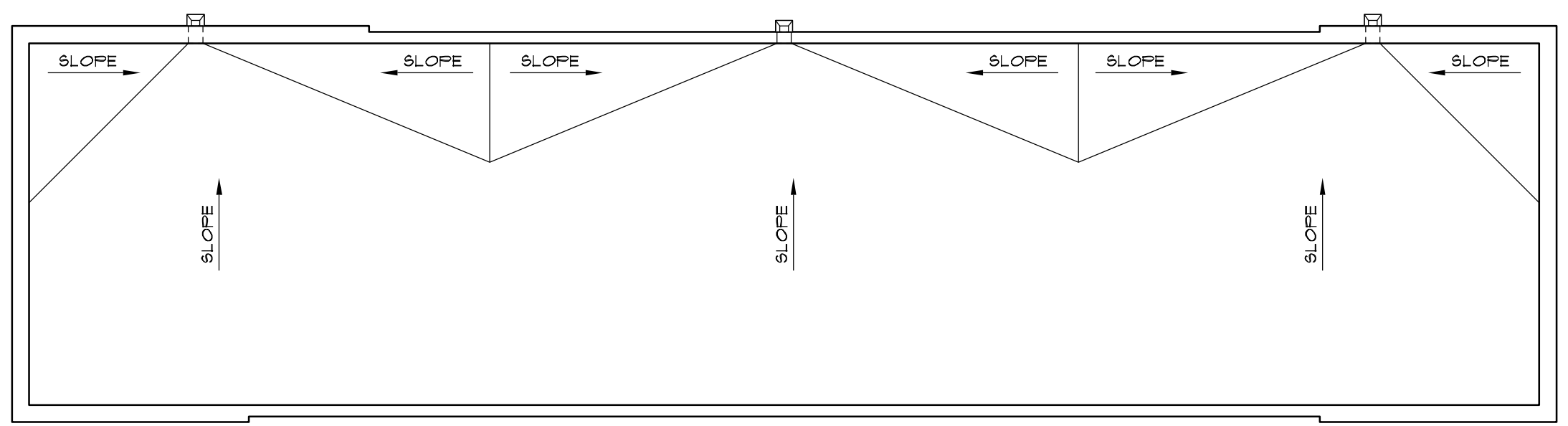
KEYNOTE LEGEND	
1A. SEMI-RECESSED FIRE EXTINGUISHER, 2A RATING MIN., RE: 2-A401	9. ROOF ACCESS LADDER, RE: 13-A411.
1B. WALL MOUNTED FIRE EXTINGUISHER CABINET, 2A RATING MIN., RE: 2-A401	10. JANITOR FLOOR SINK.
2. 8" CMU 1 HOUR FIRE RATED ELEVATOR SHAFT.	11. ROOF MEMBRANE ON RIGID TAPERED INSULATION, 6" MINIMUM THICKNESS, CRICKET TO PROVIDE 1/8" FT. POSITIVE SLOPE TO SCUPPERS, DRAINS OR GUTTERS.
3. STAIR HANDRAIL, RE: 6-A413.	12. 42" STEEL GUARD, PRIME & PAINT.
4. SECURITY ACCESS PAD.	13. NEW ROOF TOP MECHANICAL EQUIPMENT LOCATIONS, RE: MECHANICAL PLANS.
5. FIRE ALARM ANNUNCIATOR PANEL. FINAL LOCATION TO BE APPROVED BY THE FIRE MARSHAL.	14. PRECAST CONCRETE SPLASH BLOCK.
6. 3500 LB HYDRAULIC ELEVATOR AND EQUIPMENT, RE: SPECIFICATIONS.	15. PROPOSED STANDPIPE LOCATION. FIRE SPRINKLER DRAWINGS TO BE SUBMITTED FOR APPROVAL BY FIRE MARSHAL.
7. FRONT LOADING MAILBOXES.	16. PROVIDE SUMP PUMP & SUMP PIT IN ELEVATOR PIT AS REQUIRED BY THE WISCONSIN STATE ELEVATOR
8. AUTOMATIC DOOR OPENER PUSH PAD.	

LEGEND	
	0 HOUR PARTITION
	1 HOUR RATED PARTITION
	RE: SHEET A501 FOR DOOR SCHEDULE
	RE: SHEET A401 FOR PARTITION TYPES
	RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
	W/D WASHER & DRYER
	R/S ROD & SHELF, RE: 5-A602
	SLV SHELVES, RE: 6-A602

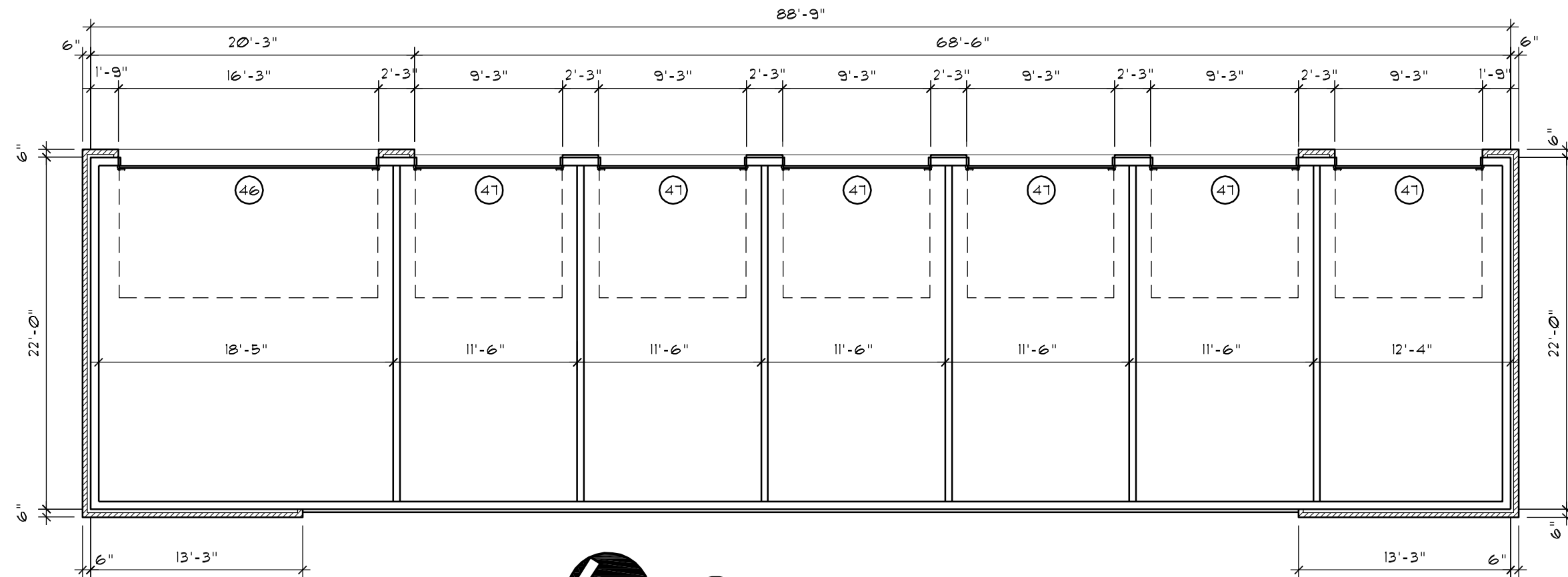
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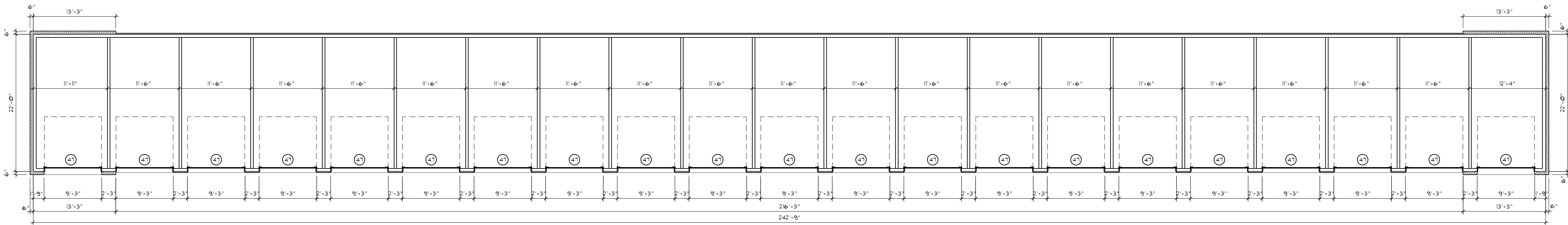
4 GARAGE B PLAN
A104 SCALE: 1/8"=1'-0"



3 GARAGE A ROOF PLAN
A104 SCALE: 1/8"=1'-0"



2 GARAGE A PLAN
A104 SCALE: 1/8"=1'-0"



1 GARAGE B ROOF PLAN
A104 SCALE: 1/8"=1'-0"

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SHEET TITLE:
Tenant Garage Plans

A104

- CEILING GENERAL NOTES**
1. ALL CLOSET CEILING SHALL BE LOCATED AT 8'-0" AFF. UNLESS SHOWN TO BE OPEN TO STRUCTURE.
 2. CEILING HEIGHTS, INDICATED ON PLANS, ARE NOMINAL, REFER TO BUILDING SECTIONS AND WALL SECTIONS.
 3. PROVIDE ADDITIONAL FRAMING STRUCTURE IN CEILING TO SUPPORT MECHANICAL ITEMS, DO NOT OBSTRUCT VERTICAL CHASES.
 4. ALL FINAL COLOR SELECTIONS ARE BY OWNER.
 5. FIRE SUPPRESSION SPRINKLER PIPING; CONTRACTOR SHALL COORDINATE LOCATION OF RISER MAIN LOOP AND BRANCH LINES WITH STRUCTURE CEILING HEIGHTS. ADDITIONAL FURRING MAY BE REQUIRED TO ACCOMMODATE INSTALLATION.
 6. UNLESS OTHERWISE NOTED, ALL MECHANICAL CLOSET CEILING ARE THE UNDERSIDE OF THE FLOOR/CEILING OR ROOF/CEILING RATED ASSEMBLY.

CEILING LEGEND

- C1 NEW TYPE X 5/8" GYPSUM BOARD CEILING AS PART OF THE 1 HOUR FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY.
- C2 NEW 5/8" GYPSUM BOARD CEILING ON SUSPENDED/FURRED METAL FRAMING CONSTRUCTED BELOW THE 1 HOUR FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY.
- C3 UNDERSIDE OF STAIRS TO BE PAINTED.
- EMERGENCY LIGHTING
- SMOKE / CARBON MONOXIDE DETECTOR (REFER TO DESIGN BUILD FIRE ALARM & ELECTRICAL DRAWINGS)
- EXIT SIGNS



FIRST LEVEL REFLECTED CEILING PLAN
 SCALE: 1/16"=1'-0"
 NORTH

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SHEET TITLE:
First Level Reflected Ceiling Plan

A111

LIGHTING SCHEDULE			
MK	TYPE	MFG.	DESCRIPTION
E	TRACK LIGHTING (KITCHEN)	WAC LTG	SCALE H STYLE TRACK LENGTH, 18" CEILING TRACK EXTENSION KIT, MODEL 188 HEADS
F	CEILING (FOYER/HALL)	PROGRESS	P5114-31/30K LED
G	VANITY WALL MT.	G KOVAKS	TUBE BATH BAR P5046-084-L LED
H	EXH. FAN	PANASONIC	WHISPER GREEN
J	WALL MT. (CLOSET)	LITHONIA	WC11A12MVOLTGB016 - 1 FT T8
K	CEILING RECESS	WAC LTG	FM-306-930UH DISC LED
P	8GL. FT. TRACK HEAD	WAC LTG	SAME HEAD AS E, MODEL 188, NO TRACK W/ 18" CLG. EXTENSION
Q	COVE	NEO-RAY	AL-COVE T41W, SCALE LENGTH FROM PLANS
R	PENDANT	RUUD LTG	2 LAMP PERFORATED, 4' 28W T8, UP4B2X28

COMMON AREA FIXTURES REFERENCED IN THIS SCHEDULE MAY BE INCOMPLETE. REMAINING REQUIRED FIXTURES SHALL BE DETAILED ON ELECTRICAL ENGINEERING DOCUMENTS.

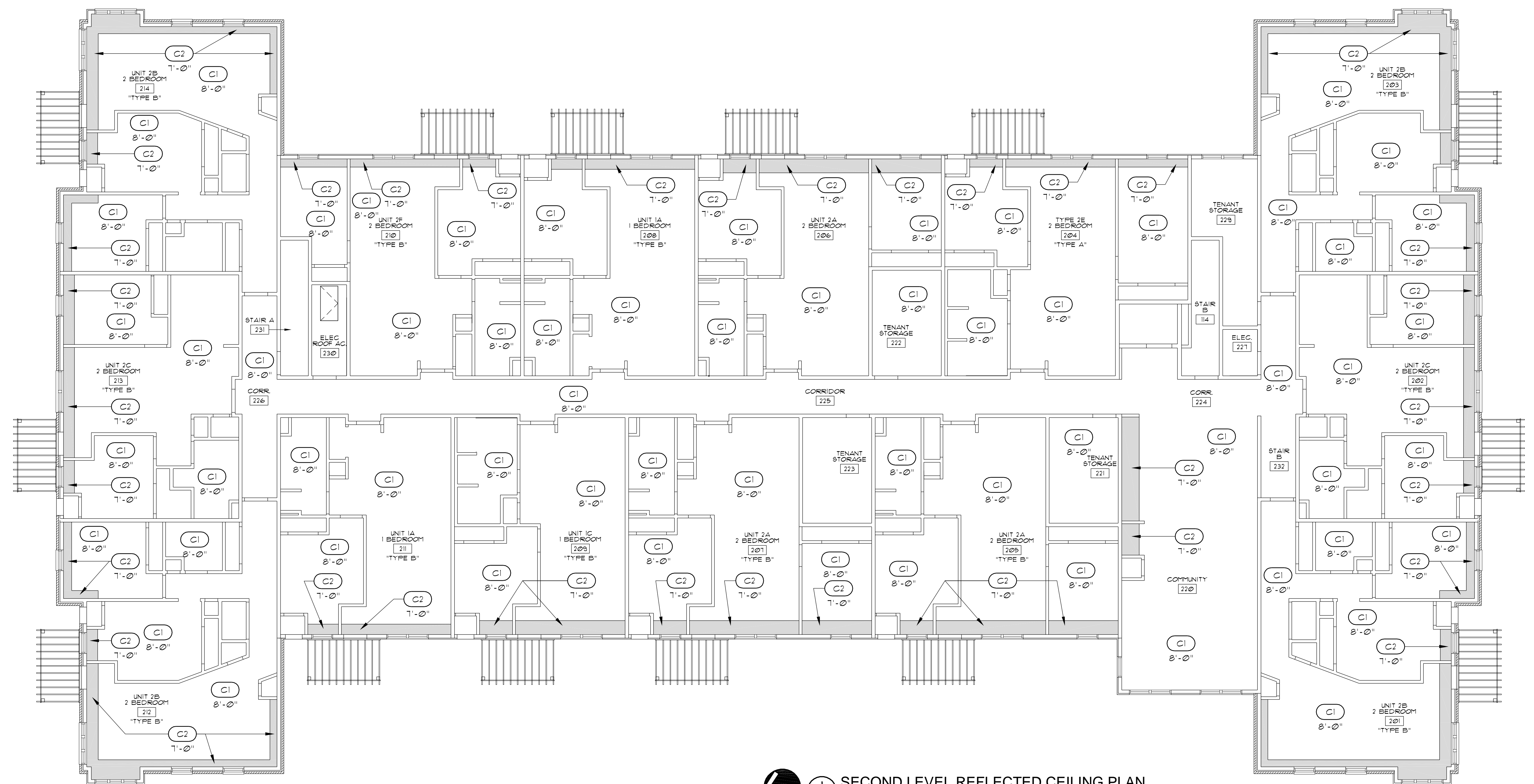
- ### CEILING GENERAL NOTES
- ALL CLOSET CEILING SHALL BE LOCATED AT 8'-0" AFF. UNLESS SHOWN TO BE OPEN TO STRUCTURE.
 - CEILING HEIGHTS, INDICATED ON PLANS, ARE NOMINAL, REFER TO BUILDING SECTIONS AND WALL SECTIONS.
 - PROVIDE ADDITIONAL FRAMING STRUCTURE IN CEILING TO SUPPORT MECHANICAL ITEMS, DO NOT OBSTRUCT VERTICAL CHASES.
 - ALL FINAL COLOR SELECTIONS ARE BY OWNER.
 - FIRE SUPPRESSION SPRINKLER PIPING: CONTRACTOR SHALL COORDINATE LOCATION OF RISER, MAIN LOOP AND BRANCH LINES WITH STRUCTURE CEILING HEIGHTS. ADDITIONAL FURRING MAY BE REQUIRED TO ACCOMMODATE INSTALLATION.
 - UNLESS OTHERWISE NOTED, ALL MECHANICAL CLOSET CEILING ARE THE UNDERSIDE OF THE FLOOR/CEILING OR ROOF/CEILING RATED ASSEMBLY.

CEILING LEGEND

- C1: NEW TYPE X 5/8" GYPSUM BOARD CEILING AS PART OF THE 1 HOUR FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY
- C2: NEW 5/8" GYPSUM BOARD CEILING ON SUSPENDED/FURRED METAL FRAMING CONSTRUCTED BELOW THE 1 HOUR FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY
- C3: UNDERSIDE OF STAIRS TO BE PAINTED.
- Emergency Lighting Symbol: EMERGENCY LIGHTING
- S: SMOKE / CARBON MONOXIDE DETECTOR (REFER TO DESIGN BUILD FIRE ALARM ELECTRICAL DRAWINGS)
- Exit Sign Symbol: EXIT SIGNS

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SECOND LEVEL REFLECTED CEILING PLAN
 SCALE: 1/16"=1'-0"
 NORTH

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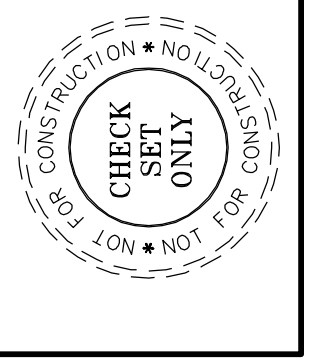
SHEET TITLE:
Second Level Reflected Ceiling Plan

A112

FLOOR FINISH KEY	
SC	SEALED CONCRETE
CA	CARPET
T	TILE
VCT	VINYL COMPOSITION TILE
FLK	LUXURY VINYL FLANK

REFER TO SHEET A501 FOR ROOM FINISH SCHEDULE & FINISH LEGENDS

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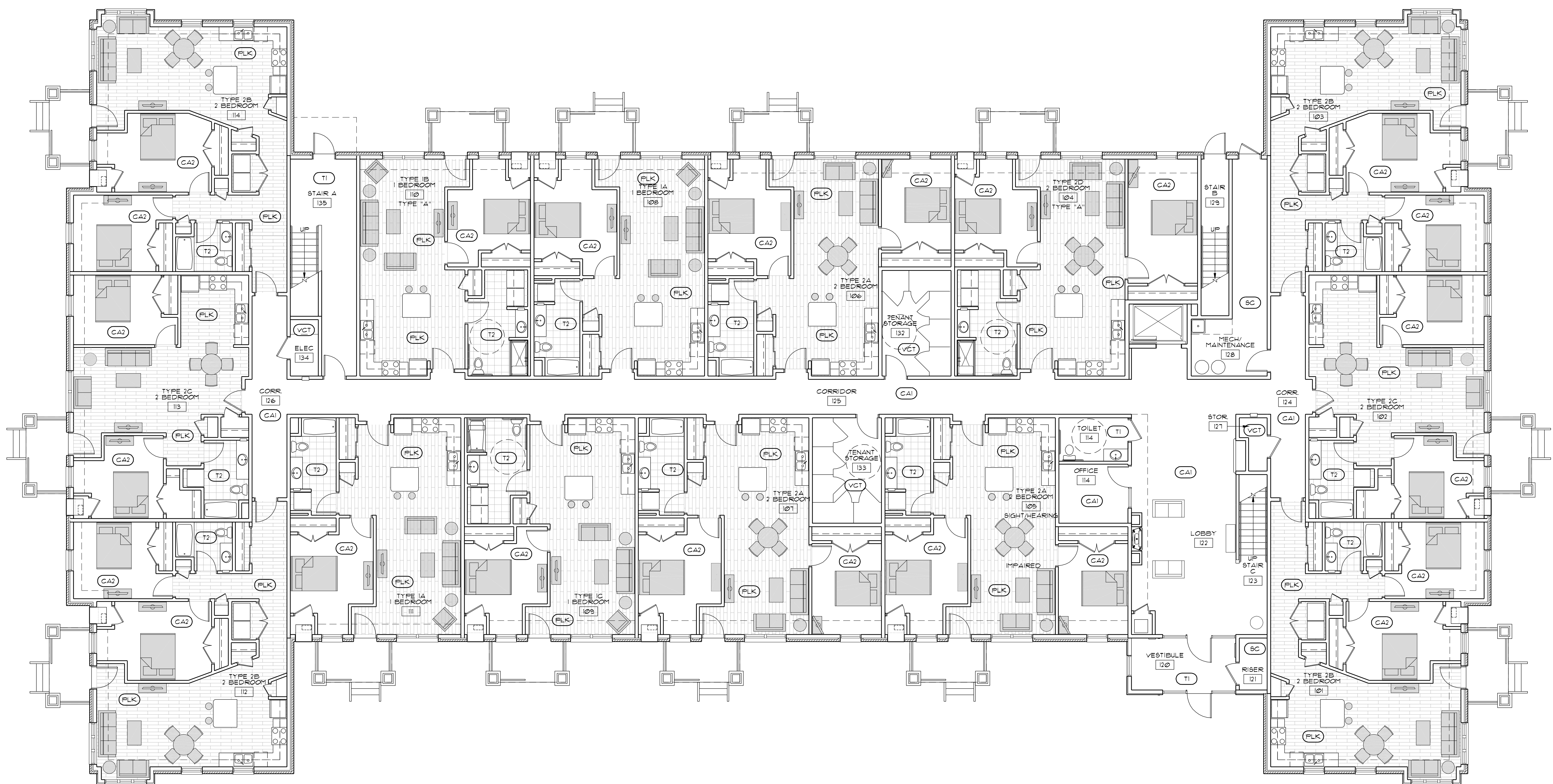


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SHEET TITLE:
**First Level Floor
 Finish Plan**

A121

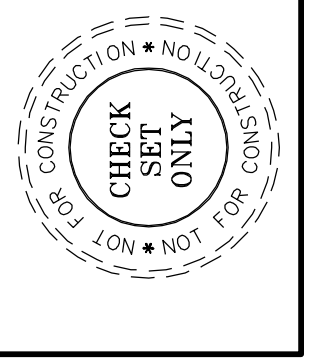


1 FIRST LEVEL FLOOR FINISH PLAN
 A121 SCALE: 1/8"=1'-0"
 NORTH

FLOOR FINISH KEY	
SC	SEALED CONCRETE
CA	CARPET
T	TILE
VCT	VINYL COMPOSITION TILE
FLK	LUXURY VINYL FLANK

REFER TO SHEET A501 FOR ROOM FINISH SCHEDULE & FINISH LEGENDS

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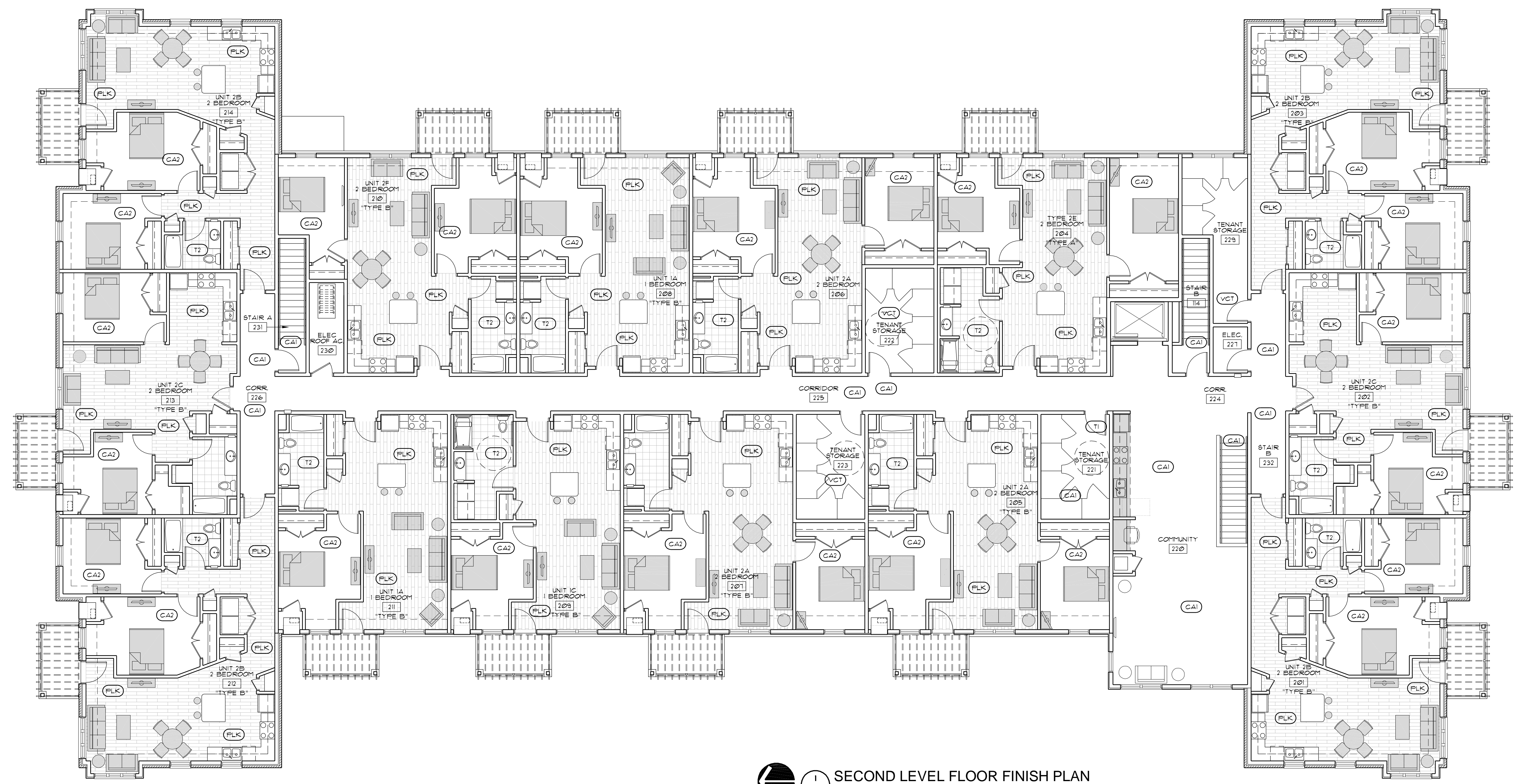


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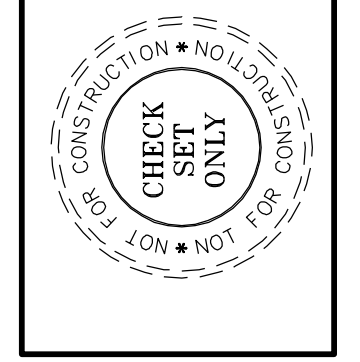
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SHEET TITLE:
Second Level Floor Finish Plan

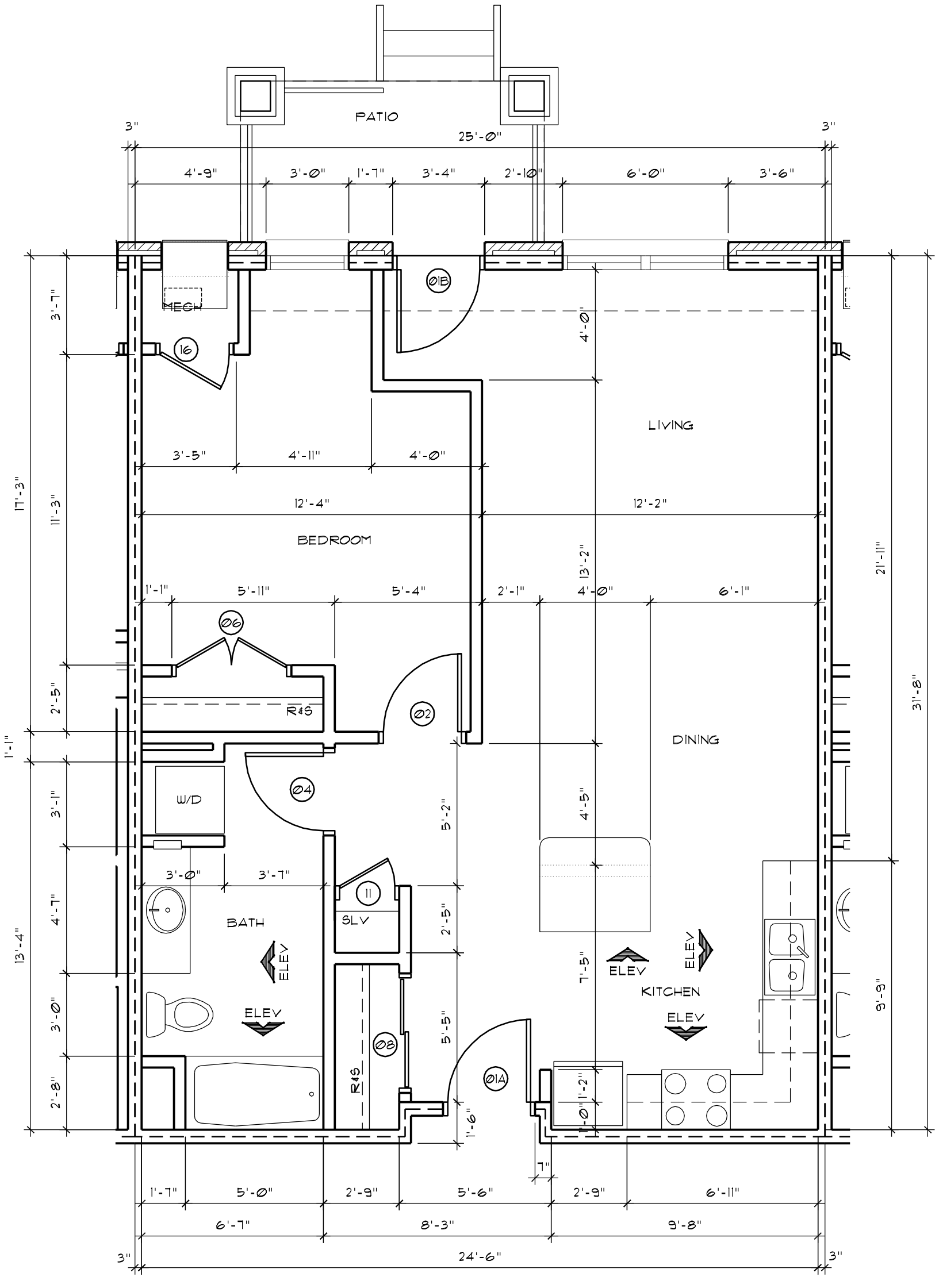
A122



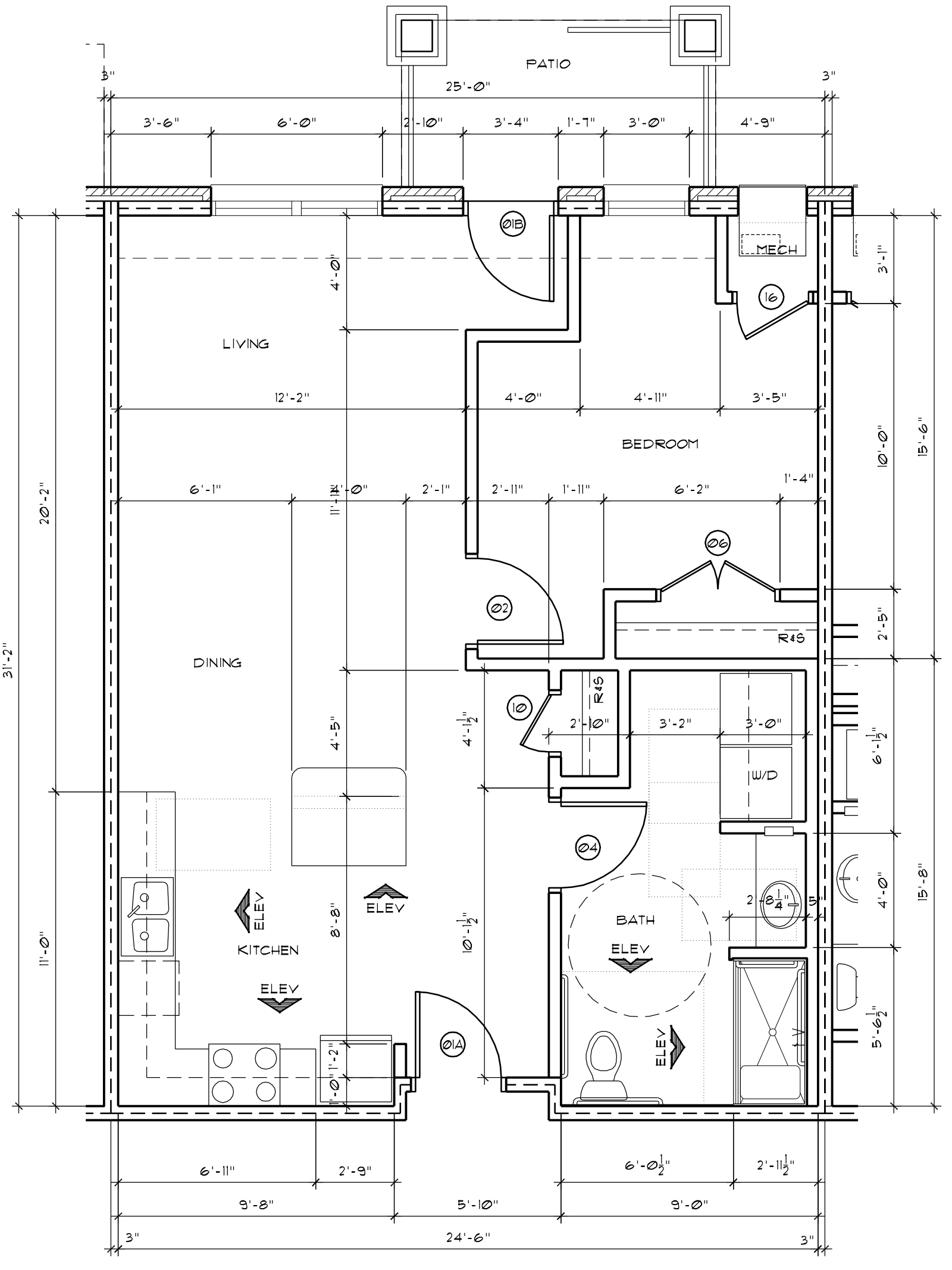
1 SECOND LEVEL FLOOR FINISH PLAN
 A122 SCALE: 1/8"=1'-0"
 NORTH



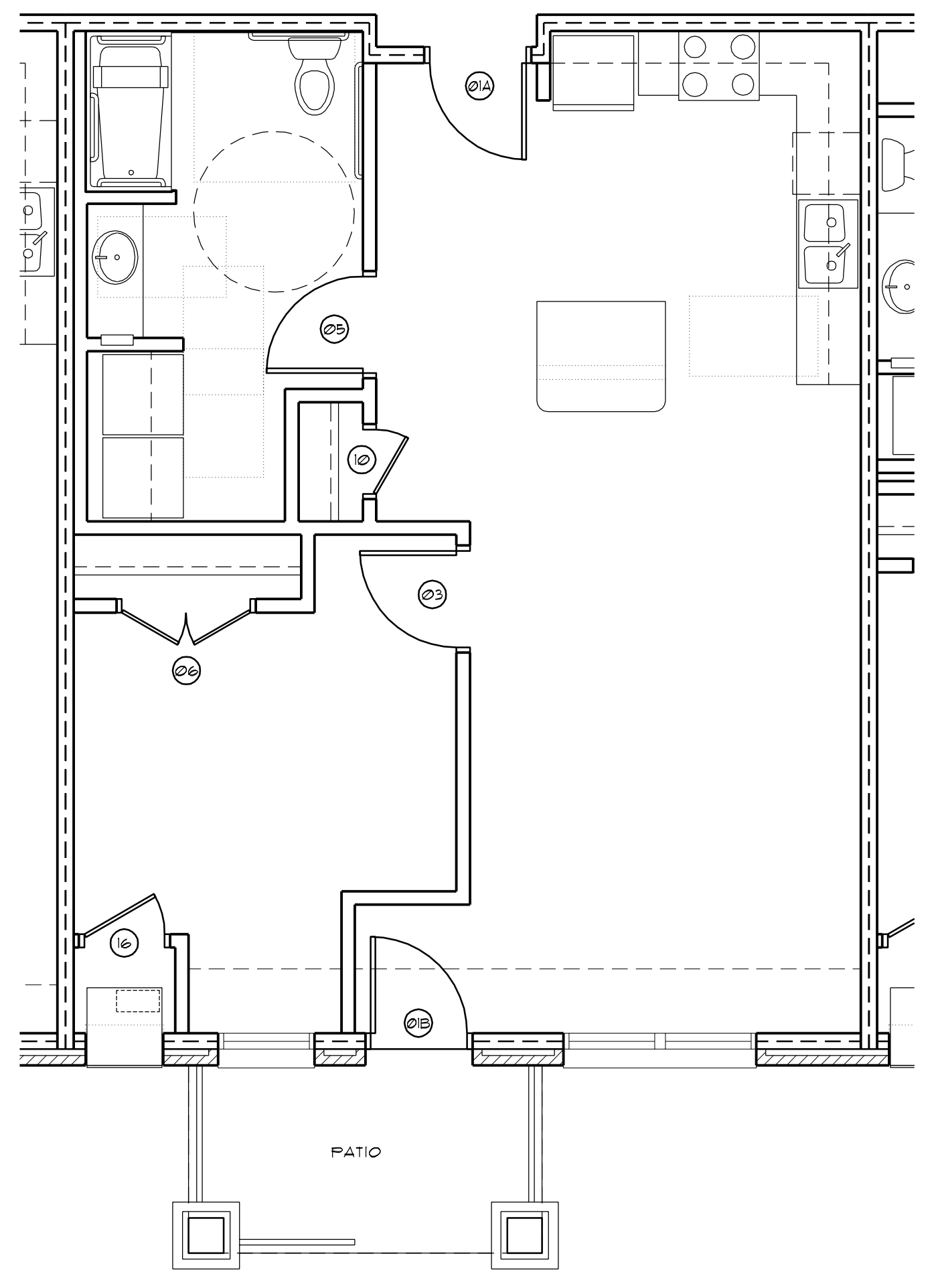
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1
UNIT 1A
ONE BEDROOM PLAN
 SCALE: 1/4"=1'-0"
 TYPE B

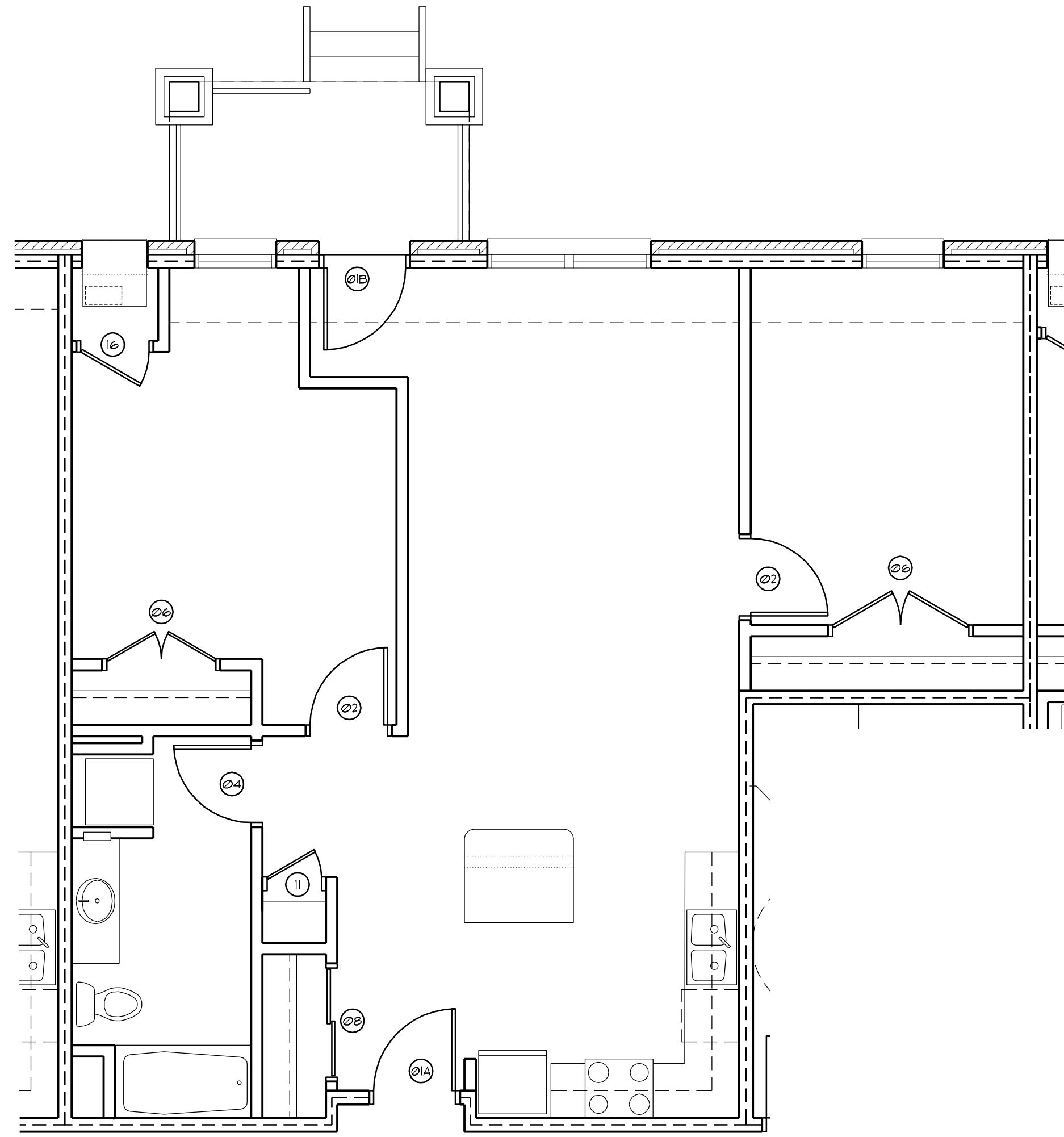


2
UNIT 1B
ONE BEDROOM PLAN
 SCALE: 1/4"=1'-0"
 TYPE A

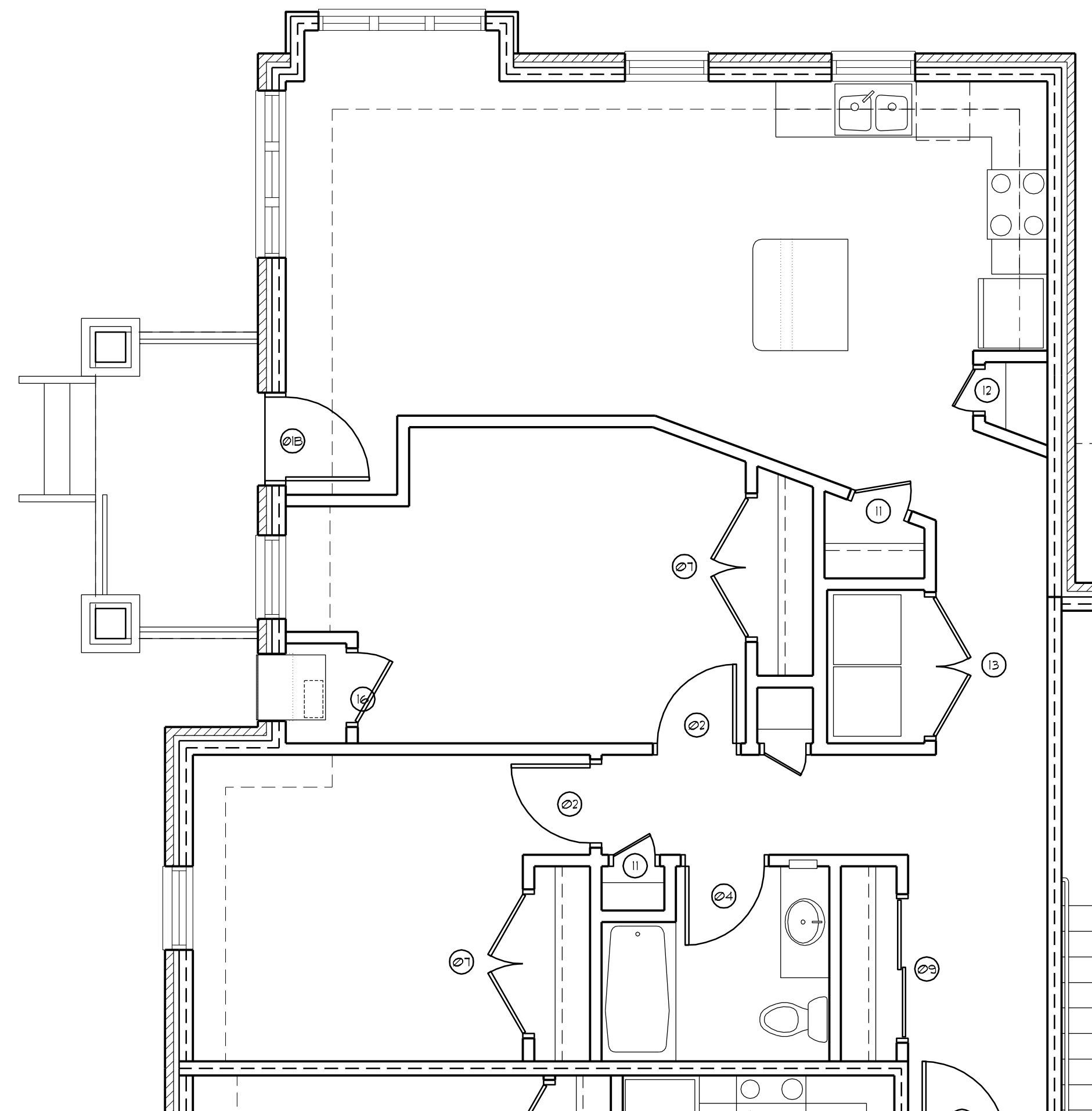


1
UNIT 1C
ONE BEDROOM PLAN
 SCALE: 1/4"=1'-0"
 TYPE A

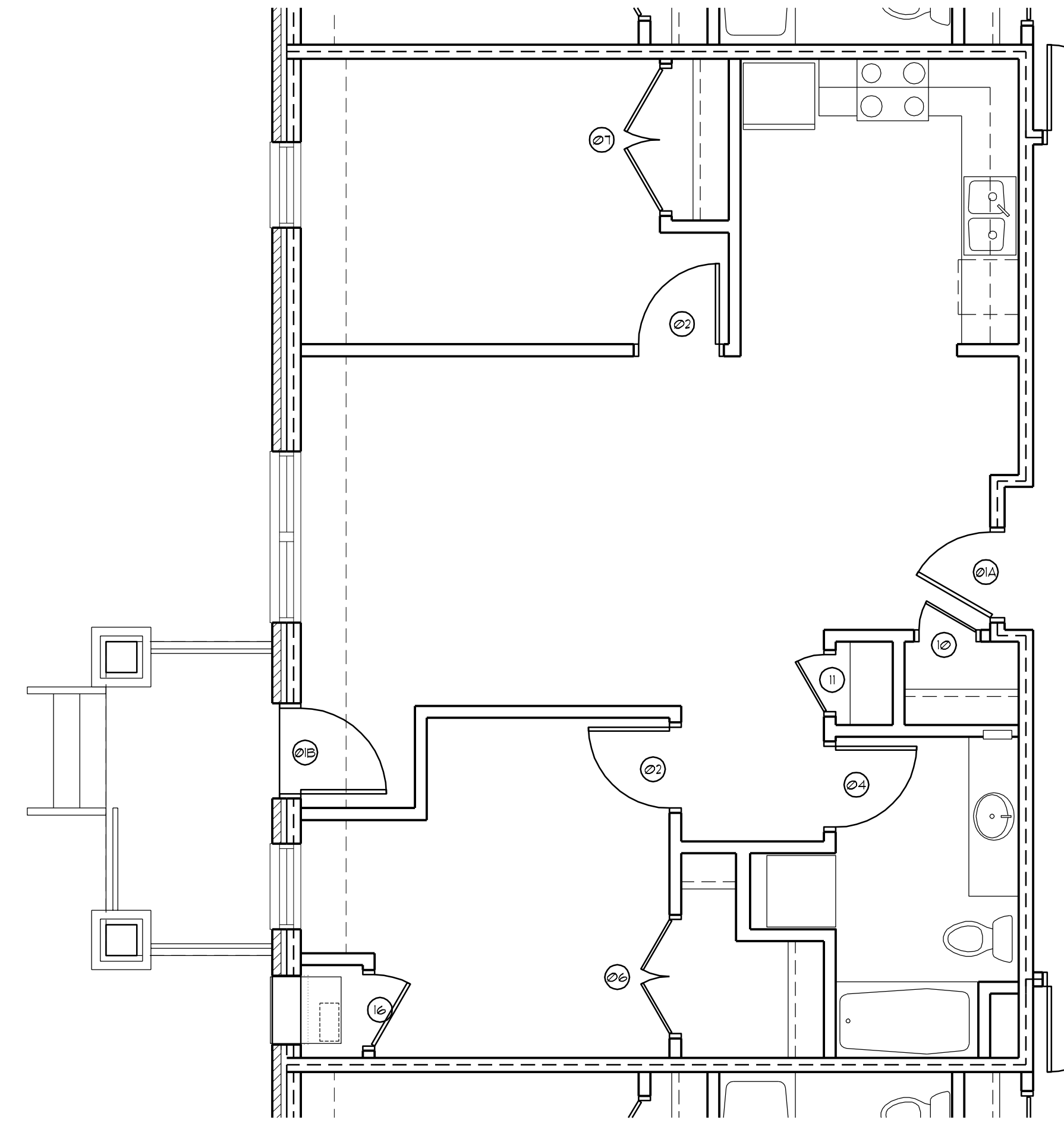
LEGEND	
	0 HOUR PARTITION
	1 HOUR RATED PARTITION
	RE: SHEET A501 FOR DOOR SCHEDULE
	RE: SHEET A401 FOR PARTITION TYPES
	RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
W/D	WASHER & DRYER
R15	ROD & SHELF, RE: 5-A602
SLV	SHELVES, RE: 6-A602



1
UNIT 2A
TWO BEDROOM PLAN
A202 SCALE: 1/4"=1'-0" TYPE B



2
UNIT 2B
TWO BEDROOM PLAN
A202 SCALE: 1/4"=1'-0" TYPE B

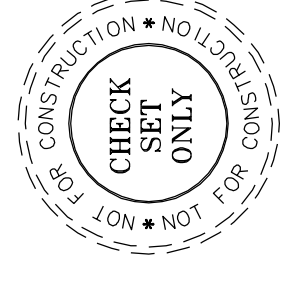


3
UNIT 2C
TWO BEDROOM PLAN
A202 SCALE: 1/4"=1'-0" TYPE B

LEGEND	
	0 HOUR PARTITION
	1 HOUR RATED PARTITION
	RE: SHEET A501 FOR DOOR SCHEDULE
	RE: SHEET A401 FOR PARTITION TYPES
	RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
W/D	WASHER & DRYER
R/S	ROD & SHELF, RE: 5-A602
SLV	SHELVES, RE: 6-A602



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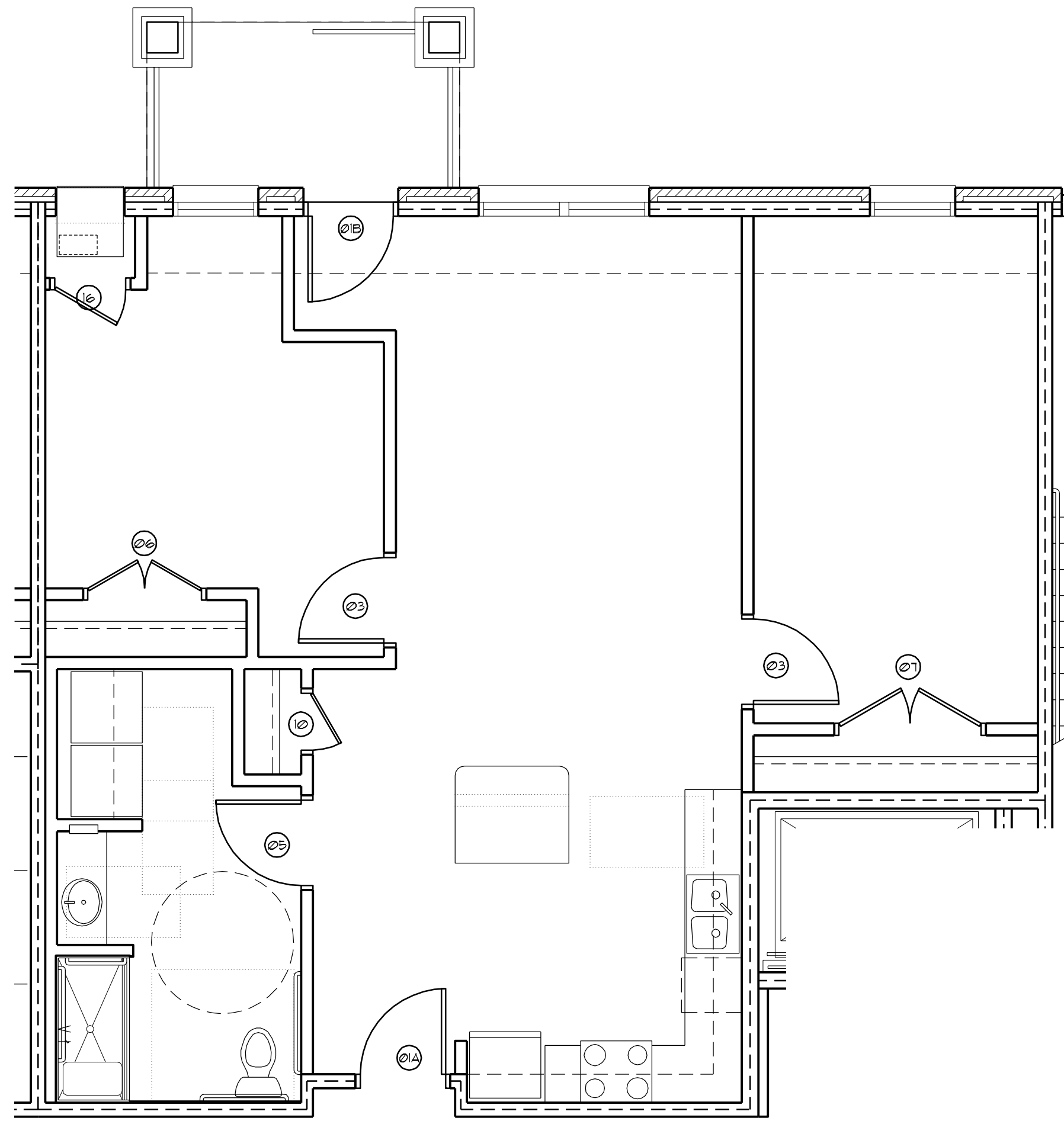


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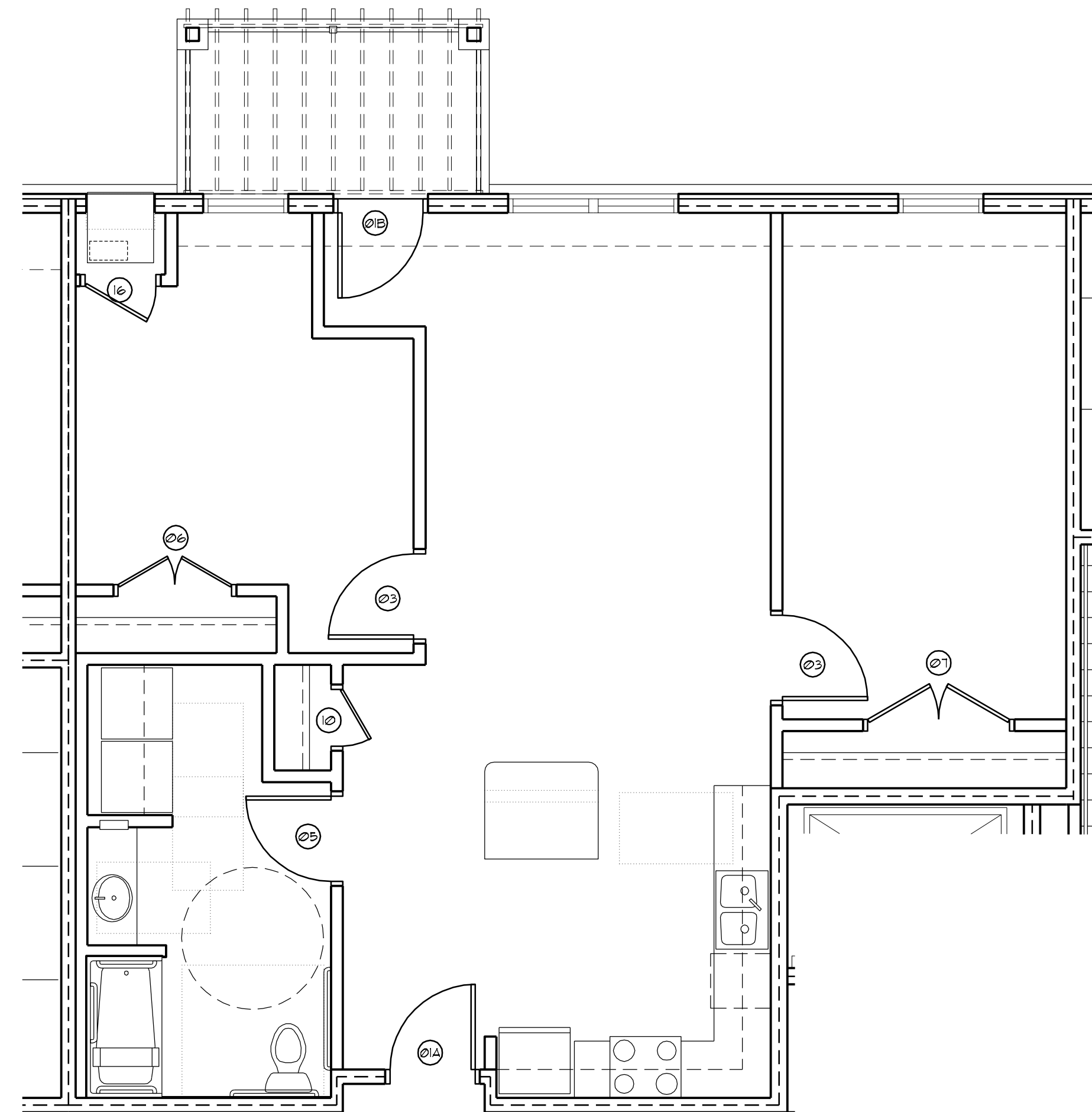
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SHEET TITLE:
Enlarged Unit Plans

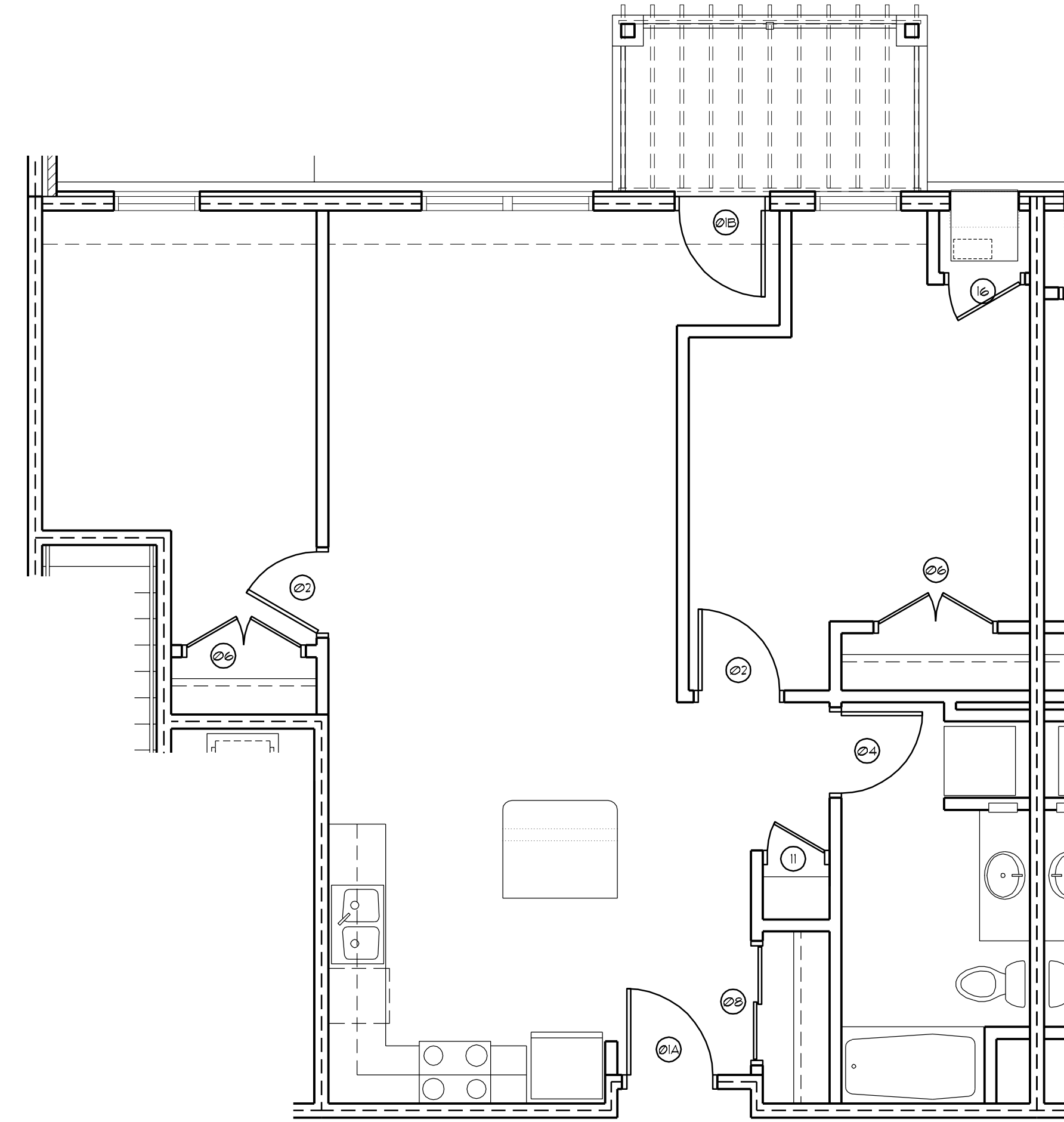
A202



1
UNIT 2D
TWO BEDROOM PLAN
A203 SCALE: 1/4"=1'-0" TYPE A



2
UNIT 2E
TWO BEDROOM PLAN
A203 SCALE: 1/4"=1'-0" TYPE A

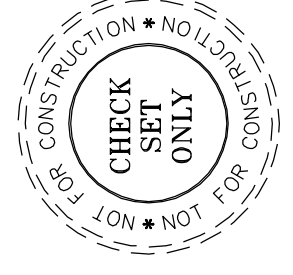


3
UNIT 2F
TWO BEDROOM PLAN
A203 SCALE: 1/4"=1'-0" TYPE B

LEGEND	
	0 HOUR PARTITION
	1 HOUR RATED PARTITION
	RE: SHEET A501 FOR DOOR SCHEDULE
	RE: SHEET A401 FOR PARTITION TYPES
	RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
W/D	WASHER & DRYER
R/S	ROD & SHELF, RE: 5-A602
SLV	SHELVES, RE: 6-A602



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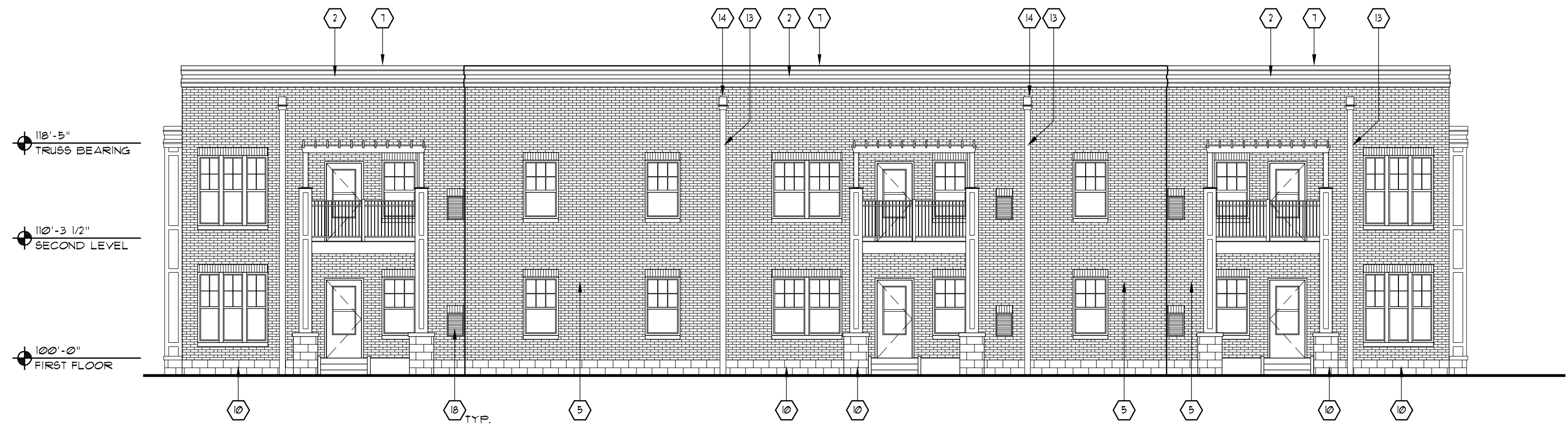
SHEET TITLE:
Enlarged Unit Plans

A203

ELEVATION KEYNOTE LEGEND	
1. LP TREATED LAP SIDING, PAINT.	14. DOWNSPOUT. PROVIDE CONCRETE SPLASHBLOCK.
2. LP TREATED TRIM BOARD, PAINT.	15. 8"x16" ROOF DRAIN SCUPPER.
3. VINYL SINGLE HUNG WINDOW.	16. 42" HIGH STEEL PICKET GUARD RAILING.
4. VINYL PATIO DOOR.	17. LP TREATED PANEL SIDING WITH BATTENS.
5. MODULAR BRICK VENEER.	18. 2X8 CEDAR ARBOR AT BALCONIES.
6. ALUMINUM ENTRY DOOR.	19. THROUGH-WALL MECHANICAL LOUVER, COORDINATE SIZE WITH MECHANICAL DRAWINGS.
7. METAL PARAPET CAP.	20. 4X4 TREATED WOOD POST WRAPPED IN CEDAR PLANKS.
8. EXTERIOR WALL MOUNT LIGHT FIXTURE.	21. PREFINISHED METAL FLASHING AT TOP OF BRICK.
9. CONCRETE ENTRY APRON.	
10. INTEGRAL COLOR SPLIT FACE CMU.	
11. CAST STONE SILL.	
12. CAST STONE WATER TABLE.	
13. PREFINISHED METAL COLLECTOR HEAD AND SLOTTED	

ELEVATION GENERAL NOTES

1. ALL EXTERIOR COLORS ARE TO BE SELECTED BY THE OWNER.



3 EXTERIOR ELEVATION
A211 SCALE: 1/16"=1'-0"



2 EXTERIOR ELEVATION
A211 SCALE: 1/16"=1'-0"



1 EXTERIOR ELEVATION
A211 SCALE: 1/16"=1'-0"

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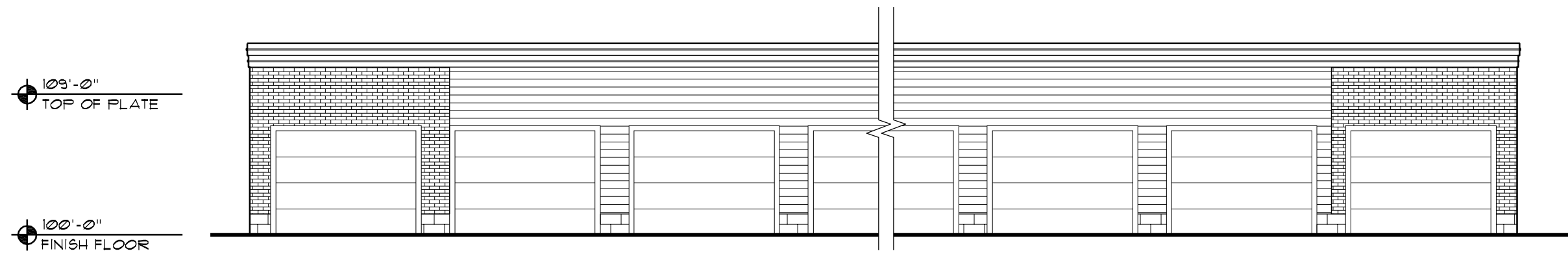
SHEET TITLE:
Exterior Elevations

A211

ELEVATION KEYNOTE LEGEND	
1. LP TREATED LAP SIDING, PAINT.	14. DOWNSPOUT. PROVIDE CONCRETE SPLASHBLOCK.
2. LP TREATED TRIM BOARD, PAINT.	15. 8"x16" ROOF DRAIN SCUPPER.
3. VINYL SINGLE HUNG WINDOW.	16. 42" HIGH STEEL PICKET GUARD RAILING.
4. VINYL PATIO DOOR.	17. LP TREATED PANEL SIDING WITH BATTENS.
5. MODULAR BRICK VENEER.	18. 2X8 CEDAR ARBOR AT BALCONIES.
6. ALUMINUM ENTRY DOOR.	19. THROUGH-WALL MECHANICAL LOUVER, COORDINATE SIZE WITH MECHANICAL DRAWINGS.
7. METAL PARAPET CAP.	20. 4X4 TREATED WOOD POST WRAPPED IN CEDAR PLANKS.
8. EXTERIOR WALL MOUNT LIGHT FIXTURE.	21. PREFINISHED METAL FLASHING AT TOP OF BRICK.
9. CONCRETE ENTRY APRON.	22. BRICK SOLDIER COURSE AT OPENING, PROVIDE PAINTED STEEL LINTEL, RE: STRUCT.
10. INTEGRAL COLOR SPLIT FACE CMU.	
11. CAST STONE SILL.	
12. CAST STONE WATER TABLE.	
13. PREFINISHED METAL COLLECTOR HEAD AND SLOTTED	

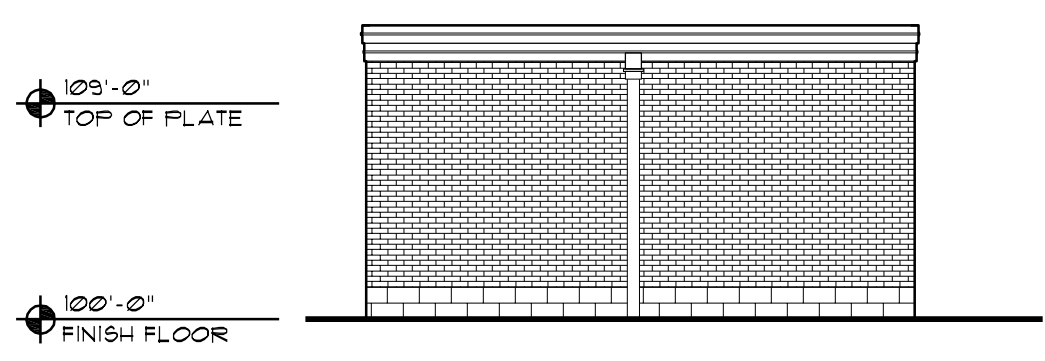
ELEVATION GENERAL NOTES

 1. ALL EXTERIOR COLORS ARE TO BE SELECTED BY THE OWNER.



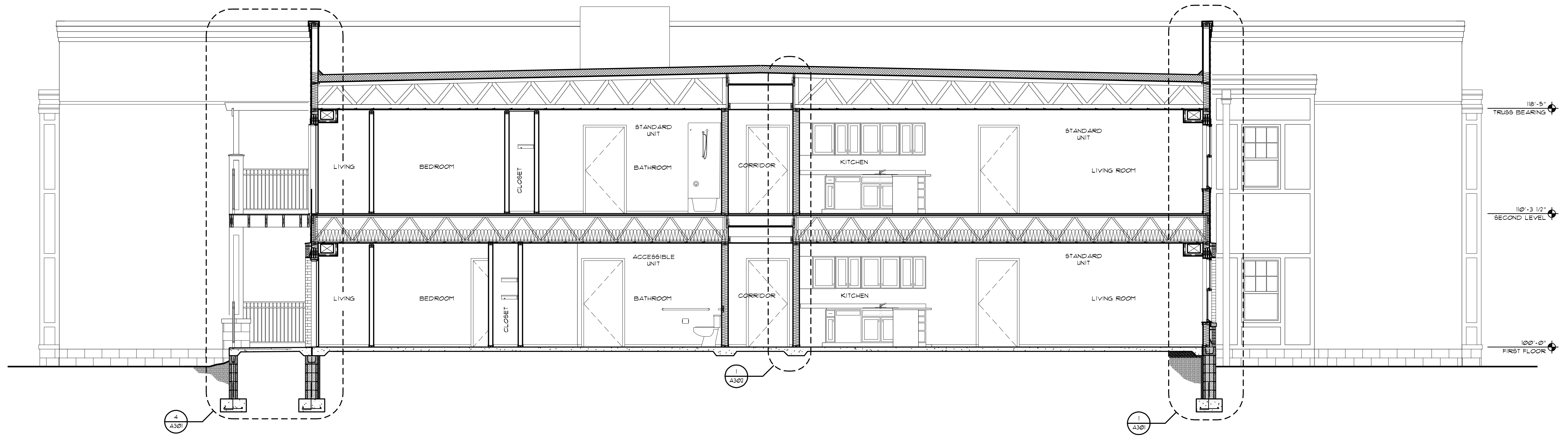
2 GARAGE EXTERIOR ELEVATION

 SCALE: 1/16"=1'-0" TYPICAL



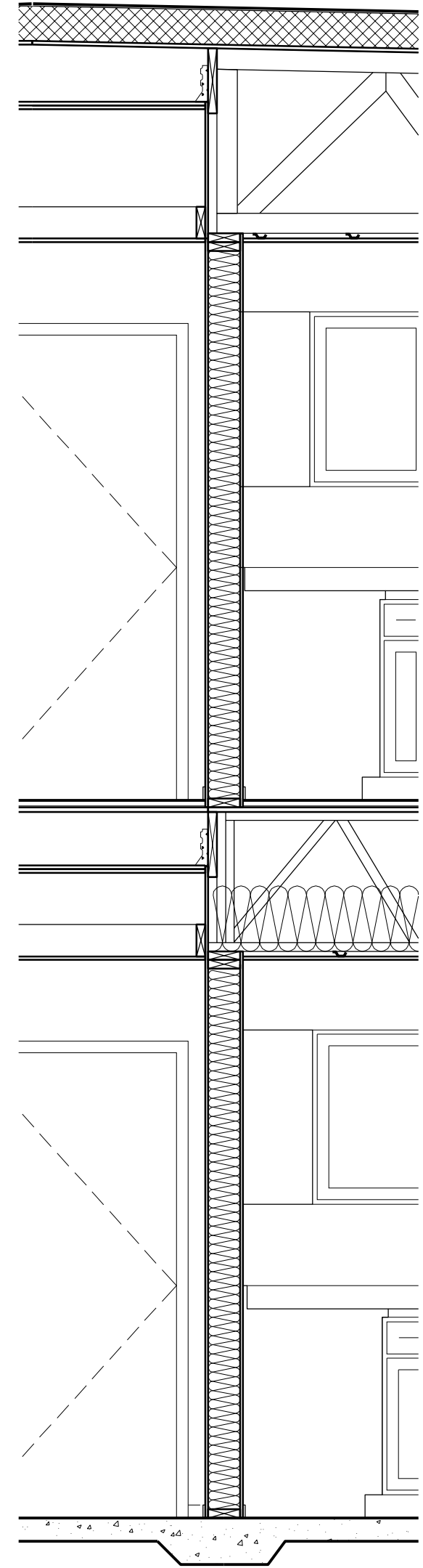
3 GARAGE EXTERIOR ELEVATION

 SCALE: 1/16"=1'-0" TYPICAL



1 BUILDING SECTION

 SCALE: 1/8"=1'-0"

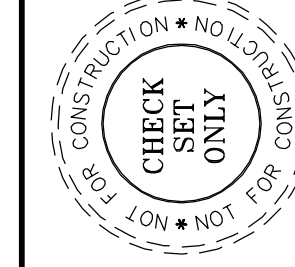


0 WALL SECTION
A302 SCALE: 1/2"=1'-0" CORRIDOR

1 WALL SECTION
A302 SCALE: 1/2"=1'-0" AT CORNER WINDOW

2 WALL SECTION
A302 SCALE: 1/2"=1'-0" AT VESTIBULE

4 WALL SECTION
A302 SCALE: 1/2"=1'-0" AT GARAGE



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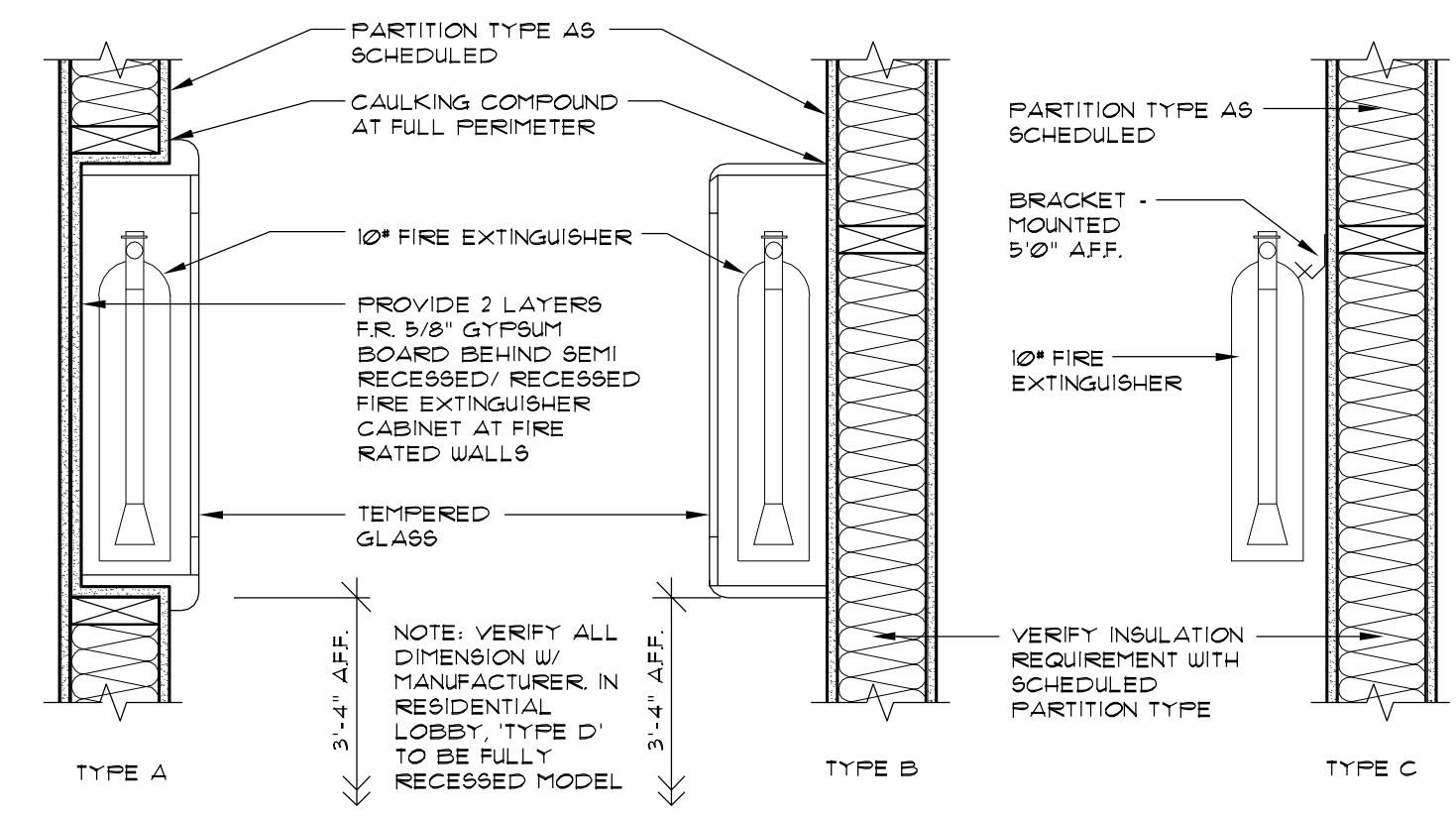
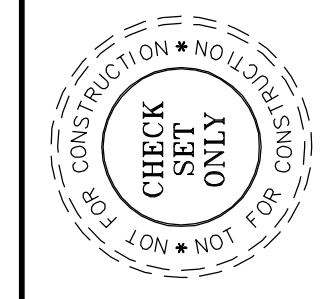
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SHEET TITLE:
Wall Sections

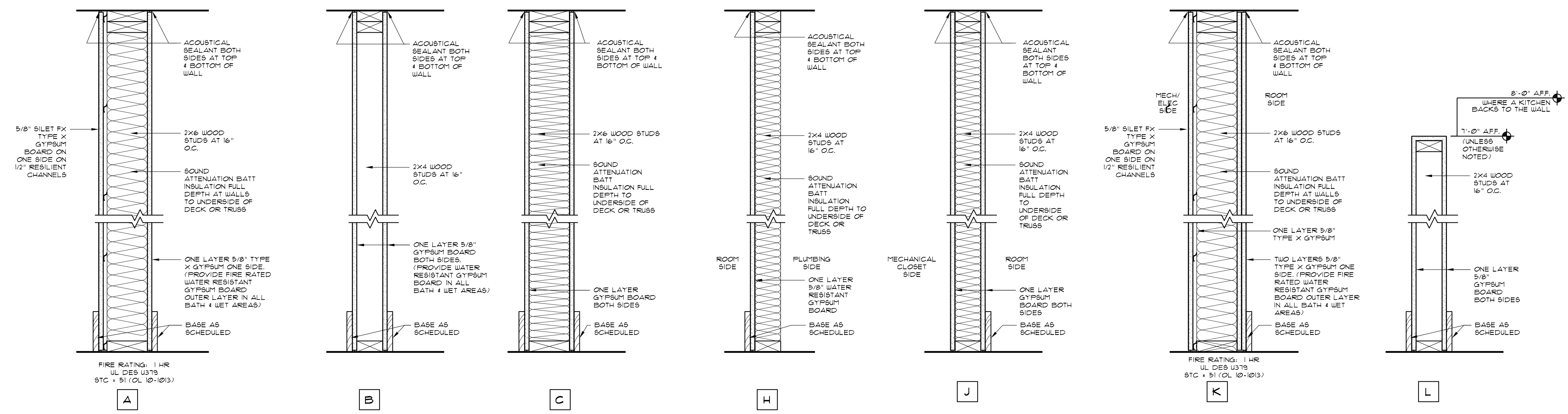
A302

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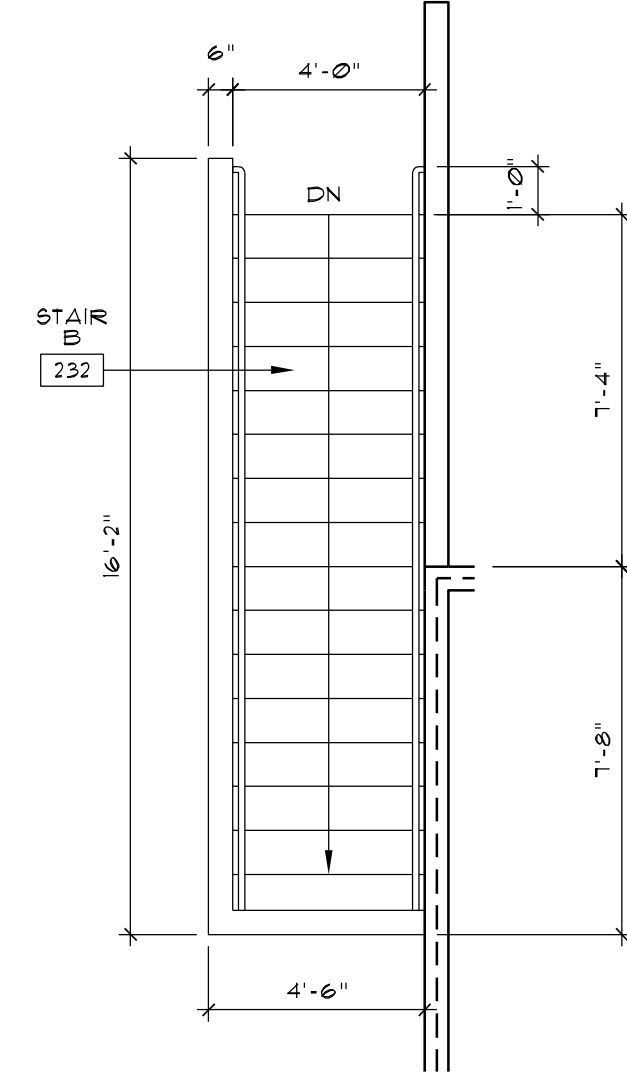




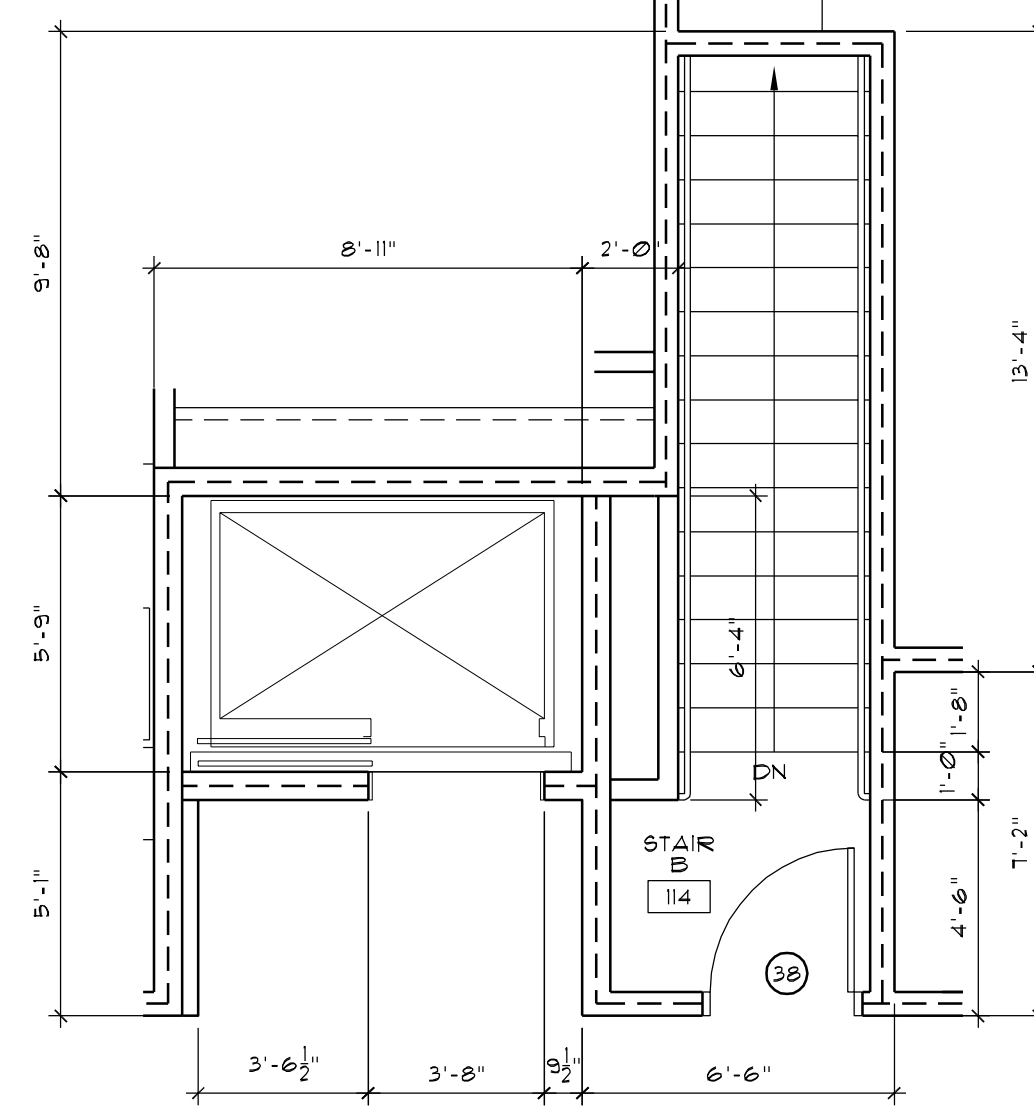
2 FIRE EXTINGUISHER DETAIL
 SCALE: 1/4"=1'-0"



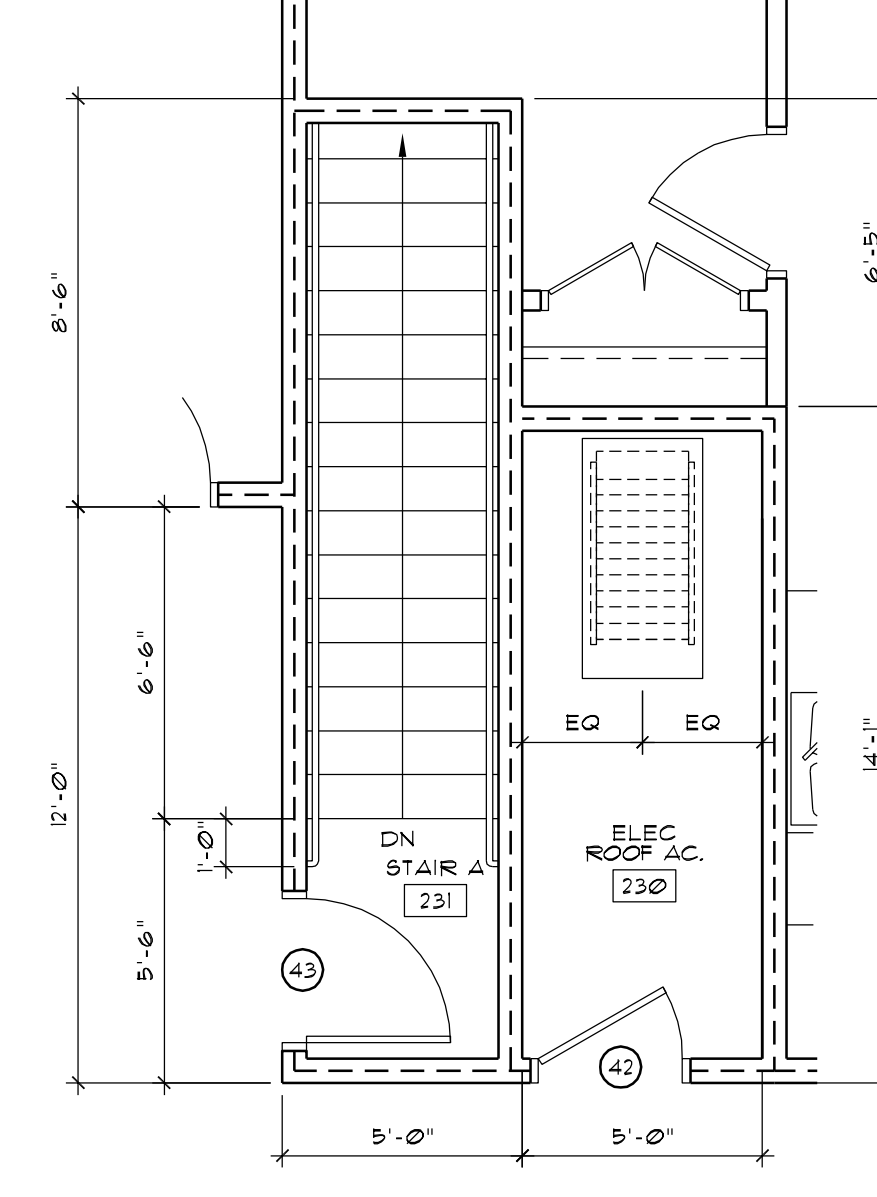
1 PARTITION TYPES
 SCALE: 1/2"=1'-0"



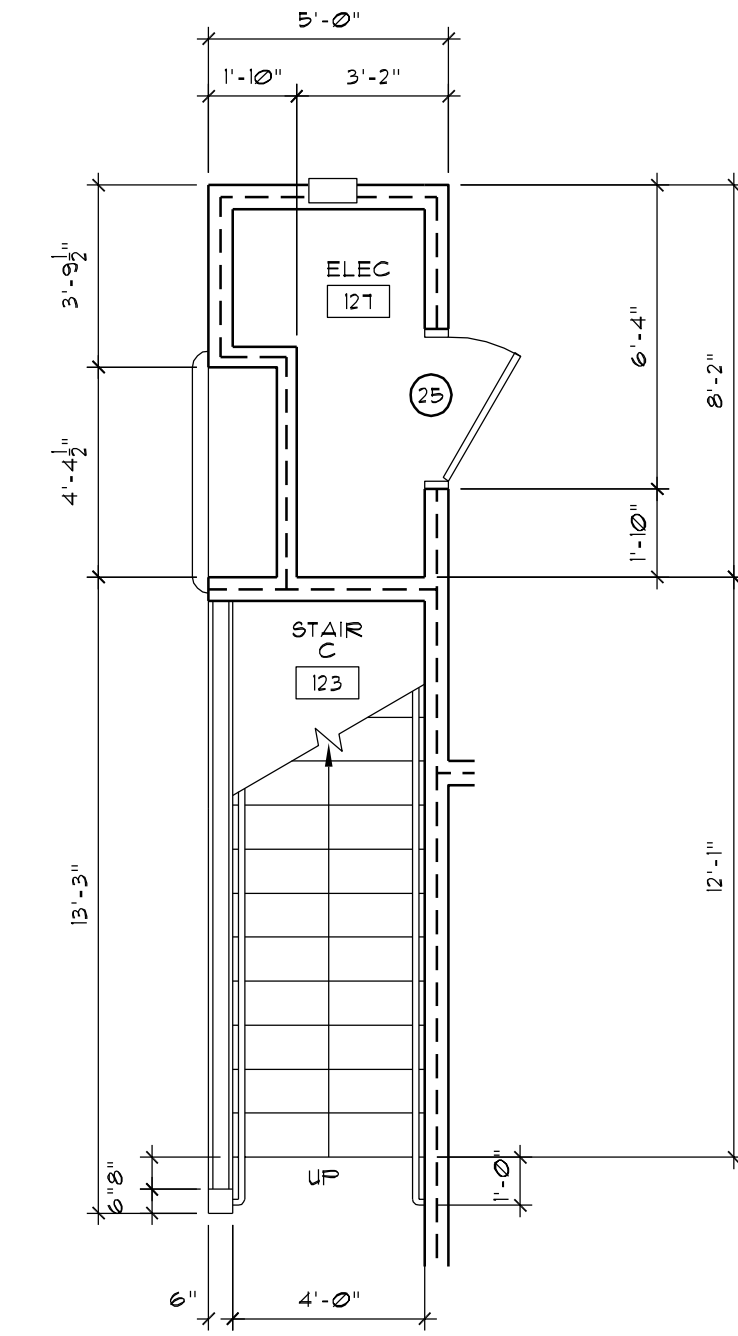
6
SECOND LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"



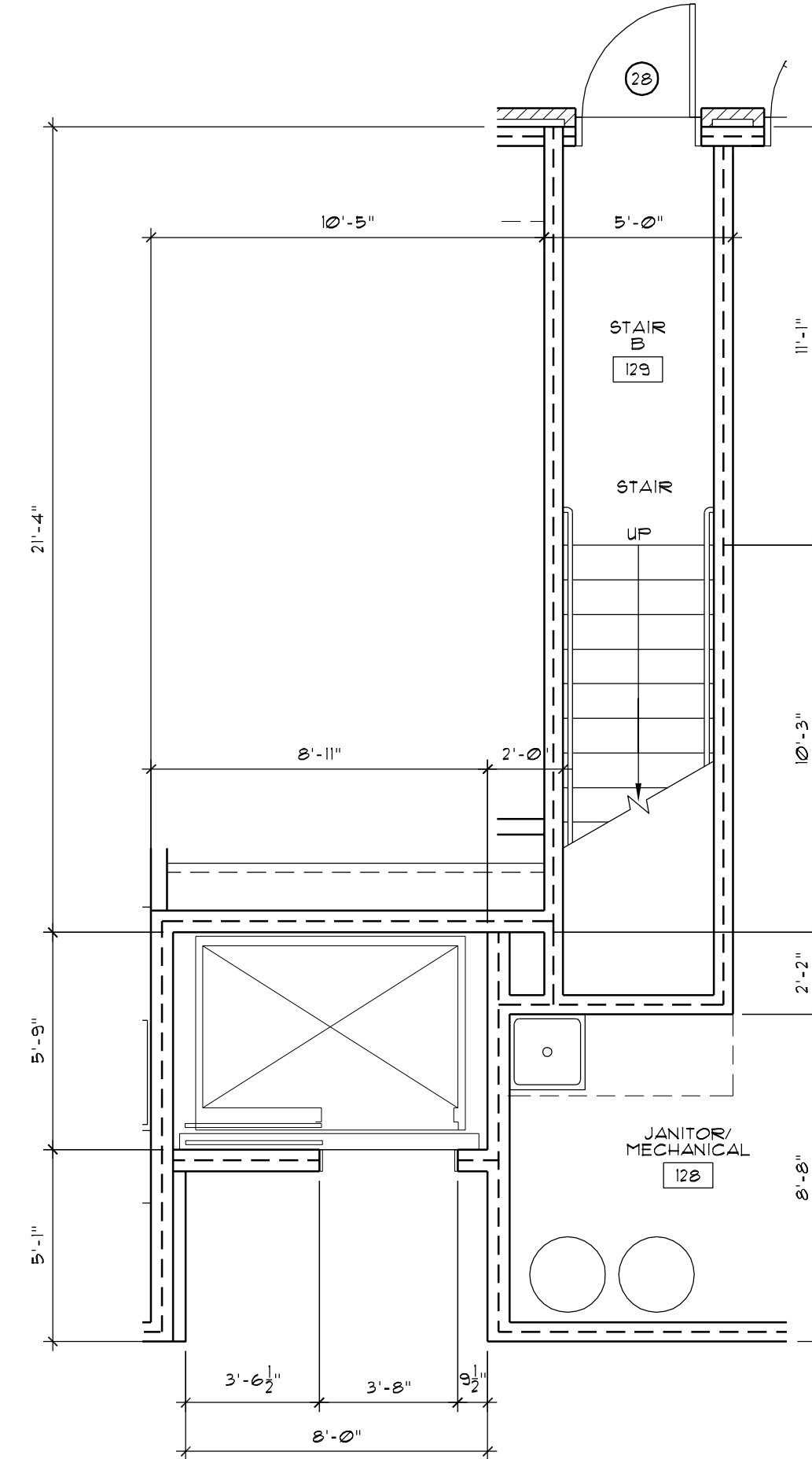
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SECOND LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"



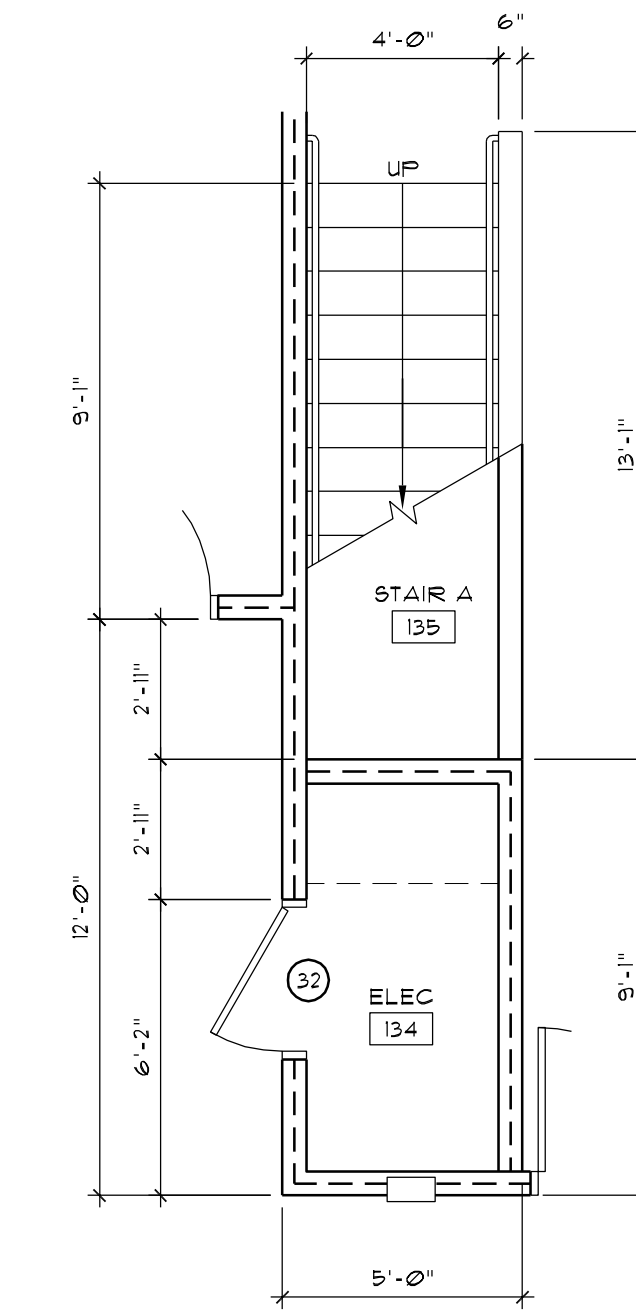
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SECOND LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"



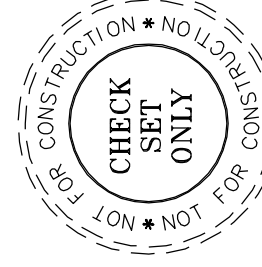
3
FIRST LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"



2
FIRST LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"

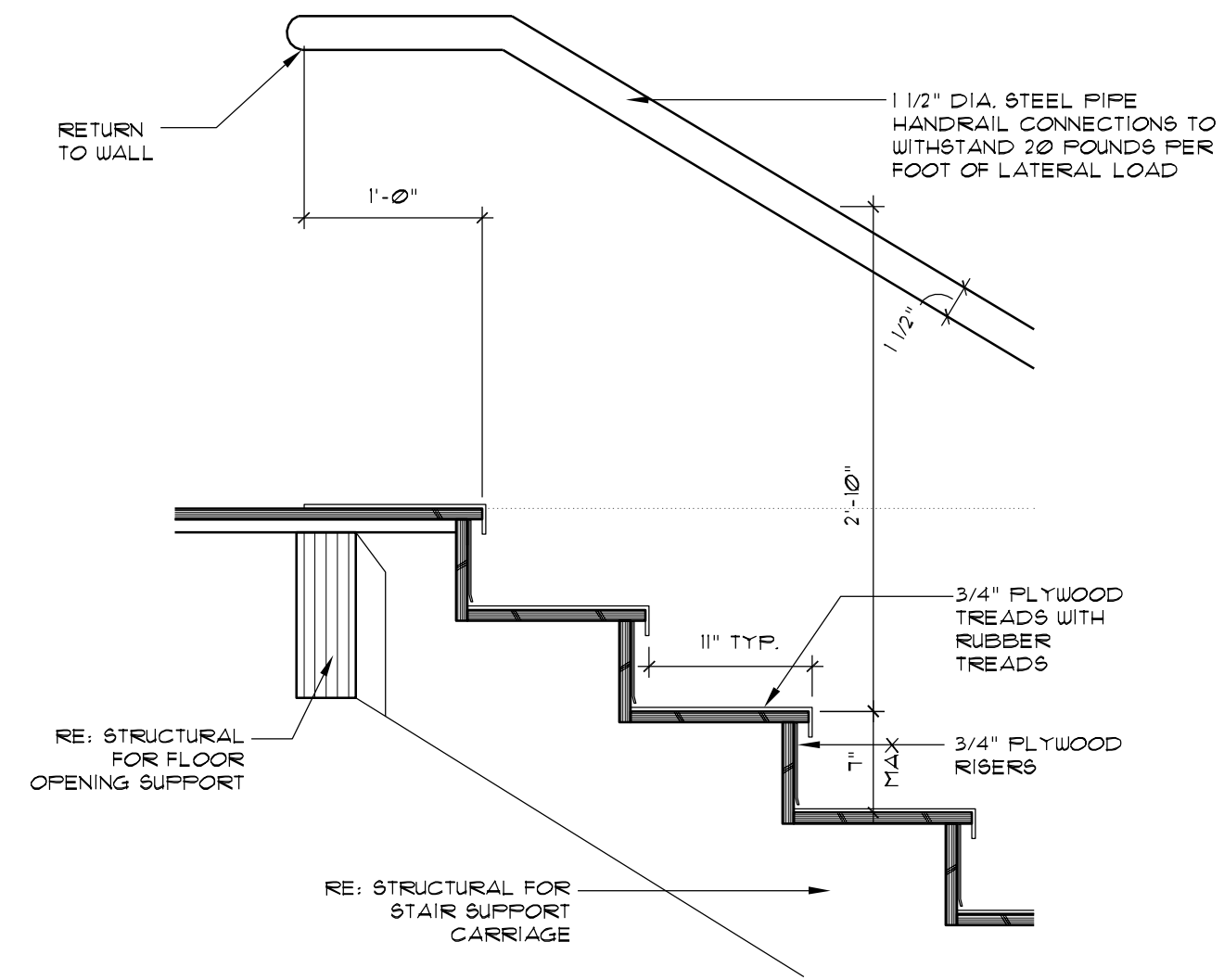


1
FIRST LEVEL ENLARGED STAIR PLAN
 SCALE: 1/4"=1'-0"

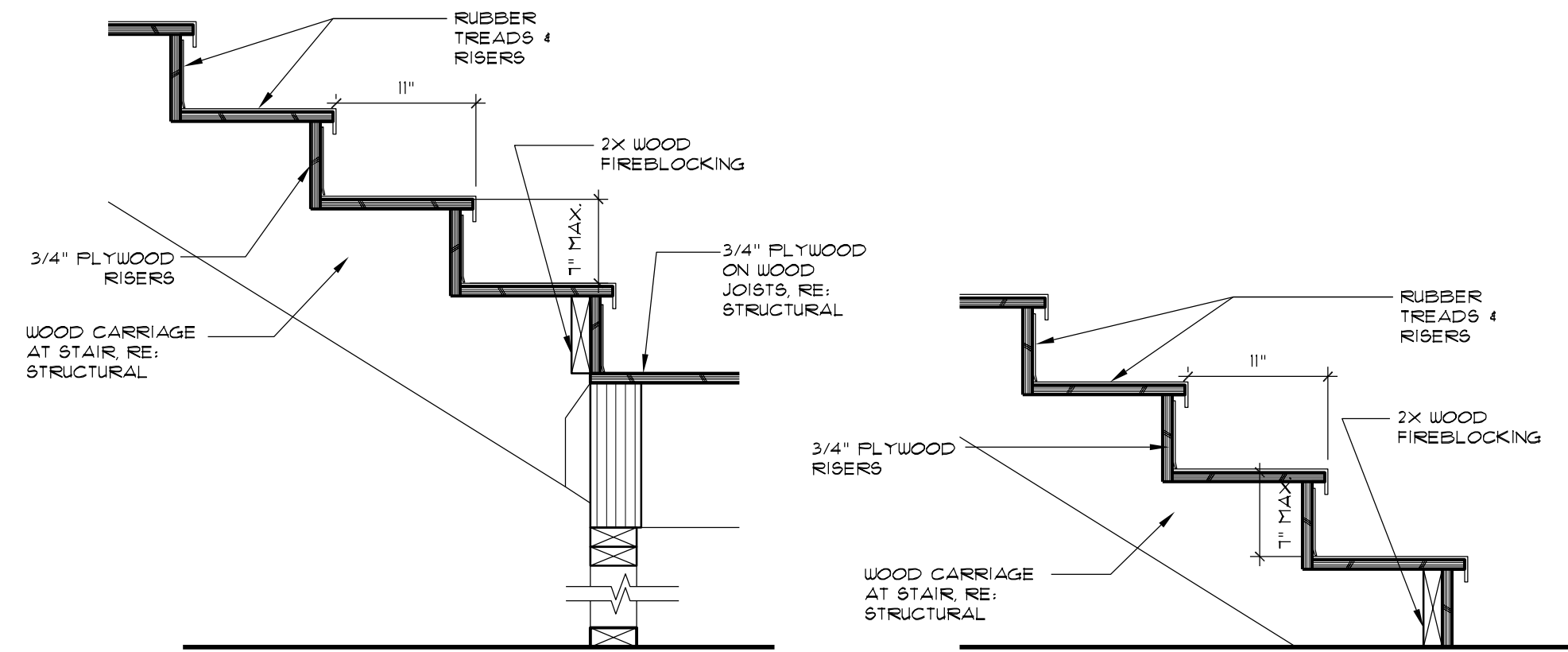


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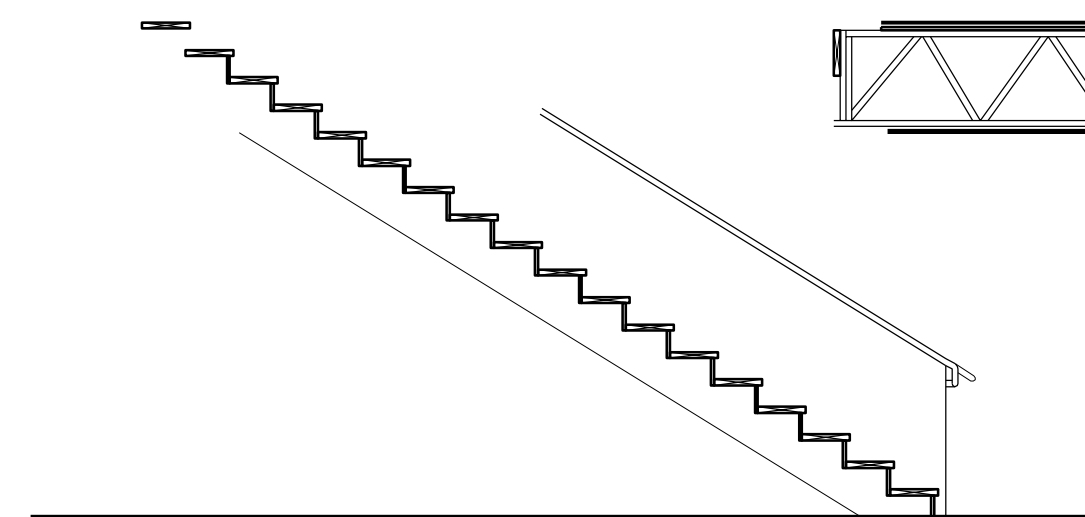
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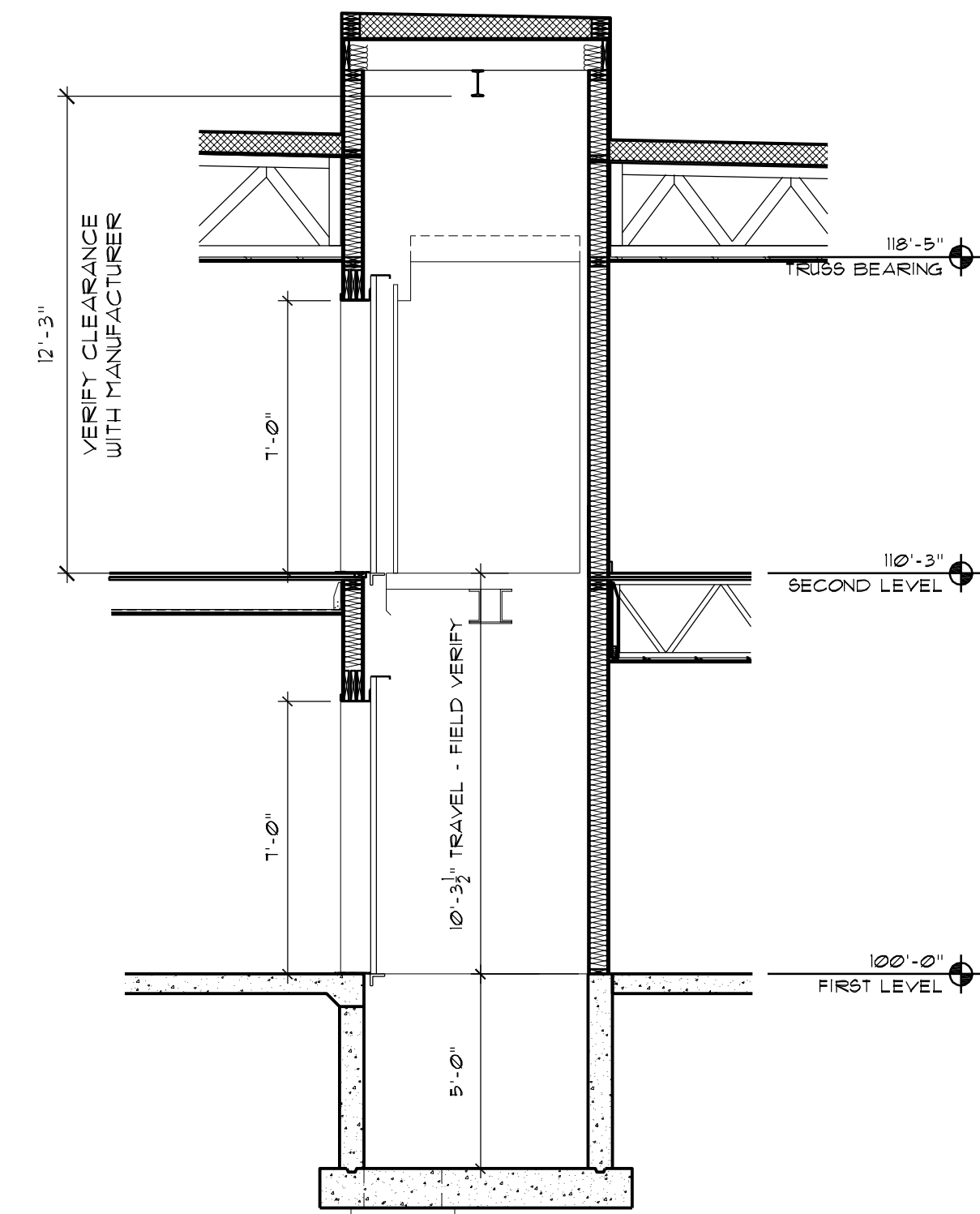
1 STAIR DETAILS
A412 SCALE: 1"=1'-0"



2 STAIR DETAILS
A412 SCALE: 1"=1'-0"



3 STAIR SECTION
A412 SCALE: 1/4"=1'-0"



4 ELEVATOR SECTION
A412 SCALE: 1/4"=1'-0"



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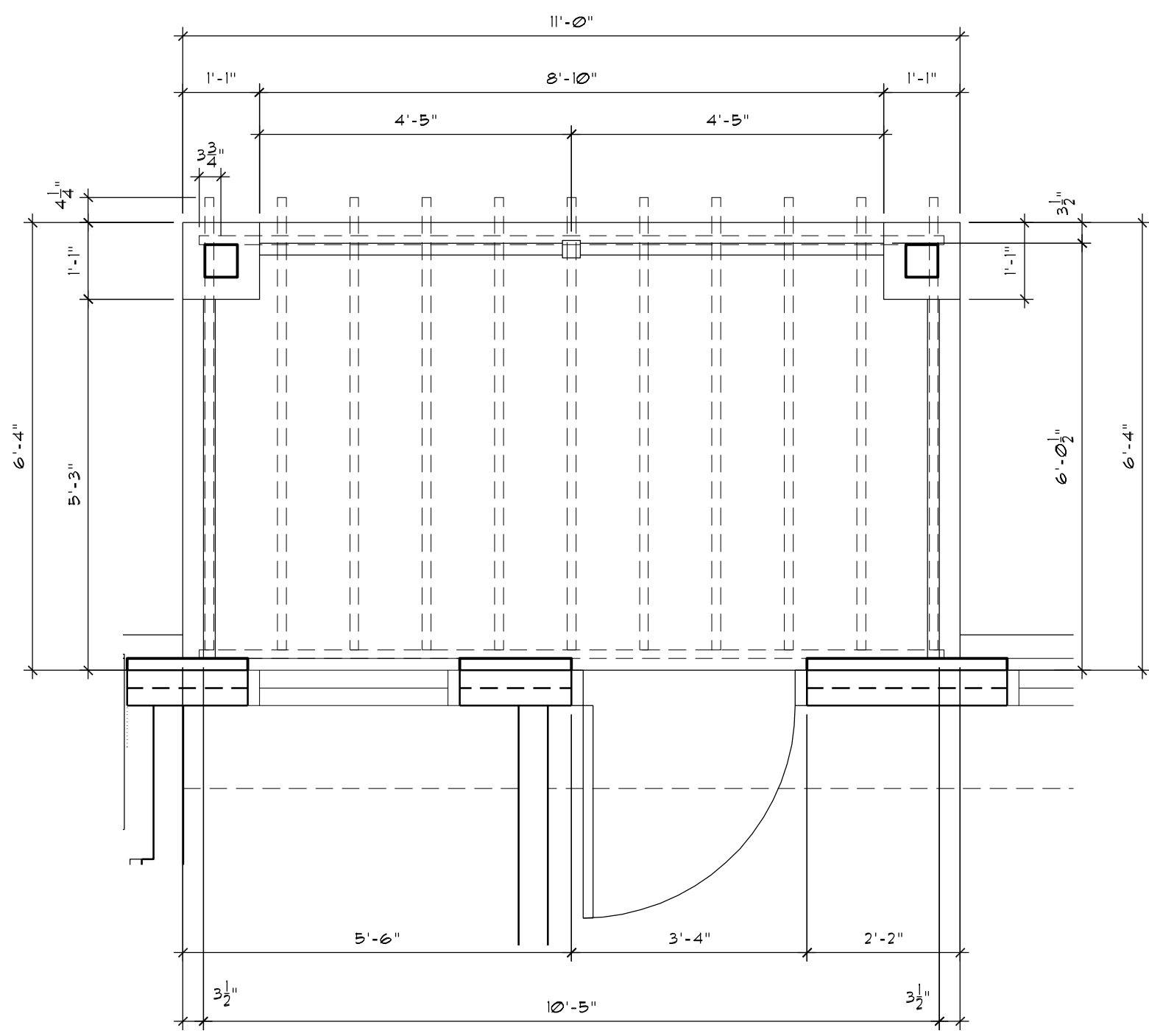
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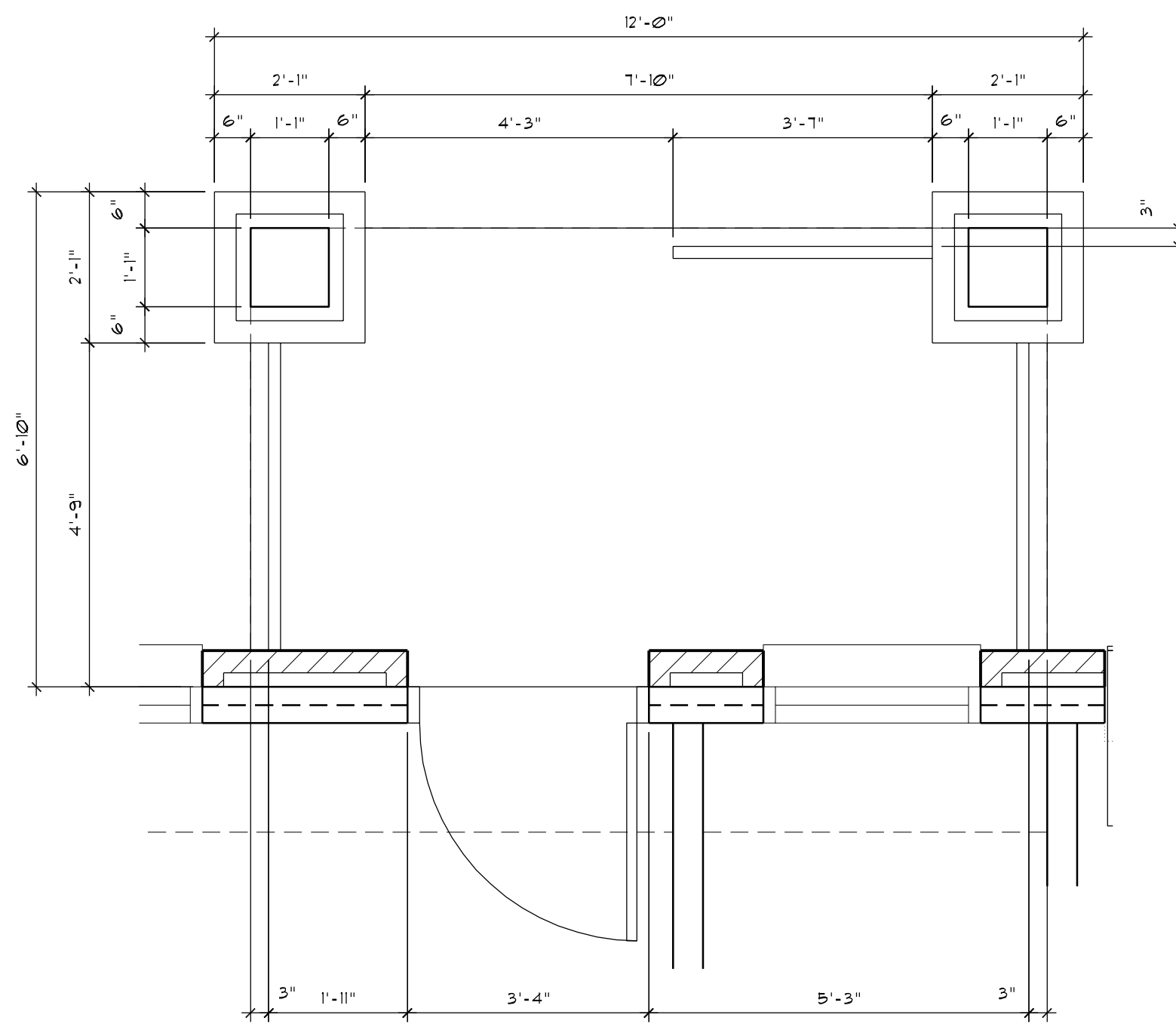
REVISIONS	DATE	BY

SHEET TITLE:
Stair and Elevator Sections and Details

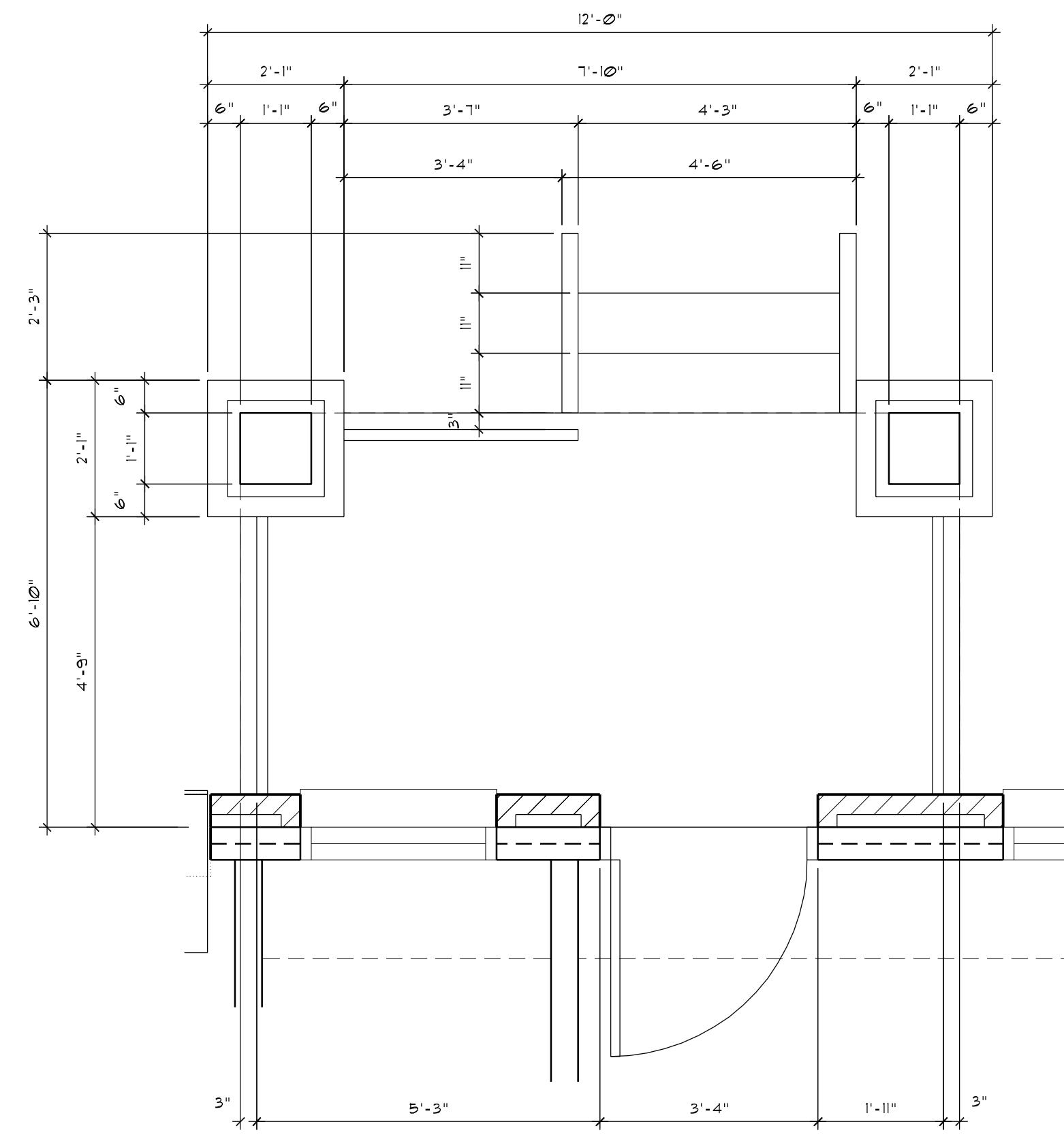
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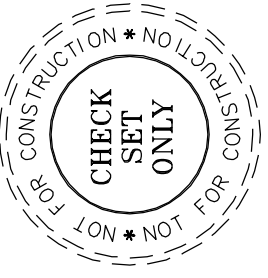
3 ENLARGED BALCONY FLOOR PLAN
 A413 SCALE: 1/2"=1'-0" TYPICAL



1 ENLARGED PATIO FLOOR PLAN
 A413 SCALE: 1/2"=1'-0" "TYPE A"



1 ENLARGED PATIO FLOOR PLAN
 A413 SCALE: 1/2"=1'-0" TYPICAL



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SHEET TITLE:
**Balcony & Patio
 Enlarged Plans,
 Sections and
 Details**

DOOR SCHEDULE																	
DR#	LOCATION/ ROOM NAME	QTY	WIDTH	HEIGHT	THK.	TYPE	MATL.	FRAME	FRAME TYPE	RATED	GLASS	DETAILS				HWDUR SET	NOTES
												HEAD	JAMB	JAMB	THRESHOLD		
APARTMENT UNIT DOORS																	
01A	ENTRY (INTERIOR)	1	3'-0"	7'-0"	1 3/4"	D	SCWD	HM	03	20 MIN	-	1-A502	6-A502	6-A502	-	-	2, 3, 9
01B	ENTRY (EXTERIOR)	1	3'-0"	7'-0"	1 3/4"	M	STL	WD	02	-	TEMP/INS	2-A502	1-A502	1-A502	13-A502	-	2, 3, 9
02	BEDROOM	1	2'-10"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2, 5
03	BEDROOM	1	3'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2, 5
04	BATHROOM	1	2'-10"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
05	BATHROOM	1	3'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
06	BEDROOM CLOSET	FR	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
07	BEDROOM CLOSET	FR	2'-6"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
08	ENTRY CLOSET (BY-PASS)	FR	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
09	ENTRY CLOSET (BY-PASS)	FR	2'-6"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
10	ENTRY CLOSET	1	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
11	HALL CLOSET	1	2'-0"	6'-8"	1 3/8"	F	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
12	PANTRY	1	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
13	LAUNDRY	1	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
16	HALL CLOSET	1	2'-0"	6'-8"	1 3/8"	E	HCWD	WD	02	-	-	3-A502	3-A502	3-A502	-	-	2
COMMON DOORS																	
20	VESTIBULE	1	3'-0"	8'-3"	1 3/4"	J	SRWD	WD	02	-	TEMP/INS	4-A502	7-A502	7-A502	13-A502	-	3, 9
21	LOBBY	1	3'-0"	8'-3"	1 3/4"	K	SRWD	WD	02	-	TEMP/INS	4-A502	9-A502	1-A502	13-A502	-	3, 9, 10
22	RISER	1	3'-0"	6'-8"	1 3/4"	B	ALUM	ALUM	01	-	TEMP/INS	8-A502	8-A502	8-A502	-	-	3, 6, 9, 10
23	OFFICE	1	3'-0"	6'-8"	1 3/4"	L	SRWD	WD	02	-	TEMP/INS	2-A502	1-A502	1-A502	13-A502	-	3, 9
24	TOILET	1	3'-0"	6'-8"	1 3/4"	A	ALUM	ALUM	01	-	TEMP/INS	16-A502	11-A502	11-A502	-	-	3, 9
25	ELECTRICAL	1	3'-0"	6'-8"	1 3/4"	D	SCWD	HM	03	20 MIN	WIRE	6-A502	1-A502	6-A502	-	-	3, 6
26	MECH/MAINTENANCE	1	3'-0"	6'-8"	1 3/4"	A	ALUM	ALUM	01	-	TEMP/INS	16-A502	11-A502	11-A502	-	-	3
27	MECH/MAINTENANCE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	-	-	6-A502	6-A502	6-A502	-	-	3
28	STAIR B	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	-	-	6-A502	6-A502	6-A502	-	-	3
29	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	M	SRWD	HM	03	-	TEMP/INS	5-A502	10-A502	10-A502	13-A502	-	3, 11
30	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	10-A502	10-A502	-	-	3
31	STAIR A	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	5-A502	10-A502	10-A502	-	-	3
32	ELECTRICAL	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	5-A502	10-A502	10-A502	-	-	3
33	STAIR A	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	5-A502	10-A502	10-A502	-	-	3
34	NOT USED																
35	NOT USED																
36	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	6-A502	6-A502	-	-	3
37	ELECTRICAL	1	3'-0"	6'-8"	1 3/4"	D	SCWD	HM	03	20 MIN	WIRE	6-A502	1-A502	6-A502	-	-	3
38	STAIR B	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	60 MIN	-	6-A502	6-A502	6-A502	-	-	3
39	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	60 MIN	-	6-A502	6-A502	6-A502	-	-	3
40	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	6-A502	6-A502	-	-	3
41	TENANT STORAGE	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	-	-	6-A502	6-A502	6-A502	-	-	1
42	ELEC/ROOF ACCESS	1	3'-0"	6'-8"	1 3/4"	D	SCWD	HM	03	60 MIN	-	6-A502	6-A502	6-A502	-	-	3, 11
43	ELECTRICAL	1	3'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	6-A502	6-A502	-	-	3
44	NOT USED																
45	NOT USED																
46	GARAGE	1	16'-3"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	6-A502	6-A502	-	-	3
47	GARAGE	1	9'-0"	6'-8"	1 3/4"	C	SCWD	HM	03	20 MIN	-	6-A502	6-A502	6-A502	-	-	3

ROOM FINISH SCHEDULE						
RM. #	ROOM NAME	FLOOR	BASE	WALL	CEILING	REMARKS
120	VESTIBULE	F8	B1	W2	C1	
121	RISER	F6	B1	W2/W4	C1	
122	LOBBY	F6	B1	W2/W4	C1	
123	STAIR C	F6	B1	W4	C1	
124	CORRIDOR	F2	B2	W4	C1	
125	CORRIDOR	F8	B9	W4	C1	
126	CORRIDOR	F2	B2	W2/W4	C1	
127	ELECTRICAL	F2	B1	W4	C1	
128	JANITOR/MECHANICAL	F2	B1	W4	C1	
129	STAIR B	F2	B1	W4	C1	
130	TOILET	F8	B1	W2/W4	C1	
131	OFFICE	F10	B2	W4	C1	
132	TENANT STORAGE	F1	B4	W2	C1	
133	TENANT STORAGE	F2	B4/B1	W2/W4	C1	
134	ELECTRICAL	F11	B4/B1	W2	C1	
135	STAIR A	F2	B4/B1	W2/W4	C1	
220	COMMUNITY	F4	B4	W2	C1	
221	TENANT STORAGE	F4	B2	W2/W4	C1	
222	TENANT STORAGE	F4	B1	W4	C1	
223	TENANT STORAGE	F11	B4/B1	W2	C1	
224	CORRIDOR	F2	B4/B1	W2/W4	C1	
225	CORRIDOR	F2	B1	W4	C1	
226	CORRIDOR	F2	B2	W4	C1	
227	ELECTRICAL	F2	B4/B1	W2/W4	C1	
228	STAIR B	F2	B4/B1	W2/W4	C1	
229	TENANT STORAGE	F2	B4/B1	W2/W4	C1	
230	ELEC/ROOF ACCESS	F2/F12	B2	W4	C1	
231	STAIR A				C1	
TYPICAL APARTMENT UNIT FINISHES						
	LIVING	F2/F4	B1	W4	RE: CEILING PLANS	
	KITCHEN	F2/F4	B1	W4	RE: CEILING PLANS	
	ENTRY CLOSET	F2/F4	B1	W4	RE: CEILING PLANS	
	MECHANICAL	F1	B2	W4	RE: CEILING PLANS	
	BATHROOM	F8	B1	W4	RE: CEILING PLANS	
	BEDROOM	F6	B1	W4	RE: CEILING PLANS	
	BEDROOM CLOSET	F6	B1	W4	RE: CEILING PLANS	

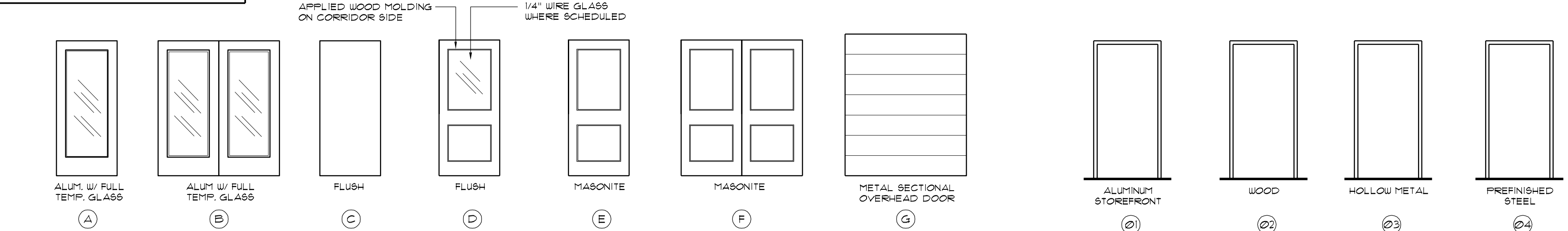
WINDOW SCHEDULE						
WIND TYPE	MATL.	CONFIGURATION	GLAZING TYPE	SCREEN	WINDOW COVERING	REMARKS
A	VINYL	SINGLE HUNG	CLEAR LOW-E, INSULATED	YES	2" FAUX WOOD BLINDS	
B	VINYL	SINGLE HUNG	CLEAR LOW-E, INSULATED	YES	2" FAUX WOOD BLINDS	
C	VINYL	SINGLE HUNG	CLEAR LOW-E, INSULATED	YES	2" FAUX WOOD BLINDS	
D	ALUM	ALUMINUM DOOR/WINDOW UNIT	1" CLEAR LOW-E, INSULATED	NO		
E	ALUM	ALUMINUM WINDOW	1" CLEAR LOW-E, INSULATED	NO		
F	ALUM	ALUMINUM WINDOW - FIRE RATED	1" CLEAR LOW-E, INSULATED	NO		

DOOR NOTES

- ALL INTERIOR DOORS TO BE PAINTED MASONITE (HCWD) OR PAINT GRADE WOOD.
- DOOR CASINGS TO BE Ix4 PAINTED WOOD OR OWNER APPROVED PROFILE.

FINISH GENERAL NOTES

- ALL EXISTING COLUMNS TO BE CLEANED, PRIMED AND PAINTED.
- PREPARE ALL EXISTING FLOORS FOR CONCRETE OVERLAYMENT.
- ALL NEW EXPOSED CONCRETE FLOORING TO BE STAINED AND SEALED.
- APARTMENT UNITS TO BE 2 PAINT COLORS EACH. WHITE GYPSUM BOARD CEILINGS (WHERE SHOWN) AND ONE WALL COLOR.
- WOOD DOORS ARE PAINT GRADE UNLESS OTHERWISE NOTED.



1 DOOR TYPES
SCALE: 1/4"=1'-0"

2 DOOR FRAME TYPES
SCALE: 1/4"=1'-0"

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Cambridge, MN

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SHEET TITLE:
Schedules and Details

A501

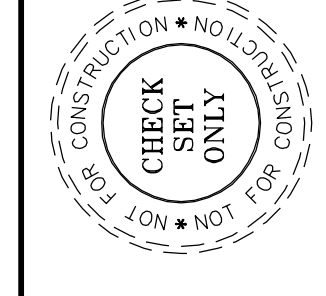
1 DOOR TYPES
ASD SCALE: 1/4"=1'-0"

A502

SHEET TITLE:
Door and Window Details

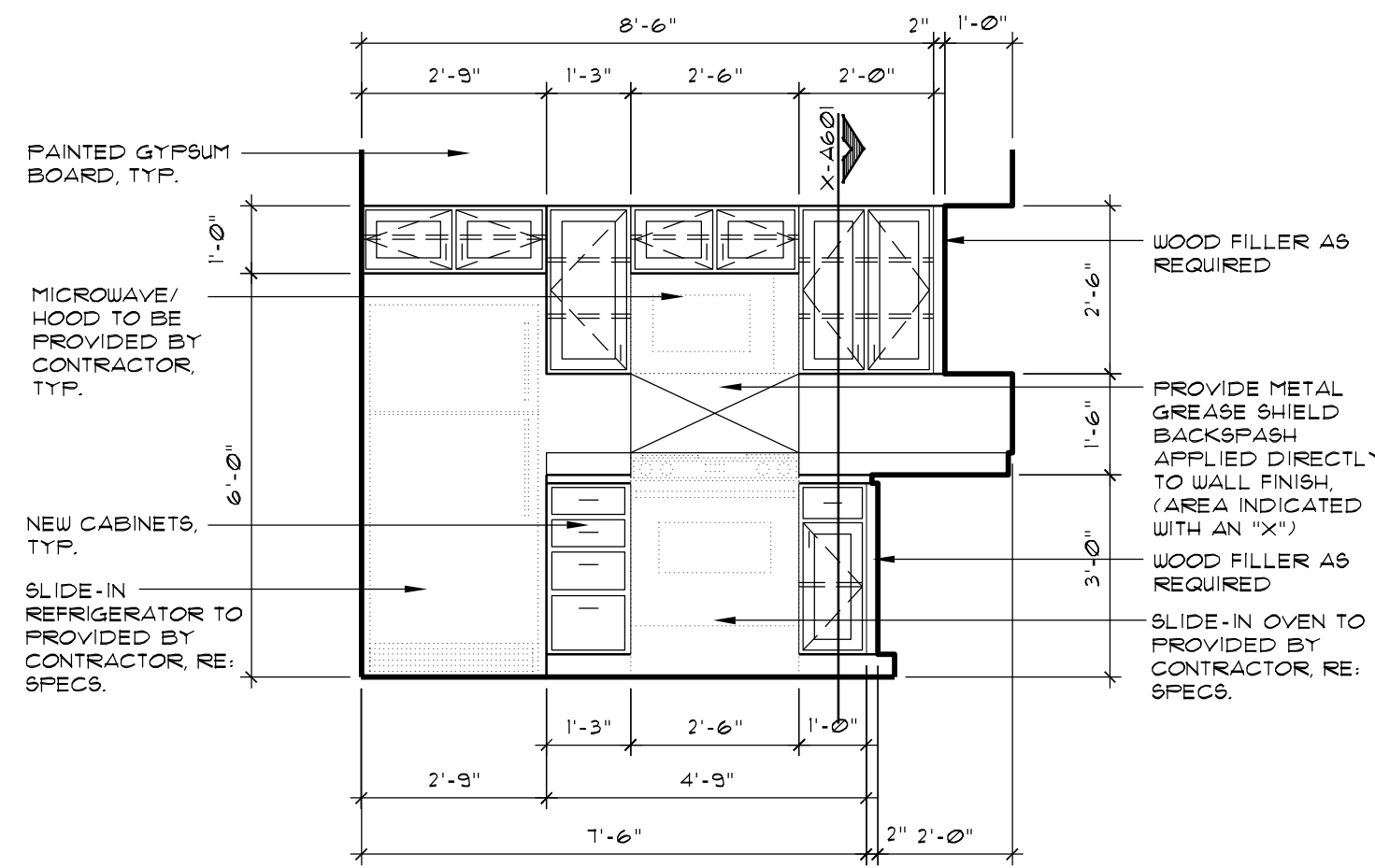
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REVISIONS	

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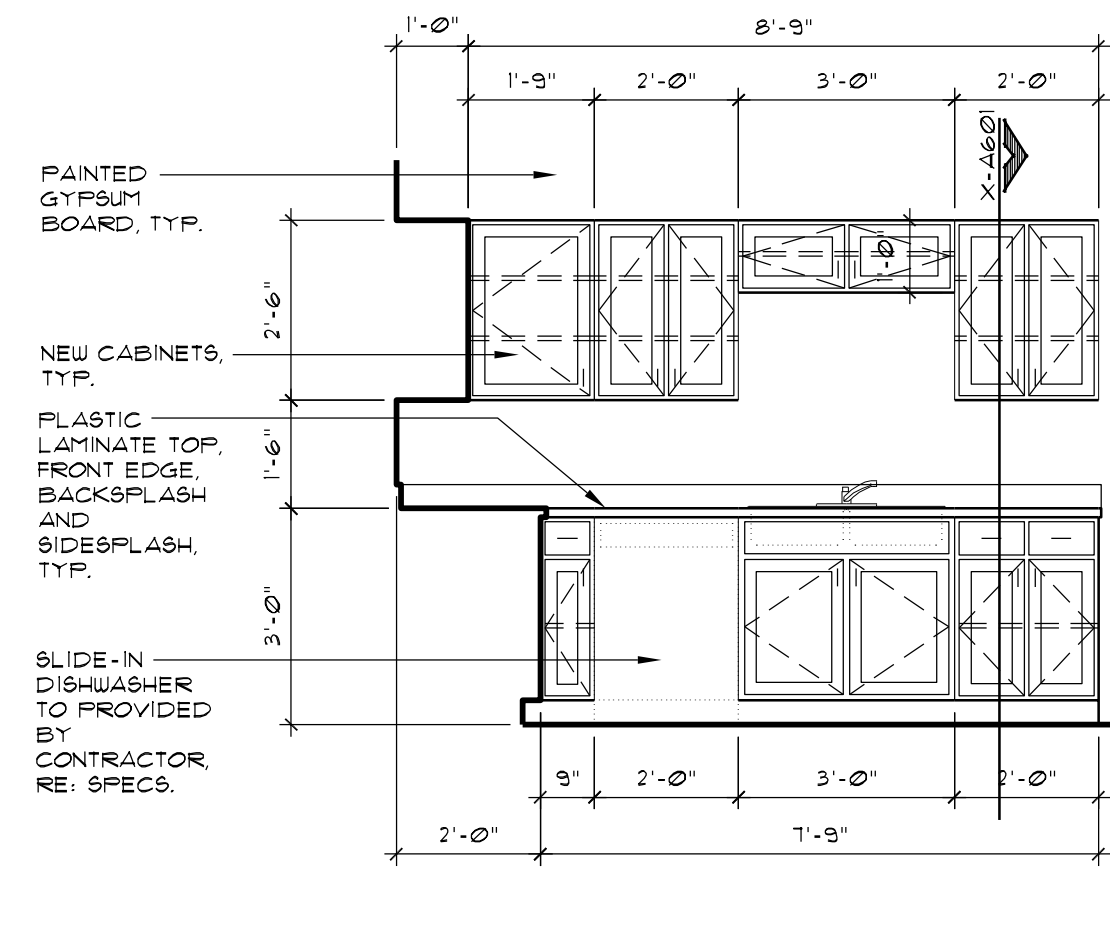


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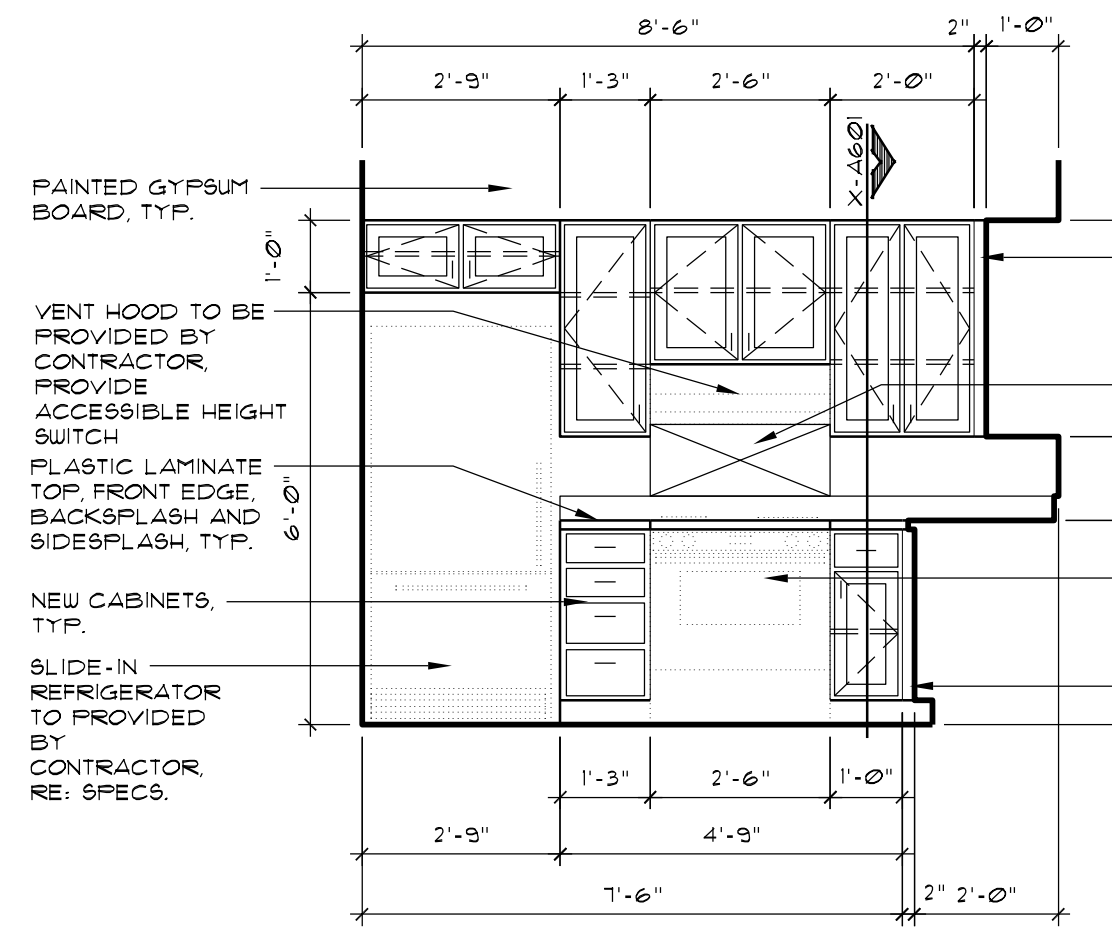




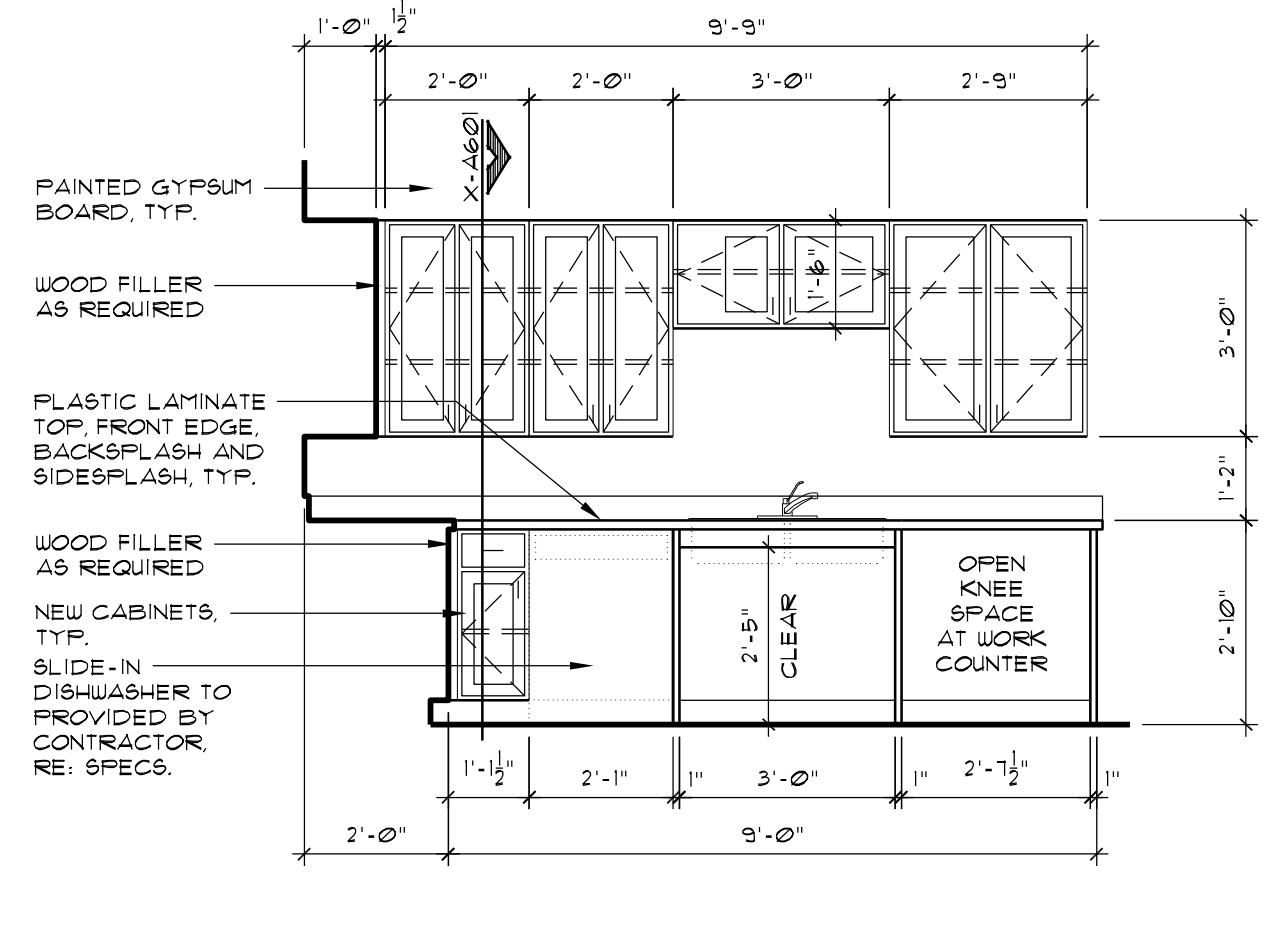
1 KITCHEN ELEVATION
A601 SCALE: 3/8"=1'-0"



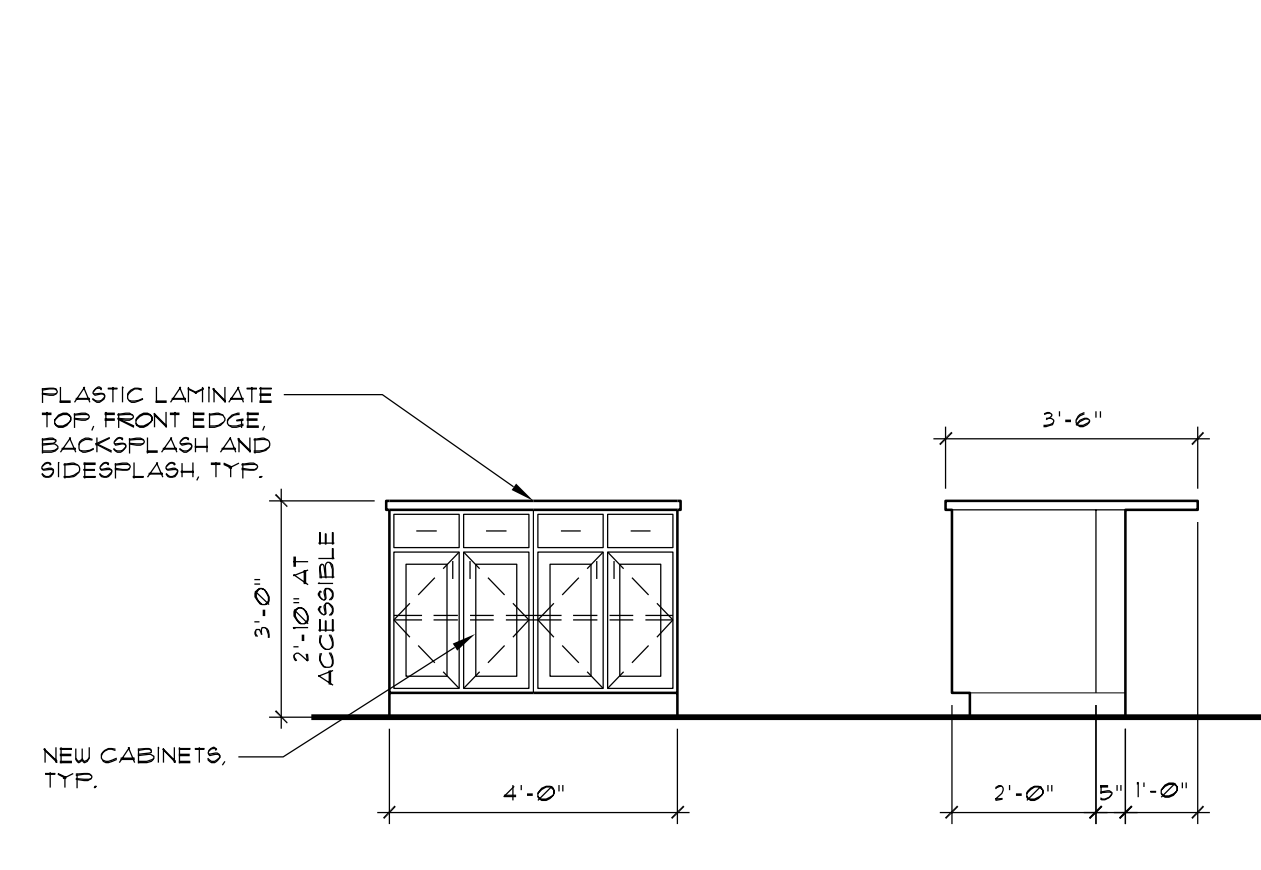
2 KITCHEN ELEVATION
A601 SCALE: 3/8"=1'-0"



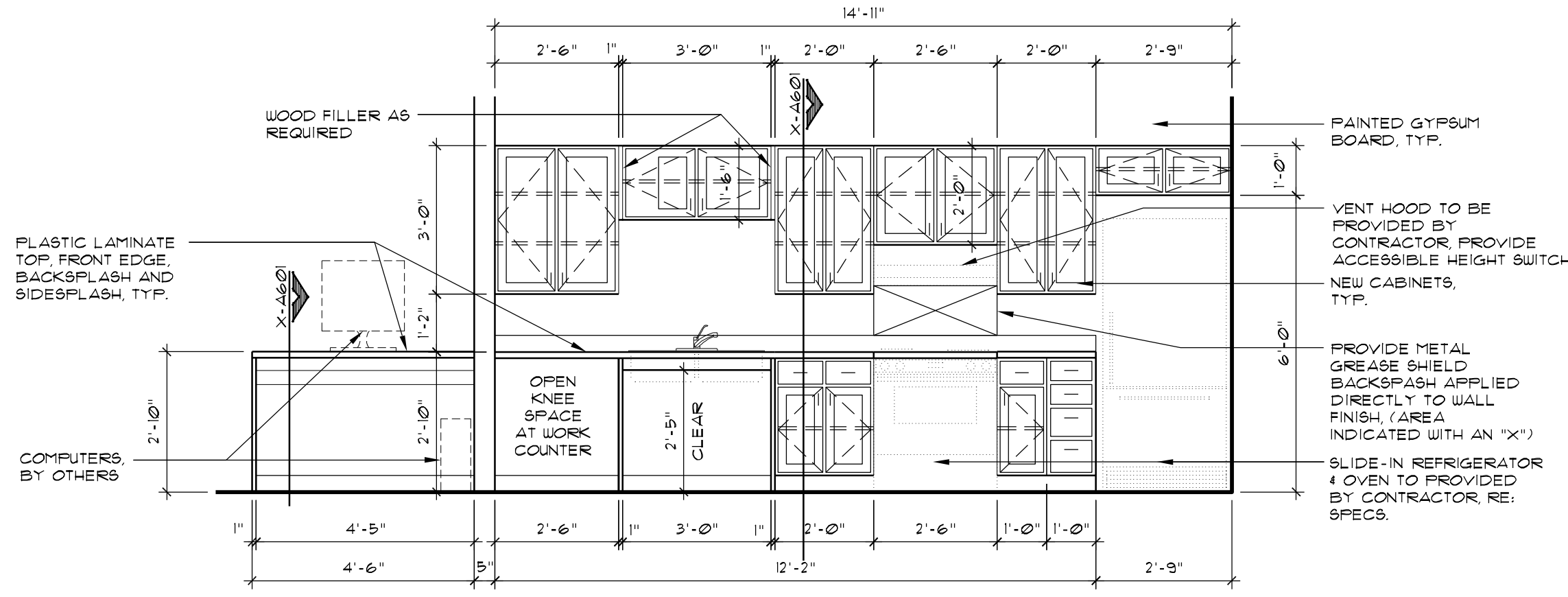
3 KITCHEN ELEVATION
A601 SCALE: 3/8"=1'-0" "TYPE A"



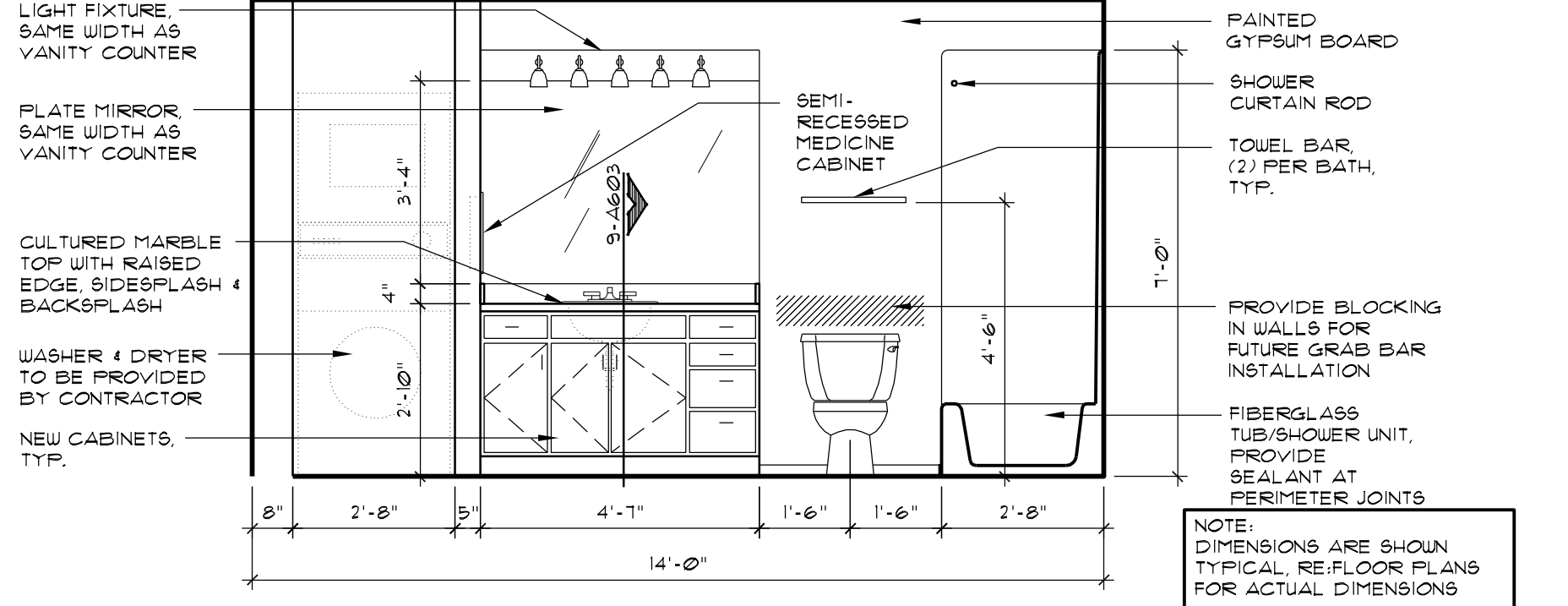
4 KITCHEN ELEVATION
A601 SCALE: 3/8"=1'-0" "TYPE A"



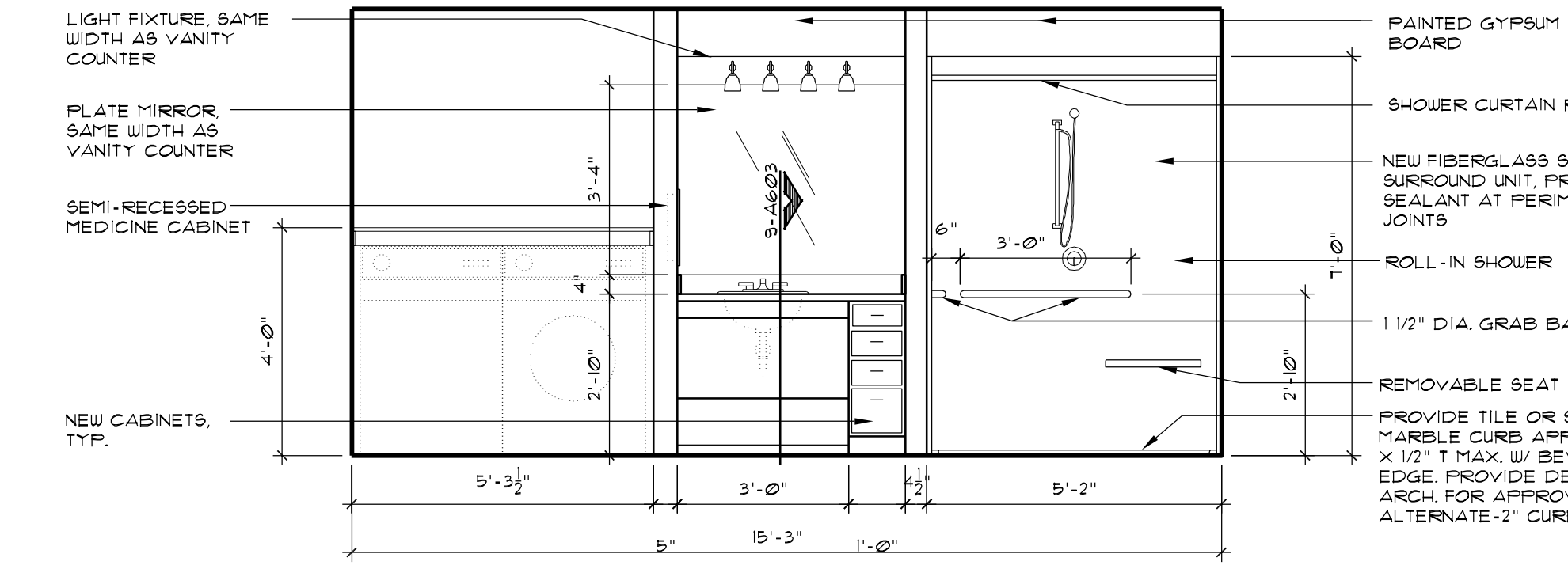
5 ISLAND ELEVATION
A601 SCALE: 3/8"=1'-0"



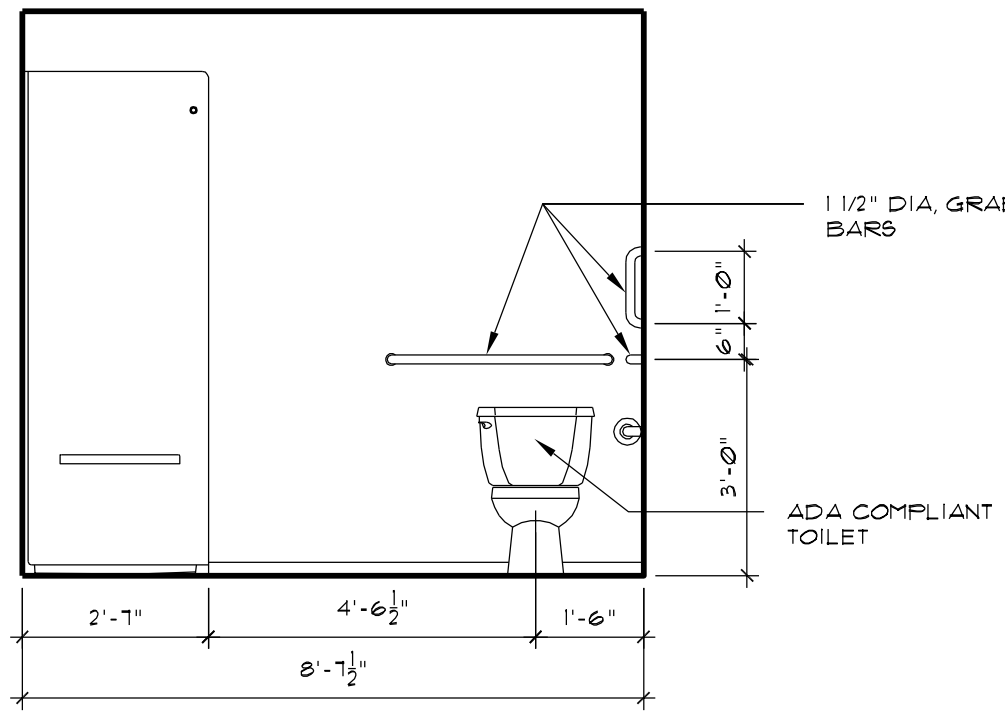
6 KITCHEN ELEVATION
A601 SCALE: 3/8"=1'-0" COMMUNITY



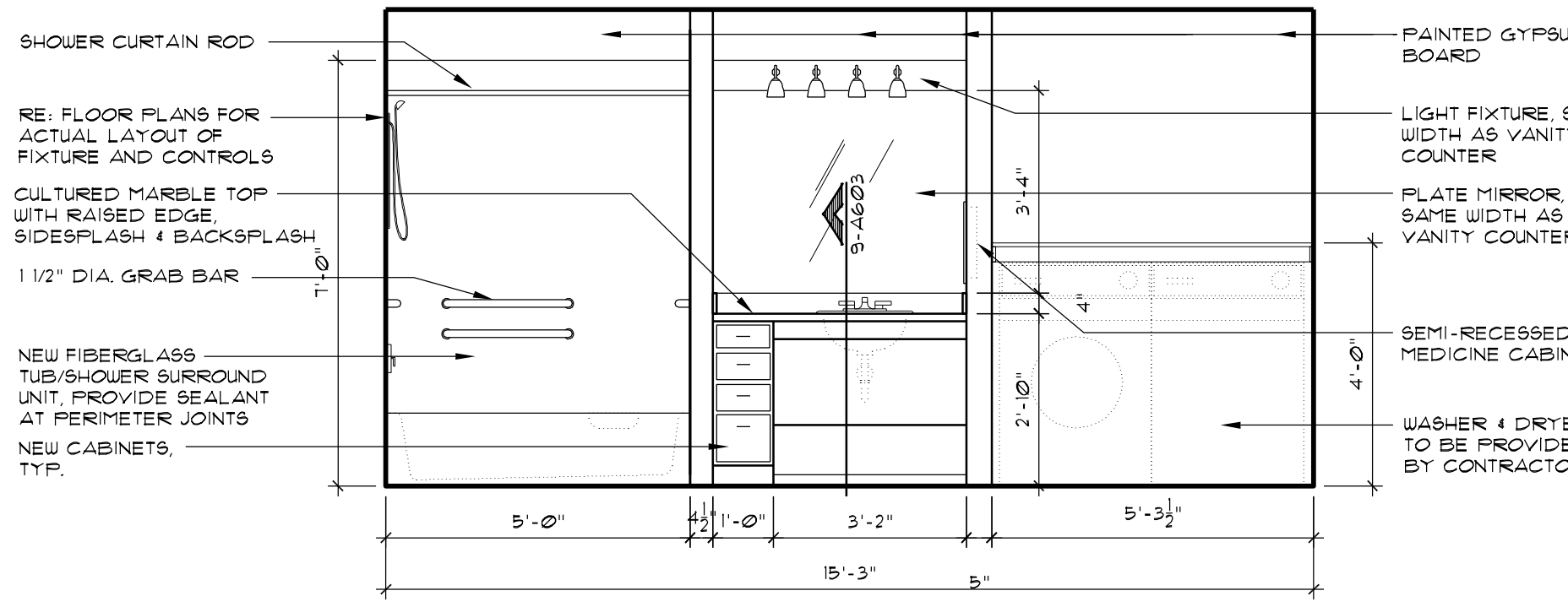
7 BATHROOM ELEVATION
A601 SCALE: 3/8"=1'-0"



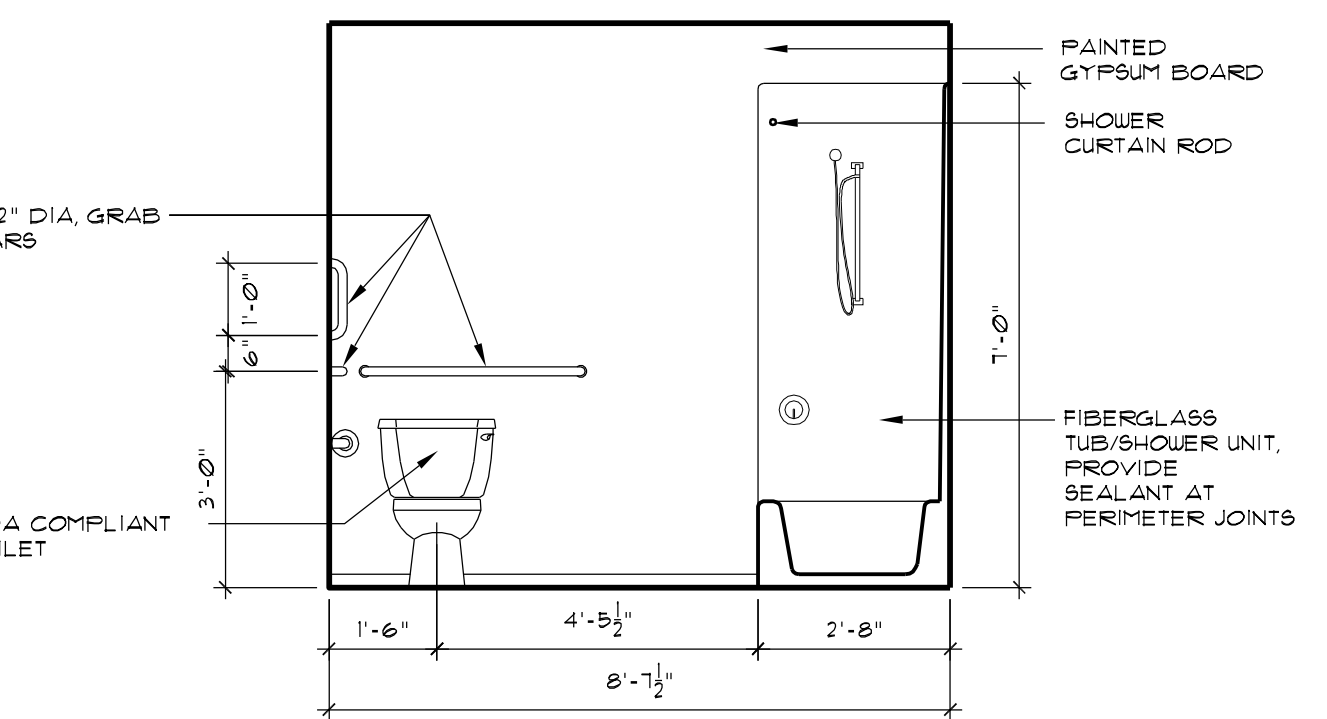
8 BATHROOM ELEVATION
A601 SCALE: 3/8"=1'-0"



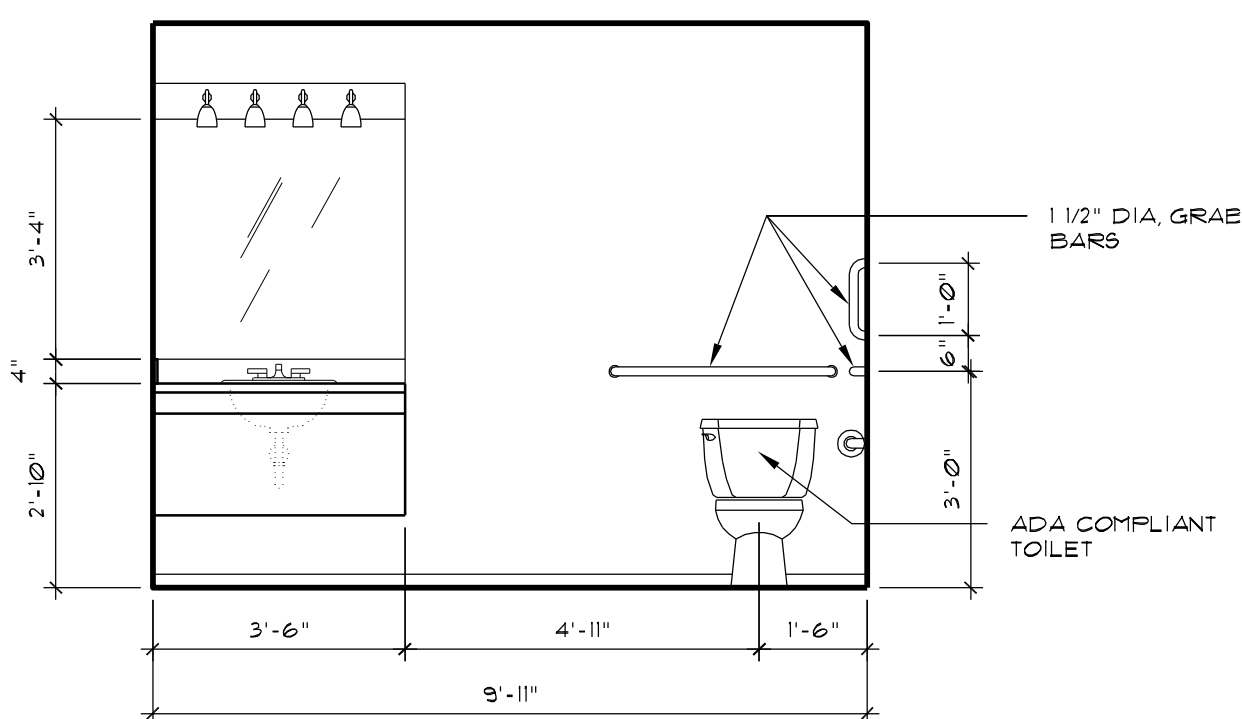
9 BATHROOM ELEVATION
A601 SCALE: 3/8"=1'-0"



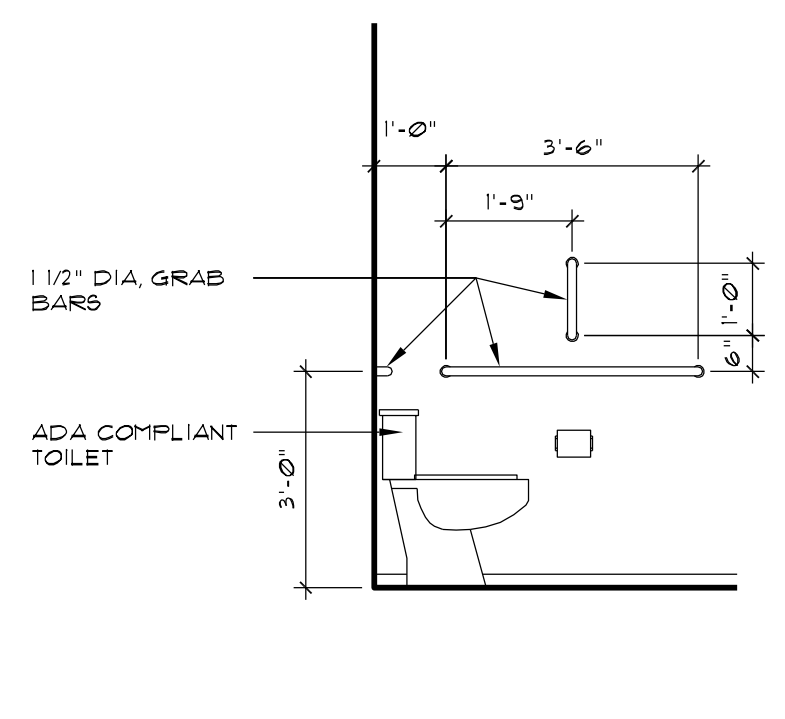
10 BATHROOM ELEVATION
A601 SCALE: 3/8"=1'-0"



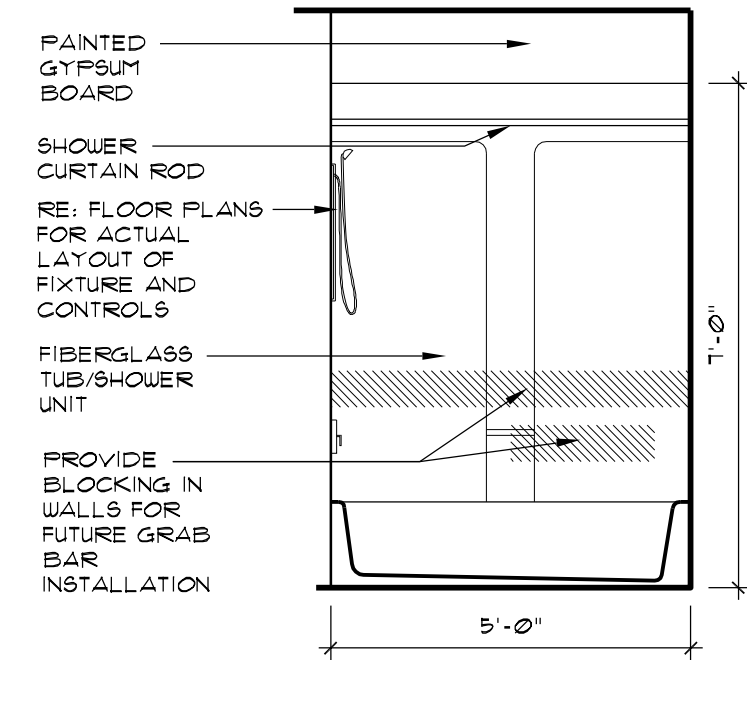
11 BATHROOM ELEVATION
A601 SCALE: 3/8"=1'-0"



12 TOILET ELEVATION
A601 SCALE: 3/8"=1'-0" "TYPE A"



13 TOILET ELEVATION
A601 SCALE: 3/8"=1'-0" "TYPE A"



14 BATHTUB ELEVATION
A601 SCALE: 3/8"=1'-0"

- MILLWORK GENERAL NOTES**
1. TYPICAL CABINET ELEVATION DIMENSIONS MAY VARY AND NOTES PROVIDED ARE TYPICAL, RE: FLOOR PLANS.
 2. CONTRACTOR SHALL SUBMIT CABINET DOOR STYLE TO ARCHITECT AND OWNER FOR APPROVAL, BASIS FOR DESIGN: "SMART CABINETRY" STIRLING MAPLE DOORS.
 3. ALL CABINETS SHALL INCLUDE DECORATIVE PULLS (DOORS & DRAWERS). CONTRACTOR TO VERIFY STYLE & FINISH WITH OWNER.
 4. PROVIDE WOOD BLOCKING IN WALLS FOR GRAB BARS, FUTURE GRAB BARS, TOILET BARS, CABINETS, LAVATORIES, ETC. TYP. ALL UNITS.
 5. ROUND OR CHAMFER CORNERS ON COUNTERTOPS IN ACCESSIBLE UNITS, TYP.
 6. RECEPTACLES ARE TO BE POSITIONED FOR ACCESS AWAY FROM TOILET BAR AND MIRROR UNIT, TYP. ALL UNITS.

Sikes Abernathie Architects
406 South Boulder Ave.
Suite 700
Tulsa, OK 74103
918.599.0541

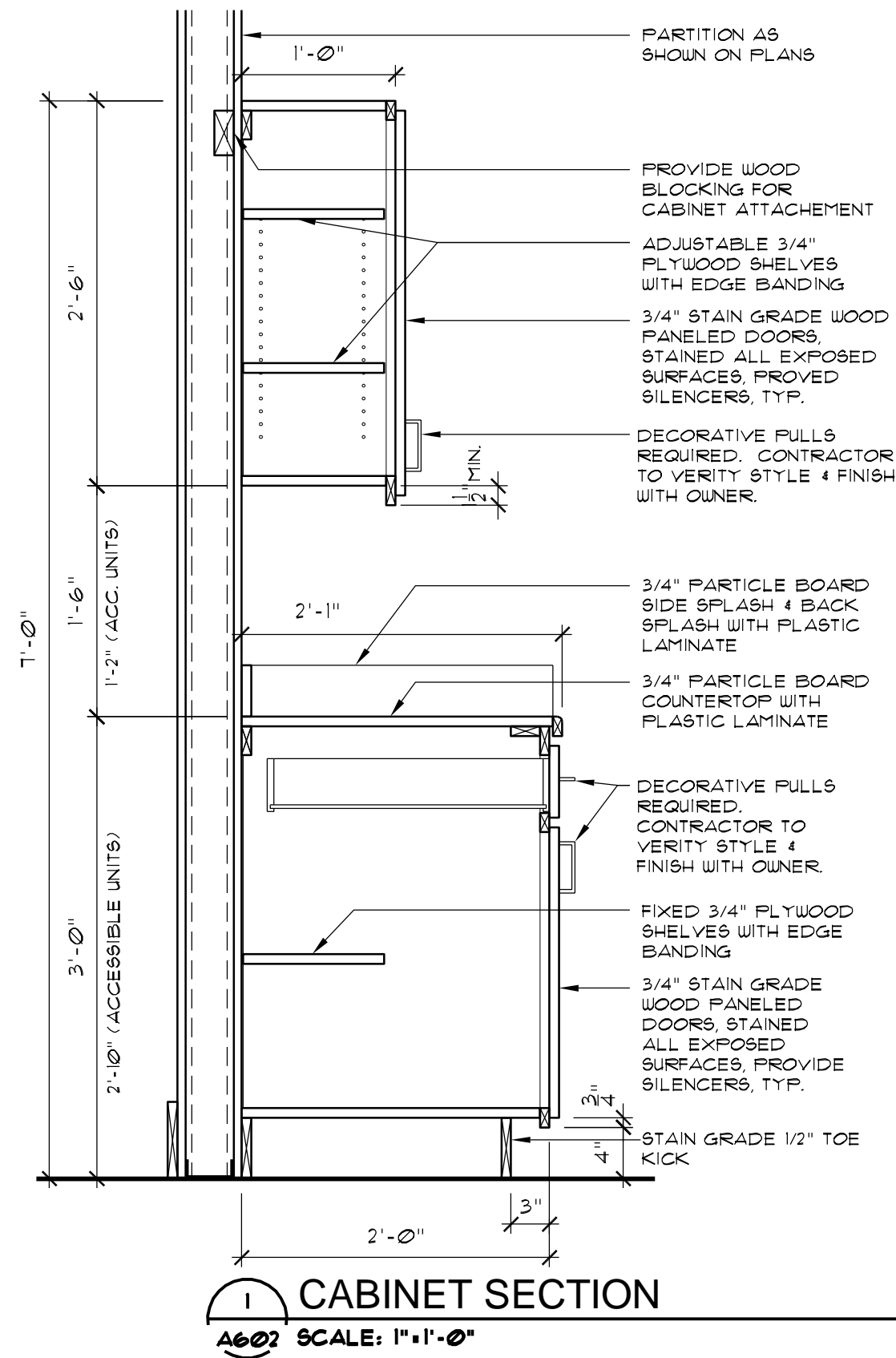
CONSTRUCTION CHECK SET ONLY
NO LON • NOT FOR CON.

Main Street Flats Limited Partnership
Main Street Flats
Cambridge, MN
50% Progress Set
© 2017 SIKES ABERNATHIE ARCHITECTS, P.C.

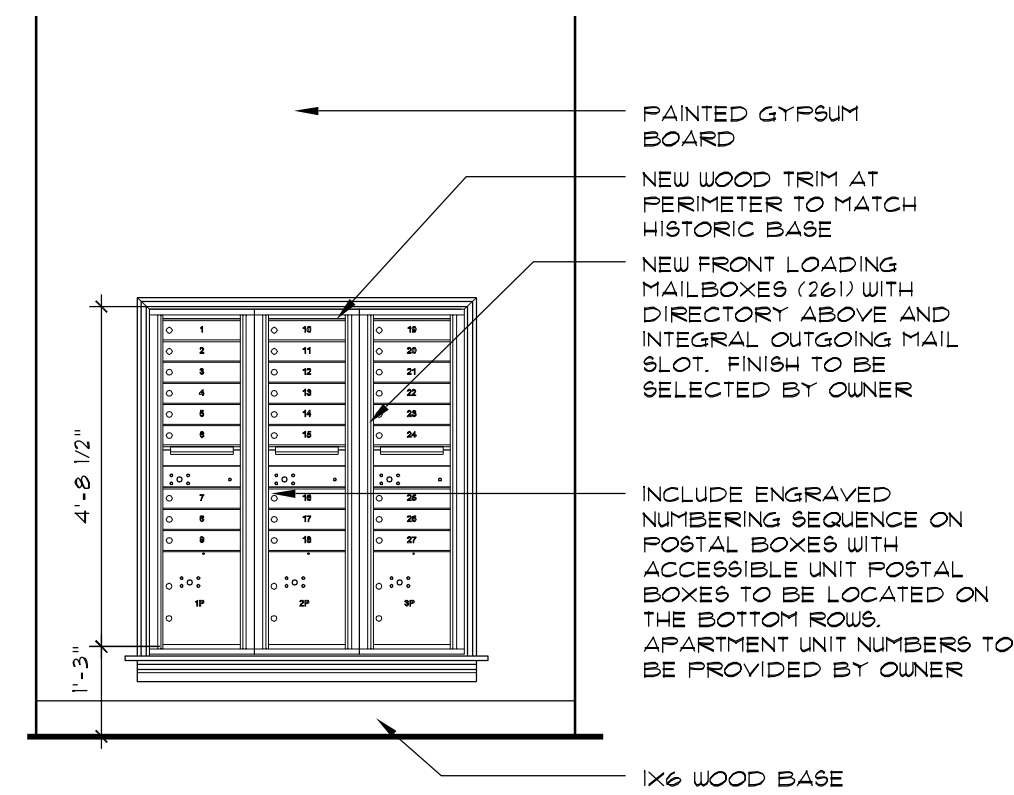
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CHECKED BY: MRA
ISSUED: 06/30/17

REVISIONS

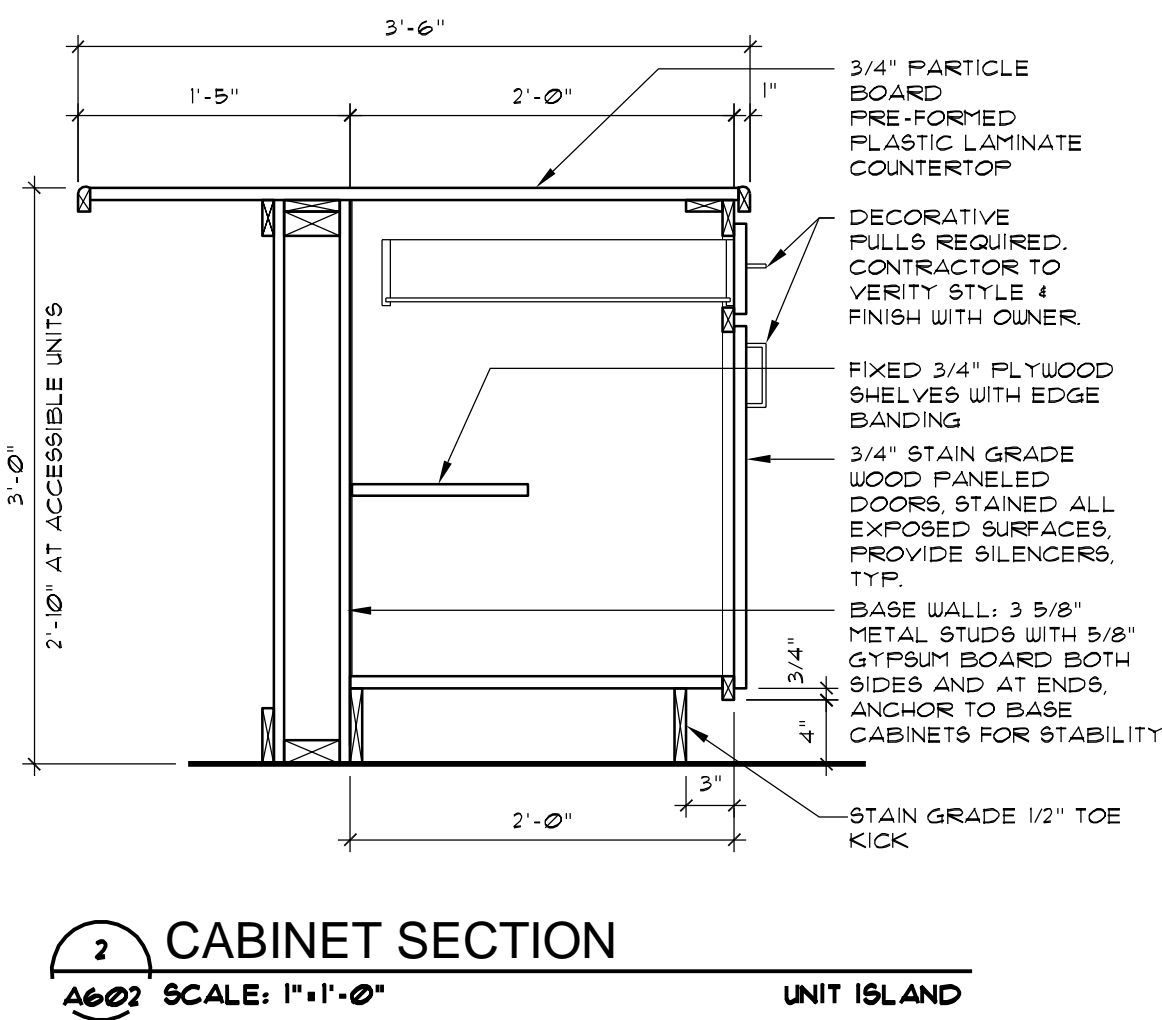
SHEET TITLE:
Interior Elevations
A601



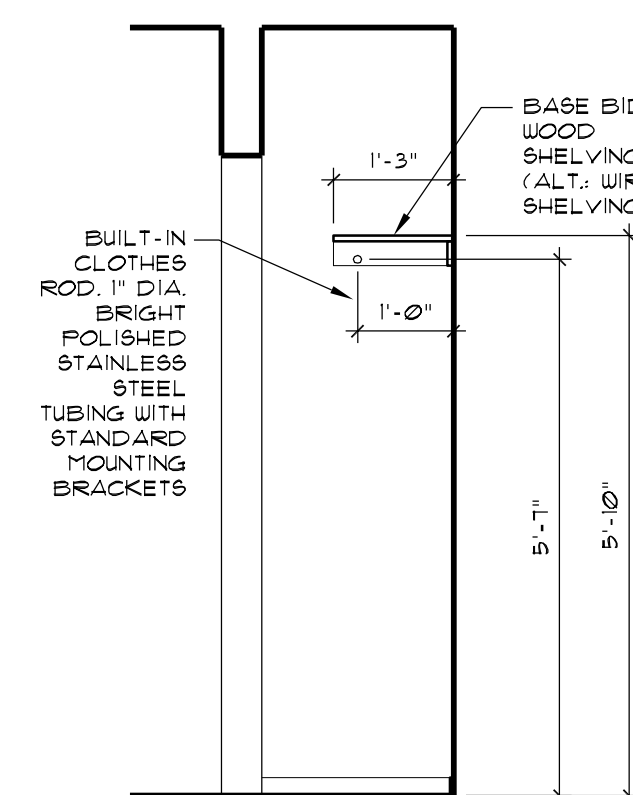
1 CABINET SECTION
A602 SCALE: 1"=1'-0"



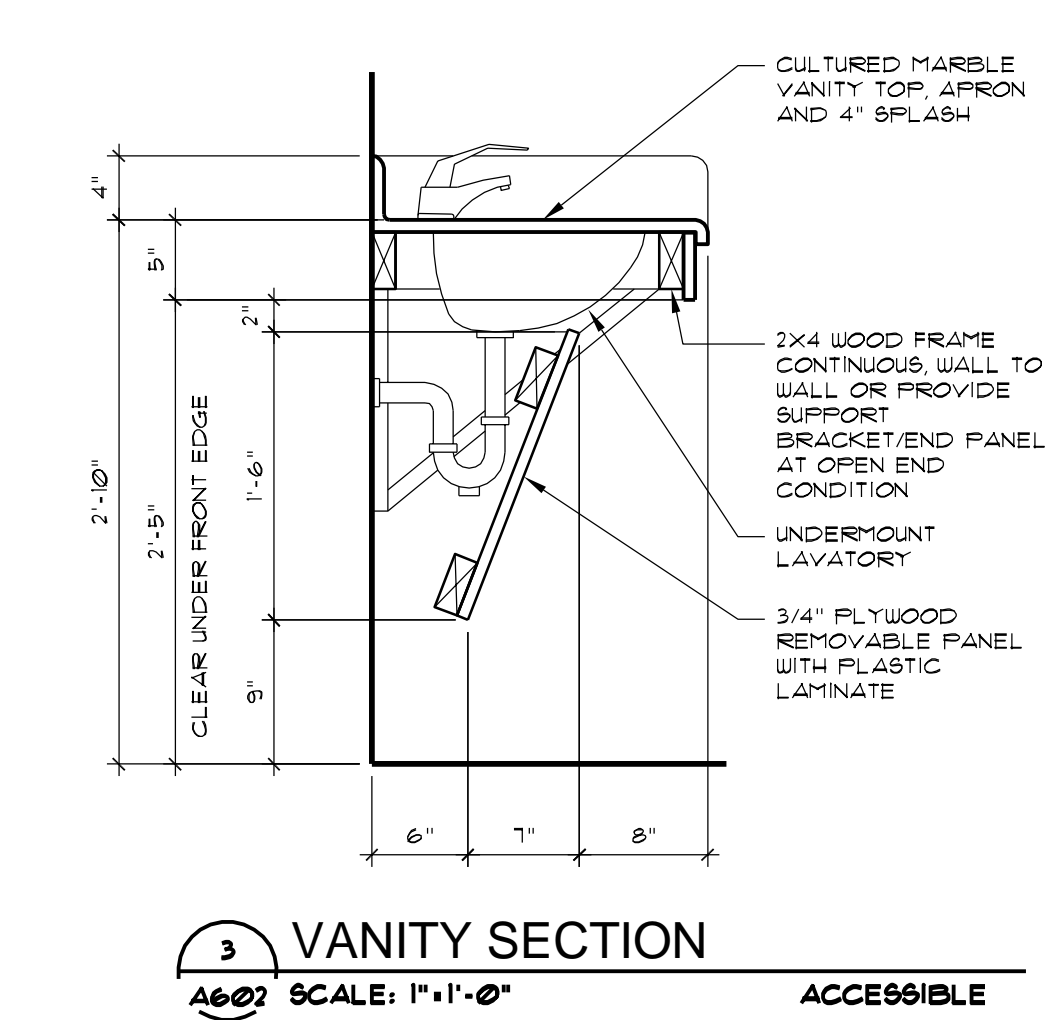
5 MAILBOX ELEVATION
A602 SCALE: 3/8"=1'-0"



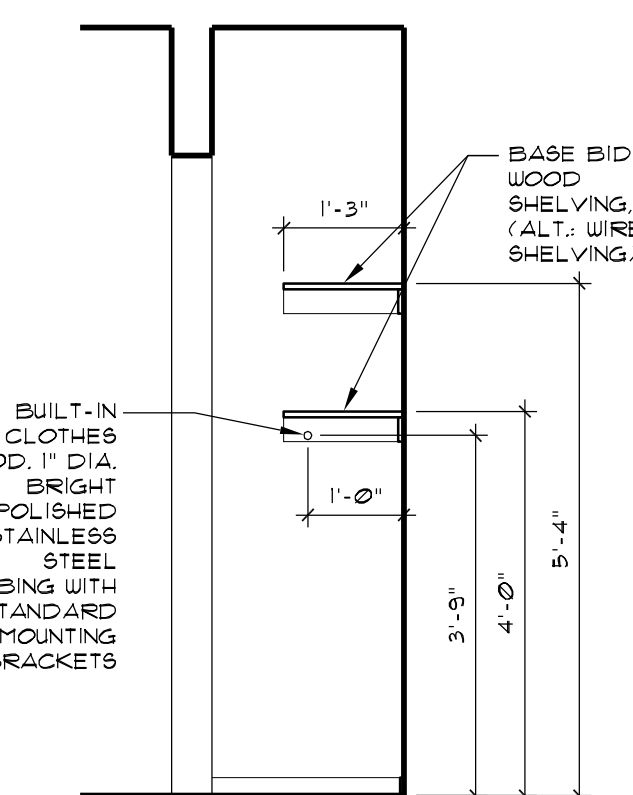
2 CABINET SECTION
A602 SCALE: 1"=1'-0" UNIT ISLAND



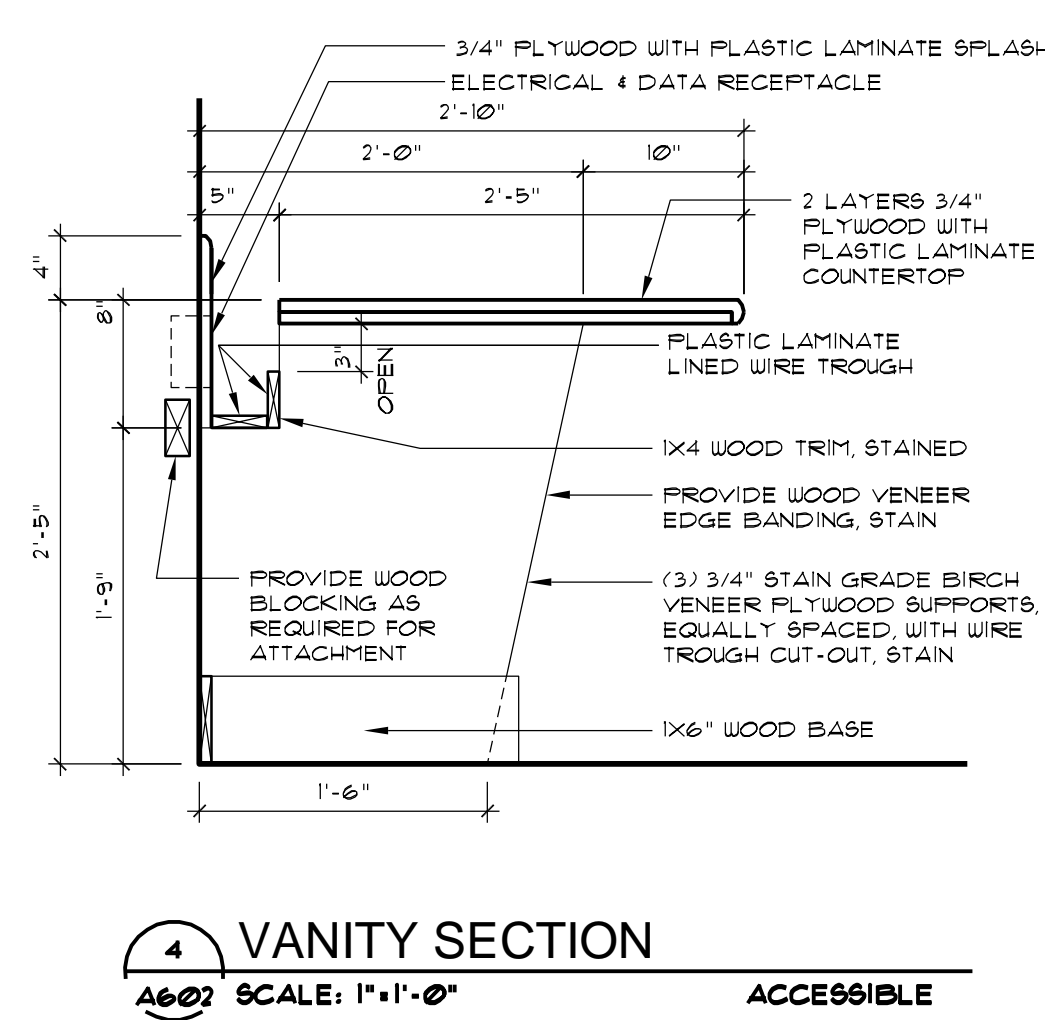
6 CLOSET SECTION
A602 SCALE: 1/2"=1'-0" TYPICAL



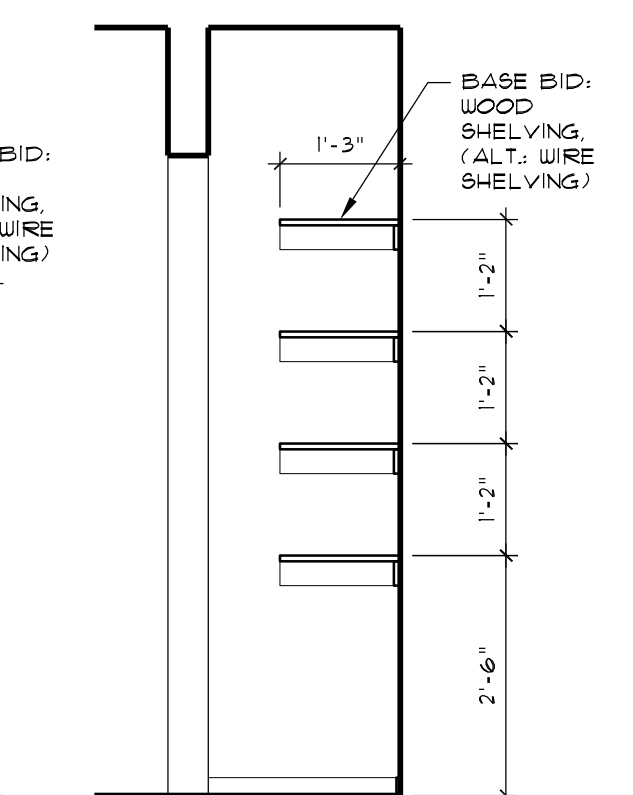
3 VANITY SECTION
A602 SCALE: 1"=1'-0" ACCESSIBLE



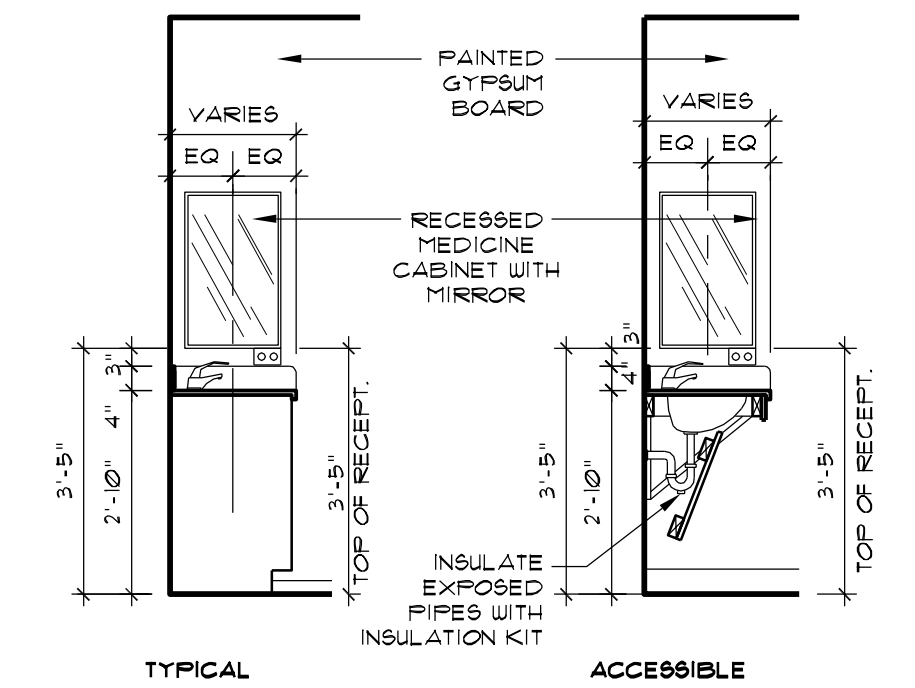
7 CLOSET SECTION
A602 SCALE: 1/2"=1'-0" ACCESSIBLE



4 VANITY SECTION
A602 SCALE: 1"=1'-0" ACCESSIBLE



8 MEDICINE CABINET DETAIL
A602 SCALE: 3/8"=1'-0"



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DRAWN BY: MRA
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ISSUED: 06/30/17

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