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Addendum #02

Project Name / Address:

Fox Pointe Townhomes
800-927 23rd Ave NW
Austin, MN 55912

Date:

8/31/17

Page:

1 of 26

Project Number:

615-19

The following modifications to, additions to and notice of deletions shall be appended to and become part of the Contract Documents for this project. Where any part of the contract documents is modified, added to, or voided by this addendum, the unmodified and unvoided parts of the Contract Documents shall remain in effect. References made to specifications and drawings shall be used as a general guide only. Bidders and Contractors shall determine for themselves the Work impacted by items included in this Bid Addendum.

A. General Note

All water service installed within the City of Austin must meet the Austin Utilities specifications. A narrative summary of the water main installation protocol is included below for reference only; the Austin Utilities specifications are included for reference and take precedence.

1. Owner Contractor strips topsoil along street, grades to subgrade including any subcut
2. After sanitary sewer construction, AU Contractor prepares water main trench
3. AU Constructs water main and any service tees, along with a gate valve for each service
4. Owner Contractor constructs service out of street and valve manhole over service valve
5. AU Contractor backfills watermain trench to subgrade
6. Owner Contractor backfills service trench out of street
7. Remaining street & utility construction occurs

B. Project Manual

1. Refer to Section 06 20 00 – FINISH CARPENTRY
 - a. Section 1.01; add “G. WOOD SHELVES – MAINTENANCE ROOM”

- b. Add subsection 2.12;
 "2.12 WOOD SHELVES
 a. Cut wood shelf from softwood 1 inch stock, of width shown, exposed edge slightly rounded."
- 2. Refer to Section 08 36 13 – SECTIONAL DOORS
 - a. Section 2.02, subsection A.12.a: Add "Provide minimum R-value of 10"
 - b. Section 2.05, subsection A: revise "~~1/3 hp~~" to read "1/2 hp"
- 3. Refer to Section 09 90 05 – FINISH SCHEDULE
 - a. Modified this addendum.

C. Drawings

- 1. Refer to A212 – EXTERIOR ELEVATIONS – BUILDING A
 - a. Elevations modified this addendum to clarify details.
- 2. Refer to A222 – EXTERIOR ELEVATIONS – BUILDING B
 - a. Elevations modified this addendum to clarify details.
- 3. Refer to A232 – EXTERIOR ELEVATIONS – BUILDING C
 - a. Elevations modified this addendum to clarify details.
- 4. Refer to A603 – EXTERIOR DETAILS - OPENINGS
 - a. Detail 8/A603- GARAGE DOOR HEAD AT BRICK – modified this addendum
- 5. Refer to A604 – EXTERIOR DETAILS - OPENINGS
 - a. Detail 1/A604- SILL DETAIL @ ENTRY DOOR – modified this addendum
 - b. Detail 2/A604- DOOR JAMB DETAIL @ SIDING – modified this addendum
 - c. Detail 4/A604 – DOOR HEAD DETAIL @ SIDING – modified this addendum
 - d. Detail 5/A604 – DOOR HEAD DETAIL @ BRICK – modified this addendum
- 6. Refer to A605 – EXTERIOR DETAILS - OPENINGS
 - a. Detail 1/A605- ACC. PATIO DOOR JAMB DETAIL (SWINGING DOOR) – modified this addendum
 - b. Detail 2/A605- PATIO DOOR JAMB DETAIL (SLIDING DOOR) – modified this addendum
- 7. Refer to A702 – INTERIOR ELEVATIONS – ADA UNITS / OFFICE
 - a. Elevation 12/A702 – MAINTENANCE CASEWORK ELEV. – modified this addendum

D. Attachments

1. Addendum No. 2 – Electrical Component dated August 31, 2017

End of Addendum

License # 54462

A handwritten signature in black ink that reads "Nate Bartley". The signature is written in a cursive style and is positioned above a horizontal line.

Dated 8/31/17

Water Service Specifications

Guide for Plumbers and Pipelayers

Austin Utilities - April 2011

All water services installed within the City of Austin, and connected to the Austin Utilities water system, shall meet these specifications. This sheet contains information taken from the “Austin Utilities Water Rules” and the “Austin Utilities Standard Specifications for Water Main and Service Line Installation”. See these documents for more complete information regarding water service line installation specifications

Water Service Materials

Water service pipe of 2” and smaller shall conform to the requirements of ASTM B 88 for Seamless Copper Water Tube, Type K, Soft Annealed temper or HDPE pipe, PE 3408 2” IPS or 1” IPS, SDR11, with a 160 psi rating in accordance with AWWA C-901 specifications. All connections for 2” and smaller PE pipe shall be fused or use stab type mechanical fittings, meeting ASTM D2513 (2) Category 1.

Water service pipe of 3” and larger shall be either ductile iron or PE. Fire service lines must meet applicable standards – contact Austin Building Inspection Dept.

Ductile iron pipe 3” and larger shall meet ANSI A-21.51 standards, All fittings shall conform to ANSI A-21.10 or ANSI A-21.53. All fittings shall either be cement mortar lines meeting ANSI A-21.4 or epoxy coated.

PE pipe 4” and larger shall conform to AWWA C-906 standards, and be PE 3408, either blue or blue stripe, SDR 11, and DIPS OD sizing.

Tracer wire shall be #12 gauge, solid copper, with blue type UF insulation. Tracer wire, along with all connections and accessories shall be installed to current Austin Utilities specifications and practices. Tracer wire shall be run with all non-metallic water service lines.

Water Service Installation Specifications

Taps, Curb Stops and Manholes

Austin Utilities performs all taps at the main. Taps and any applicable main extension charges shall be paid in full before any tap is performed. Current tap charges are listed on Water Rules, 116.0 Base Charge List. Taps available on ductile or cast iron mains are 1”, 1-1/2”, 2”, 4”, 6”, 8”, 10” and 12”. 10” and 12” taps are done on a time and materials charge. Taps available on PE mains are 1”, 2”, 4”, 6”, 8”, and 12”. 12” taps are done on a time and materials charge.

Taps include the tap and the corp or tapping valve at the main. The property owner’s contractor is responsible to install the service line and applicable curb stop or manhole from that point.

For 2” and 1” taps on PE mains, running PE service pipe, the contractor must select either a stab fitting on the end of the corp valve, or a plain pipe end (for fusion connection). Contractor must notify Austin Utilities Water Department prior to the tap for their preferred style.

Curb stops are required on all services 2” and smaller. The curb stop shall be placed seven feet from the property line inside the Right-of-Way. Telescoping top section curb boxes shall be used. Threaded “Minneapolis Style” connection to the curb stop valve shall be used. Contractor shall be responsible to adjust curb stop to final grade, including any necessary extensions.

Stub-in lines may be extended to either the right-of-way line or to the easement line, if a front lot easement exists. Stub-in extension beyond the right-of-way into property on easement must be pre-approved by Austin Utilities Water Department and the City of Austin Engineering Dept..

Manholes are required on all services 4" and larger. Manholes will typically be placed over the tapping valve at the tap to the main itself. No additional "curb stop" in the boulevard is required. 48" ID precast concrete manhole is required, meeting current City of Austin specifications. Neenah "Open Pick", style 1550 manhole frame and lid are currently required. Contractor shall be required to adjust frame and lid to final grade, including any necessary concrete or cast adjusting rings.

Meter Location

All meters shall be installed as near as practical to the point where the service enters the building in an approved accessible, dry, frost proof, and vandal proof place. The service point of entry shall be close to an outside wall. Services shall not run under floors ahead of the meter. An approved shutoff valve shall be provided inside the building upstream and downstream of the meter. Services on industrial and commercial properties may run under floors ahead of the meter, only if the service line is sleeved and is approved by the General Manager.

Meters must be installed with an electrical wire "jumper" to allow maintenance of the meter with uninterrupted electrical grounding across the meter location. This is an important safety requirement and must be done in all cases. The wire size of the jumper must be sized as required by electrical code. The meter must be installed in an accessible location for maintenance and replacement. The meter must have at least 8" clearance above and below the meter. The meter must have at least 4" clearance behind the meter. The meter must be installed in a horizontal position.

Until the water meter is to be installed, the water service line inside the building must remain capped. A licensed plumber will install the necessary pipe and fittings for the water meter. The plumber will pick up the water meter at the Austin Utilities Storeroom and install the water meter. No water is to be taken from the water service until after the meter is installed. Any water taken from the service line without a meter is considered theft. Austin Utilities will seek prosecution of individuals or plumbers who take unmetered water or who enable unmetered water to be taken.

Fire Hydrants - Private

The placement and all final specifications on private fire hydrants must meet approval of the City of Austin Fire Department.

Austin Utilities strongly encourages the property owner, or the property owner's contractor or engineer, to specify fire hydrants meeting the current Austin Utilities specifications. Property owners who want Austin Utilities to perform maintenance on their private hydrants have the option to hire Austin Utilities to perform this work. If the private hydrants are a different brand or otherwise are different than those in the Austin Utilities system, Austin Utilities will not perform any maintenance on the hydrants, the property owner must hire an independent contractor. Current specifications on hydrants are paraphrased here:

Fire hydrants shall conform to the applicable requirements of AWWA C-502. Waterous Model W-67B five-inch non-jacket hydrant assembly shall be standard.

- 1) Hydrants shall have a 5.25" main valve opening of the type that opens against water pressure.
- 2) Hydrant barrels shall be two-piece, non-jacket type, with flanged joint above finished grade line and with mechanical joint connection at the hub end for joining a six-inch ductile iron branch pipe.
- 3) Hydrant bury depth 6'6".
- 4) Hydrants shall have two outlet nozzles for 2 1/2 inch (I.D.) hose connection and one outlet nozzle for 4 1/2 inch (I.D.) steamer connection. All outlet nozzle threads shall be National Standard Fire-Hose Coupling Screw Threads (NFPA 1963). All nozzles shall have caps w/ #5 nuts.
- 6) Hydrants shall be provided with outlets for drainage in the base or barrel, or between the base and barrel.
- 7) The hydrant-operating nut shall be rotated counterclockwise to open.
- 8) Hydrants shall be painted red M4104 "Hydrant Red" Hi-Solids Uranguard, with top section painted green M4181 "Dark Emerald Green" Hi-Solids Uranguard as supplied by Waterous.

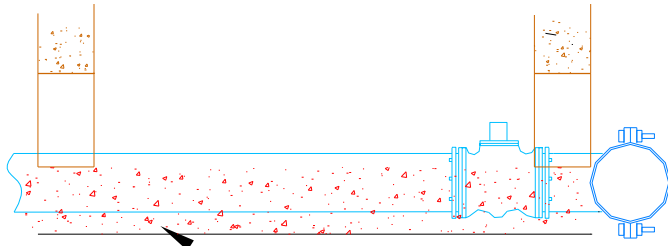
Hydrants meeting these specifications may typically be purchased from local Waterous distributors by asking for the "Austin Utilities" spec. hydrants.

Austin Utilities strongly encourages the property owner, or the property owner's contractor or engineer, to specify installing a valve in front of the hydrant. This is to facilitate maintenance of the hydrant without having to shut down the water line feeding the hydrant. For private hydrants this is often the line feeding the sprinkler system or also the domestic water feed to the property.

The valve should have a manhole or road box for access to the valve from grade. Austin Utilities currently uses a road box, Armor Access Boxes, 5-1/4" Roadway Valve Box, for Water, with a cast iron lid, 24-1/2" polyiron top, 48" bottom section, and a 20" extension section. Armor #111142-03 5245-48

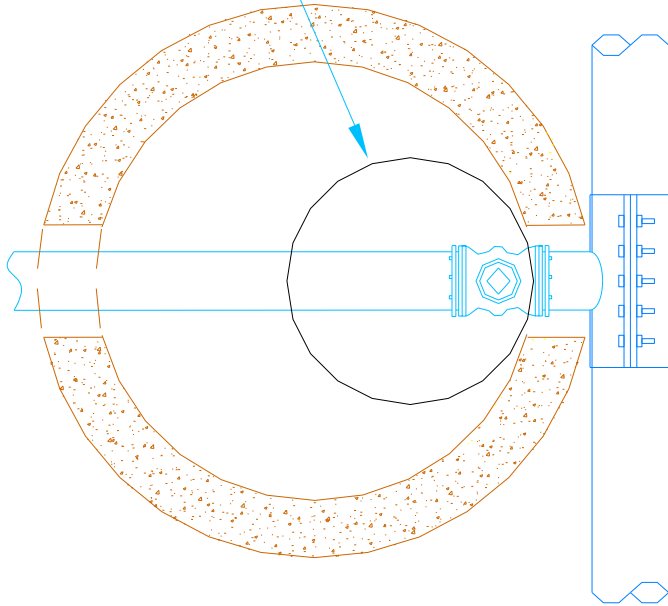
STANDARD VALVE INSTALLATION AND MANHOLE COVER ASSEMBLY FOR LARGE SERVICE TAPS

VALVE INSTALLATION - SIDE VIEW



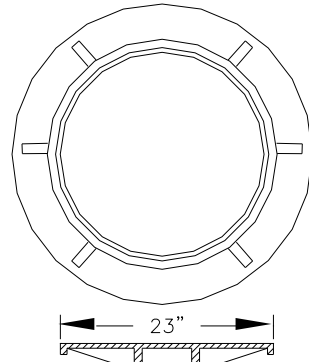
1-1/2" CRUSHED ROCK
1-2" BELOW TOP OF SERVICE PIPE

27" OPENING IN OFFSET
CONCRETE MANHOLE TOP

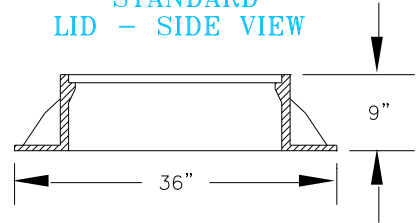


VALVE PLACEMENT - PLAN VIEW

FRAME - PLAN VIEW



STANDARD
LID - SIDE VIEW

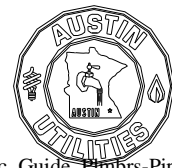


STANDARD
FRAME - SIDE VIEW

FRAME AND LID TO BE NEENAH
"OPEN PICK" STYLE 1550

BY: KJM	DATE: 11/20/2008	DWG. NAME: STD-TV-MH
CKD:	DATE:	DWG. NO.

AUSTIN UTILITIES
ENGINEERING SERVICES DEPT.



SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

Fox Pointe Townhomes – Austin, MN

ID CODE	DESCRIPTION	LOCATION
INTERIOR FINISHES		
<p>P1</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7043 Worldly Gray Finish: Eggshell</p>	<p>Unit Walls Office walls– Field Color (All walls unless otherwise specified)</p>
<p>P2A-D</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7008 Alabaster <u>P2A - Maintenance Room Walls:</u> Finish: Flat Latex <u>P2B - Ceilings</u> Finish: Flat Latex <u>P2C - Interior Doors/Trim & Casing:</u> Finish: Semi-Gloss <u>P2D - Hollow Metal Door & Frame:</u> Finish: Satin Enamel</p>	<p>Maintenance Room walls All interior Unit & Office ceilings Interior Masonite doors, wall base, trim & casing Interior face of Unit entry doors. Maintenance Room hollow metal door & frame.</p>
<p>P3</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW6235 Foggy Day Finish: Eggshell</p>	<p>Office – Accent Color (See floor plan for locations)</p>
<p>CPT1</p> 	<p>Product: Carpet Broadloom Mfg: Shaw Contract Collection: Quiet Canvas Style: Sentiment 60775 Color: Emotion 00753 Contact: Nora Lewandowski (612) 865-1818 nora.lewandowski@shawinc.com</p>	<p>Standard Units – 2 Level and stairway</p>
<p>LVT1</p> 	<p>Product: Luxury Vinyl Plank – Glue Down Mfg: Shaw Contract Collection: Terrain Style Terrain 12 Mil 0517V Color: Root 00558 Plank Size: 6” x 48” x 2.5mm Wear Layer: 12 Mil. Contact: Nora Lewandowski (612) 865-1818 nora.lewandowski@shawinc.com</p>	<p>Units – Main Level flooring</p>






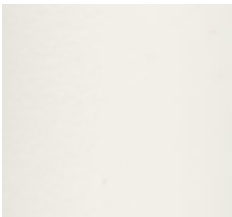
SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

<p>LVT2</p> 	<p>Product: Luxury Vinyl Plank Mfg: Bolyu Collection: Aged Wood Color: Smoked Oak (BLVAW-001) Plank Size: 6” x 48” Wear Layer: 20Mil Contact: Jenny Carey (612) 242-2300 jenny.carey@bolyu.com</p>	<p>Office Flooring (Exception Restroom)</p>
<p>SV1</p> 	<p>Product: Sheet Vinyl Mfg: Congoleum Series: Airstep Plus Collection: Linea Color: Shoreline 58142</p>	<p>Unit Bathrooms (Main & Second Levels) Furnace Rooms Mech./Laundry Rooms</p>
<p>T1</p> 	<p>Product: Porcelain Filed Tile Mfg: Daltile Collection: Timber Glen Color: Thatch Size: 12” x 24” Grout: Mapei – Pewter 02</p>	<p>Office Floor Tile - Restroom 106</p>
<p>T2</p> 	<p>Product: Porcelain Wall Tile Mfg: Daltile Collection: Elevare Color: Matte Lunar EL47 Size: 4” x 16” Grout: Mapei – White 00</p>	<p>Office Toilet Room Walls Note: See Toilet Room elevations for tile pattern.</p>
<p>T3</p> 	<p>Product: Porcelain Wall Tile Mfg: American Olean Collection: Strategies Mosaics Color: Metal Method ST73 Size: 13” x 13” Sheet Grout: Mapei - White 00 (Un-sanded)</p>	<p>Office Kitchenette Backsplash</p>
<p>MT1</p>	<p>Product: Metal Trim Mfg: Schluter Systems Item: Schluter-DILEX-AHK-Cove Trim Finish: Brushed Nickel Anodized Aluminum</p>	<p>Cove trim in Office Toilet Room</p>
<p>EPX1</p>	<p>Product: Epoxy Mfg: Sikafloor Series: Merflex Color:– TBD Addendum #01 – 8/30/17</p>	<p>Floor coating in Maintenance Room</p>

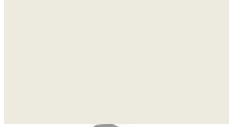



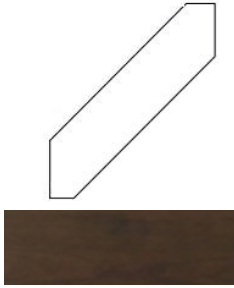
SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

<p>VB1</p> 	<p>Product: Vinyl Wall Base Mfg: Johnsonite Style: 4" Traditional Cove Color: Charcoal 20</p>	<p>Cove trim in Maintenance Room</p>
<p>PL1</p> 	<p>Product: Plastic Laminate Mfg: Formica Color: Silver Shalestone 9307-58 Finish: Matte 58 **New 2017 Formica Color**</p>	<p>Unit Kitchen countertops, Maintenance room desk top – Addendum #2</p> 
<p>PL2</p> 	<p>Product: Plastic Laminate Mfg: Formica Color: White Twill 9285-58 Finish: Matte 58</p>	<p>Office Kitchen countertop</p>
<p>CM1</p> 	<p>Product: Cultured Marble Mfg.: Central Marble Products, Inc. Color: Pure White (145) Edge Style: Eased Edge - Addendum #01 Integral Bowl: Same Color Finish: Gloss</p>	<p>Unit Bathroom vanity tops Office Toilet Room vanity top</p>
<p>CM2</p> 	<p>Product: Cultured Marble Mfg.: Central Marble Products, Inc. Style: Pure White (145) Edge Style: Eased Edge - Addendum #01 Finish: Matte</p>	<p>Window Sills</p>




SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

<p>WB1</p>  <p>Wall Base Profile</p>  <p>Door & Window Casing Profile</p>	<p>Product: Wood Wall Base Mfg: Bayer Built Woodworks Wood: Poplar Profile: 239A Size: 7/16" x 4 1/4" Color: Primed – Paint P2C</p> <p>Product: Wood Casing Mfg: Bayer Built Woodworks Wood: Poplar Profile: 155A Size: 9/16" x 3" Color: Primed – Paint P2C</p>	<p>Units and Office</p> 
<p>CAB1</p>  <p>Cabinet Style</p>	<p>Product: Cabinets Mfg.: Smart Cabinetry Style: Montana Wood: Maple Finish: Coffee</p>	<p>Unit kitchen cabinets and bathroom vanities</p> <p>Office Kitchen & Maintenance Room cabinets</p>
<p>CAB2</p> 	<p>Product: Cabinet Crown Moulding Mfg.: Smart Cabinetry Style: Shaker Crown Molding Wood: Maple Finish: Coffee Size: 2 5/32" x 2 17/32"</p>	<p>Unit and Office cabinets (exception Maintenance Room)</p>

SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

<p>HW1</p> 	<p>Product: Hardware - Cabinet Knob Manufacturer: Berenson Collection: Advantage Plus 5 Style: Timeless Charm Model: 9375-1BPN-P Finish: Brushed Nickel Diameter: 1 3/16"</p>	<p>Standard Units - Cabinet doors</p>
<p>HW2</p> 	<p>Product: Hardware – Cabinet Cup Pull Manufacturer: Berenson Collection: Advantage Plus 5 Style: Timeless Charm Model: 9387-1BPN-P Finish: Brushed Nickel Size: 3 1/2" x 1 11/16"</p>	<p>Standard Unit- Cabinet drawers</p>
<p>HW3</p> 	<p>Product: Hardware – Cabinet 96mm Pull Manufacturer: Amerock Collection: Allison Value Model: BP69153G10 Finish: Satin Nickel CTC: 3" Length: 4 1/16" Width: 7/16" Projection: 3/4"</p>	<p>Accessible Units – Cabinet Doors & Drawers Office – Cabinet Doors & Drawers</p>
<p>BL1</p>	<p>Product: Window Blinds Manufacturer: SWF contract - Addendum #01 Style: 2" Composite Color: TBD from color selection submittals</p>	

SECTION 09 90 05

Finish schedule **Addendum #02 – 8/31/17**

EXTERIOR FINISHES		
<p>P10</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7507 Stone Lion</p>	<p>Main Field Color - Siding</p>
<p>P11</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW6244 Naval</p>	<p>Accent Color - Siding</p>
<p>P12</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW6356 Copper Mountain</p>	<p>Accent Color - Siding</p>
<p>P13</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7074 Software</p>	<p>Accent Color - Siding</p>
<p>P14</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW6250 Granite Peak</p>	<p>Accent Color</p>
<p>P15</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7011 Natural Choice</p>	<p>Exterior Trim, Posts, Fascia & Soffits</p>
<p>P16</p> 	<p>Product: Paint Mfg: Sherwin Williams Color: SW7048 Urbane Bronze</p>	<p>Exterior Unit Entry Doors (exterior face only) Unit Entry Door Frames</p>
<p>BR1</p> 	<p>Product: Brick Mfg: Glen-Gery Brick Collection: Olde Tavern Series Color: Alpine</p> <p>Note: This brick selection is for design intent. Multiple color samples shall be submitted for final approval once brick supplier is selected.</p>	<p>Exterior Brick</p>



**Blumentals
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ELEVATION LEGEND

- Sxx EXTERIOR MATERIAL TAG
- Pxx SIDING TYPE - SEE BELOW
- PAINT COLOR - SEE FINISH SCHEDULE
- S1 SIDING TYPE 1 - LAP SIDING - SEE SPECIFICATIONS
- S2 SIDING TYPE 2 - BOARD & BATTEN SIDING - SEE SPECIFICATIONS
- S3 SIDING TYPE 3 - SHAKES - SEE SPECIFICATIONS
- X WINDOW TAG - SEE WINDOW TYPES
- Y DOOR TAG - SEE DOOR TYPES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA

08/17/17
sign date

NATHANIEL R. BARTLEY 54462
reg. no.

Nathaniel Bartley 6/30/2018
reg. exp. date

PROJECT INFO

Commission No. B/A: 615-19
Drawn By: SB
Issue Date 08/17/17

SUBMITTALS / REVISIONS

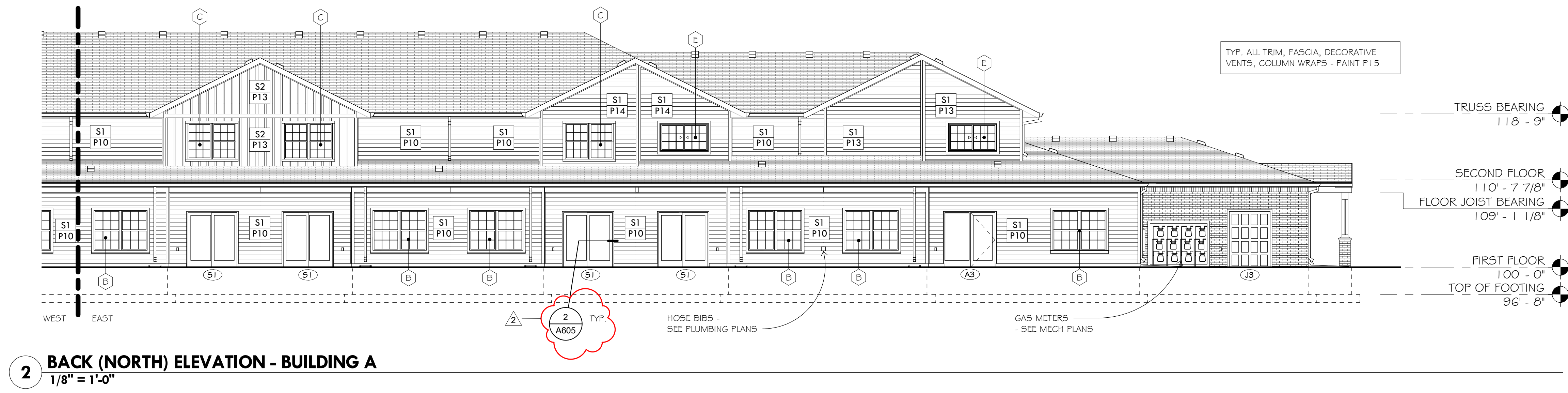
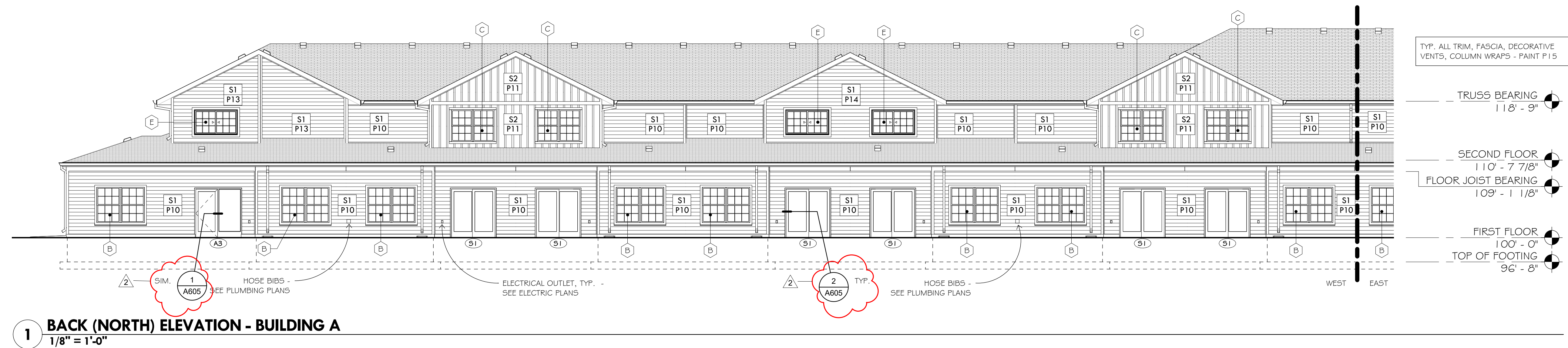
7.28.17	90% REVIEW
8.10.17	100% REVIEW
8.17.17	BID SET
2	8.31.17 ADDENDUM #2

SCALE
As indicated

Fox Pointe Townhomes

Three Rivers Community Action,
Austin, MN

EXTERIOR ELEVATIONS -
BUILDING A



A212



**Blumentals
Architecture**

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ELEVATION LEGEND

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- S3 SIDING TYPE 3 - SHAKES - SEE SPECIFICATIONS
- (X) WINDOW TAG - SEE WINDOW TYPES
- (X) DOOR TAG - SEE DOOR TYPES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA 08/17/17 sign date
NATHANIEL R. BARTLEY 54462 reg. no.

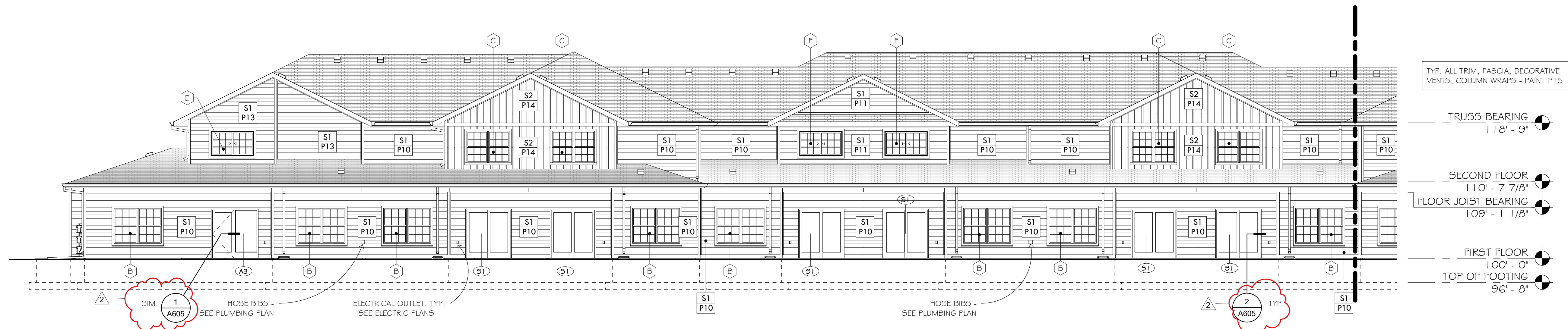
Nathaniel Bartley 6/30/2018 reg. exp. date

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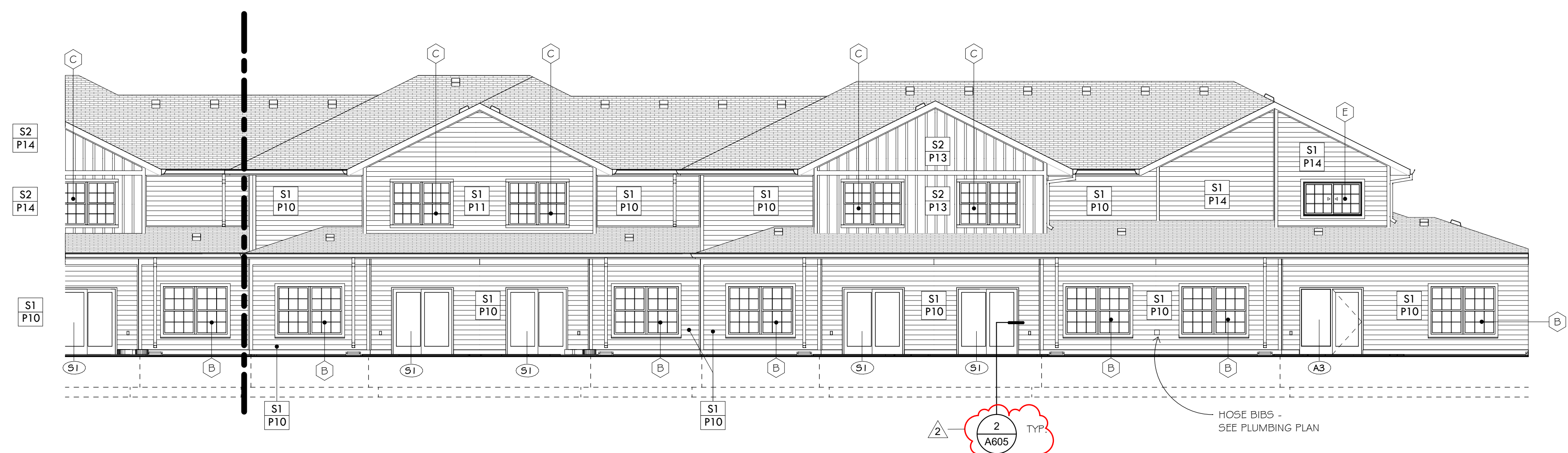
Commission No. B/A: 615-19
Drawn By: SB
Issue Date 08/17/17

SUBMITTALS / REVISIONS

7.28.17	90% REVIEW
8.10.17	100% REVIEW
8.17.17	BID SET
2	8.31.17 ADDENDUM #2



2 BACK (NORTH) ELEVATION - BUILDING B - EAST
1/8" = 1'-0"



1 BACK (NORTH) ELEVATION - BUILDING B - WEST
1/8" = 1'-0"

SCALE As indicated

Fox Pointe Townhomes

Tree Rivers Community Action, Austin, MN

EXTERIOR ELEVATIONS - BUILDING B

A222

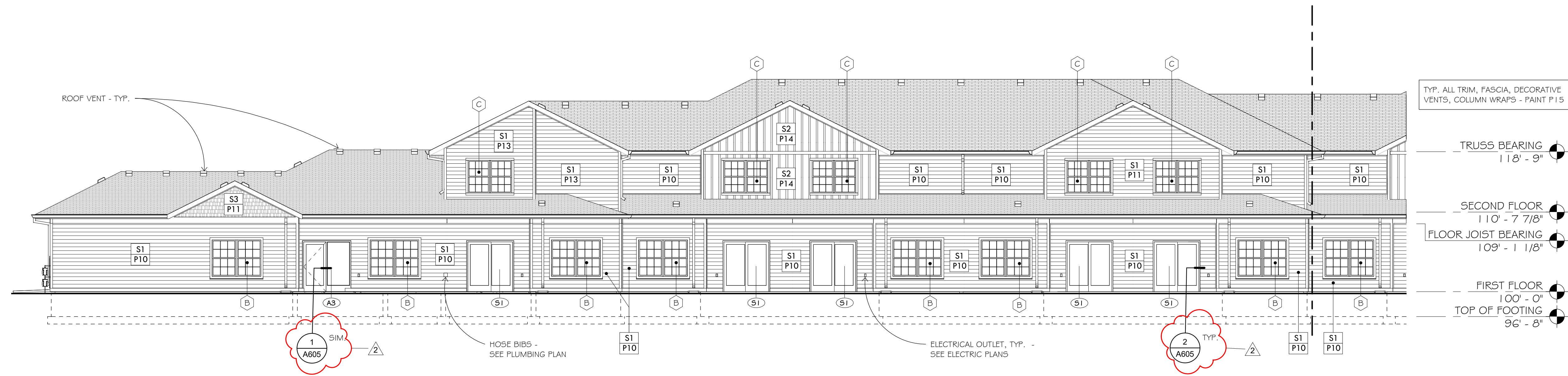


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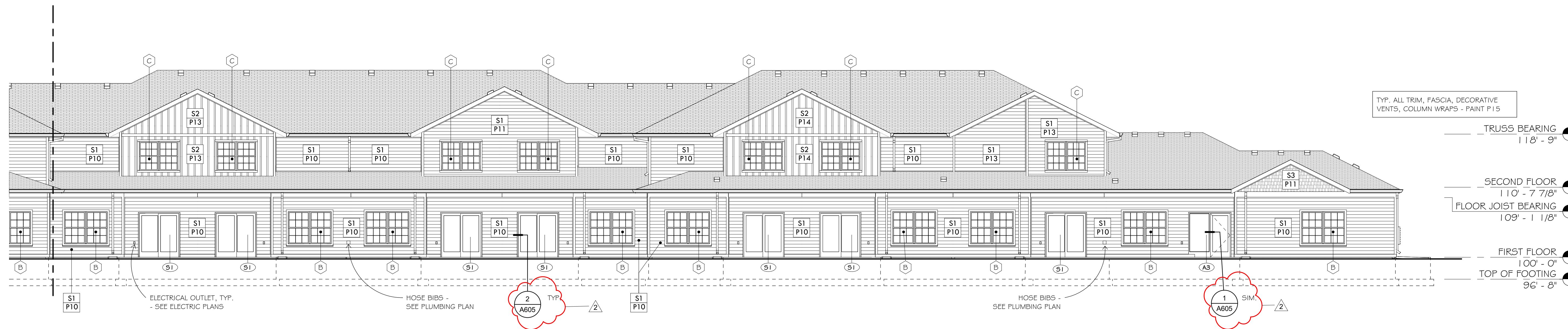
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- PAINT COLOR - SEE FINISH SCHEDULE
- S1 SIDING TYPE 1 - LAP SIDING - SEE SPECIFICATIONS
- S2 SIDING TYPE 2 - BOARD & BATTEN SIDING - SEE SPECIFICATIONS
- S3 SIDING TYPE 3 - SHAKES - SEE SPECIFICATIONS
- X WINDOW TAG - SEE WINDOW TYPES
- O DOOR TAG - SEE DOOR TYPES



1 BACK (SOUTH) ELEVATION - BUILDING C - WEST
1/8" = 1'-0"

- TYP. ALL TRIM, FASCIA, DECORATIVE VENTS, COLUMN WRAPS - PAINT P 15
- TRUSS BEARING 118' - 9"
- SECOND FLOOR 110' - 7 7/8"
- FLOOR JOIST BEARING 109' - 1 1/8"
- FIRST FLOOR 100' - 0"
- TOP OF FOOTING 96' - 8"



2 BACK (SOUTH) ELEVATION - BUILDING C - EAST
1/8" = 1'-0"

- TYP. ALL TRIM, FASCIA, DECORATIVE VENTS, COLUMN WRAPS - PAINT P 15
- TRUSS BEARING 118' - 9"
- SECOND FLOOR 110' - 7 7/8"
- FLOOR JOIST BEARING 109' - 1 1/8"
- FIRST FLOOR 100' - 0"
- TOP OF FOOTING 96' - 8"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA 08/17/17 sign date 54462 reg. no. NATHANIEL R. BARTLEY 6/30/2018 reg. exp. date

PROJECT INFO
Commission No. B/A: 615-19
Drawn By: SB
Issue Date 08/17/17

SUBMITTALS / REVISIONS

7.28.17	90% REVIEW
8.10.17	100% REVIEW
8.17.17	BID SET
2 8.31.17	ADDENDUM #2

SCALE As indicated

Fox Pointe Townhomes

Three Rivers Community Action, Austin, MN

EXTERIOR ELEVATIONS - BUILDING C

A232



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Architecture**

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info@blumentals.com

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MINNESOTA 08/17/17
sign. date
NATHANIEL R. BARTLEY 54462
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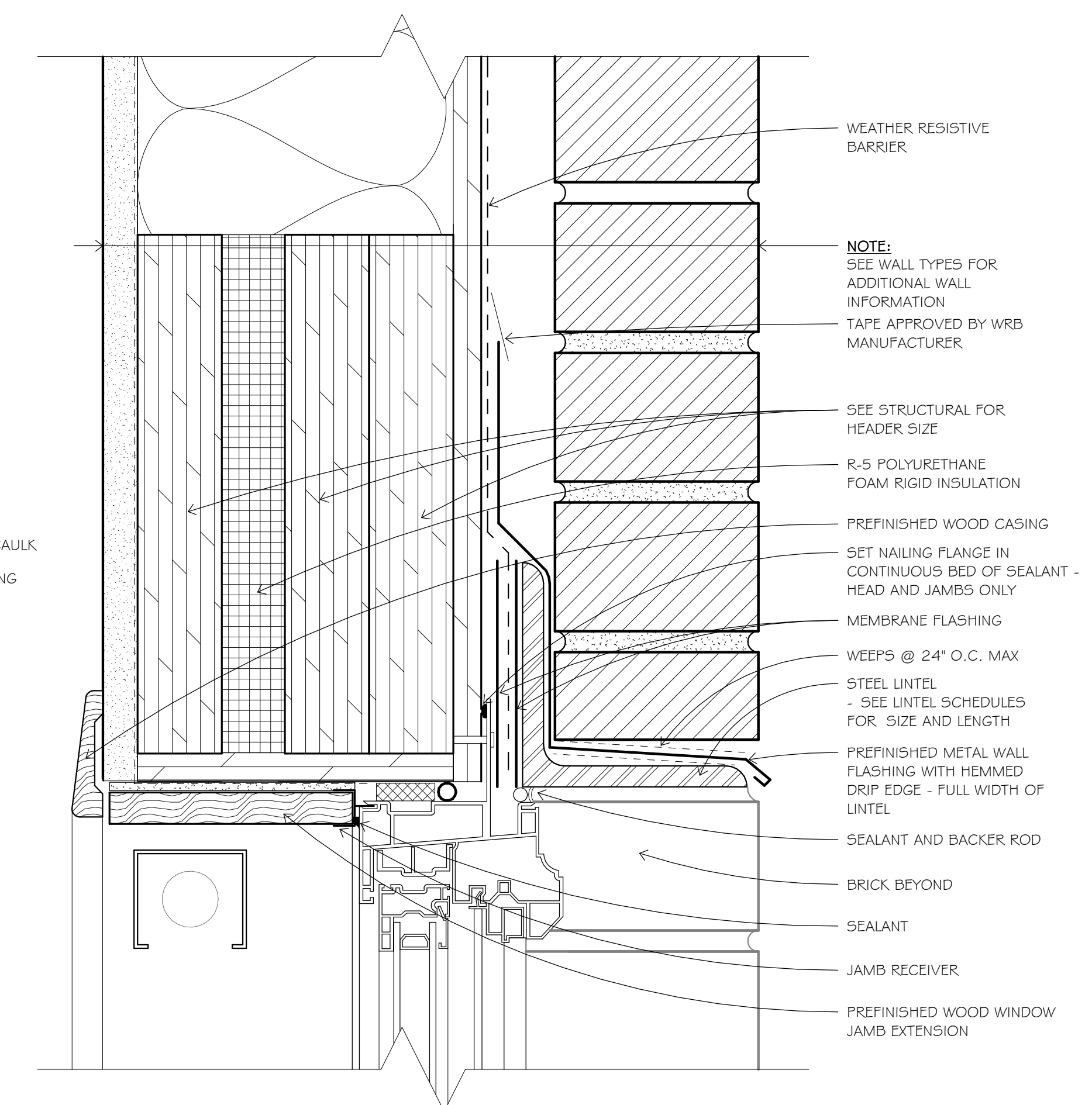
SCALE
As indicated

Fox Pointe Townhomes

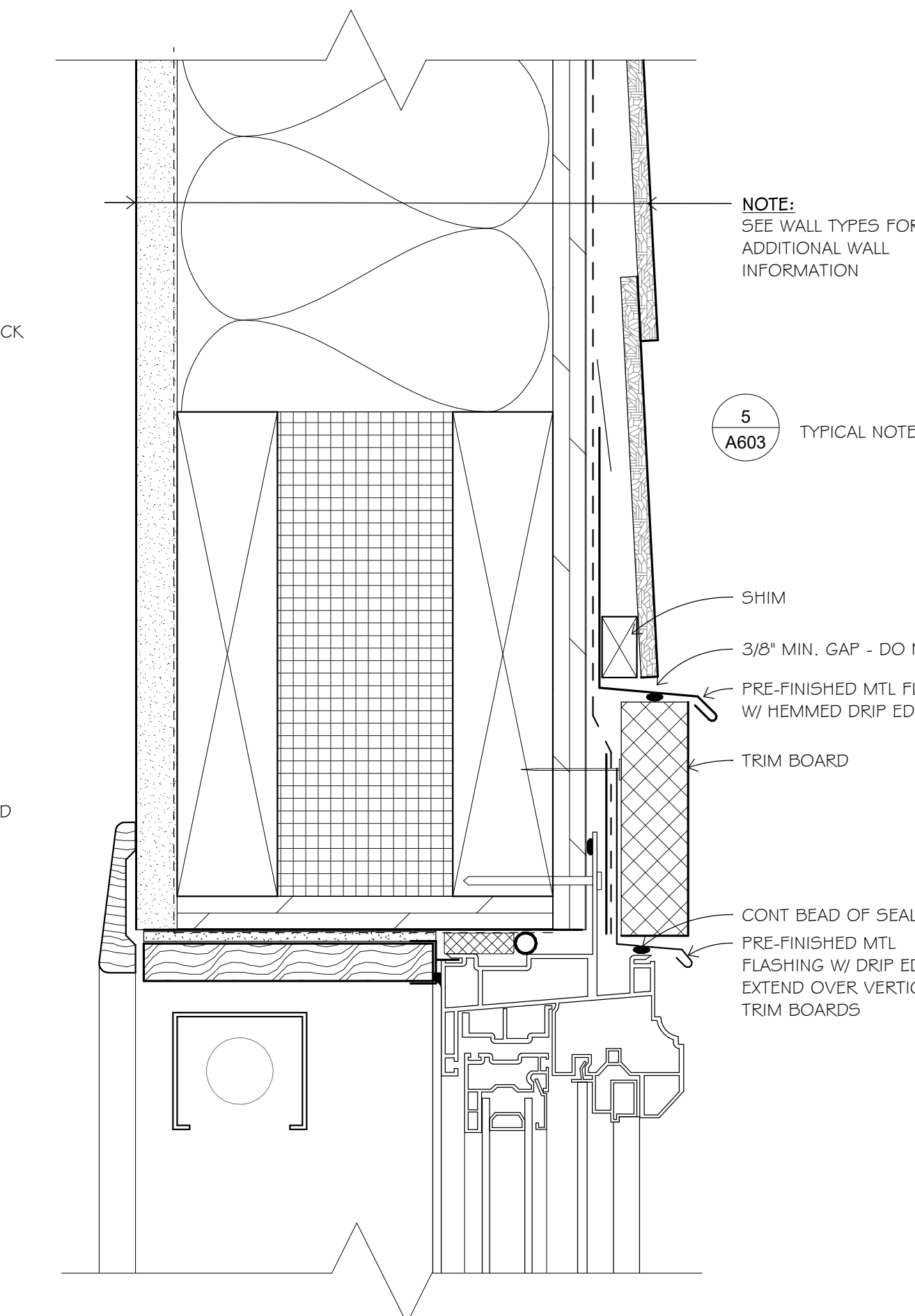
Three Rivers Community Action,
Austin, MN

EXTERIOR DETAILS -
OPENINGS

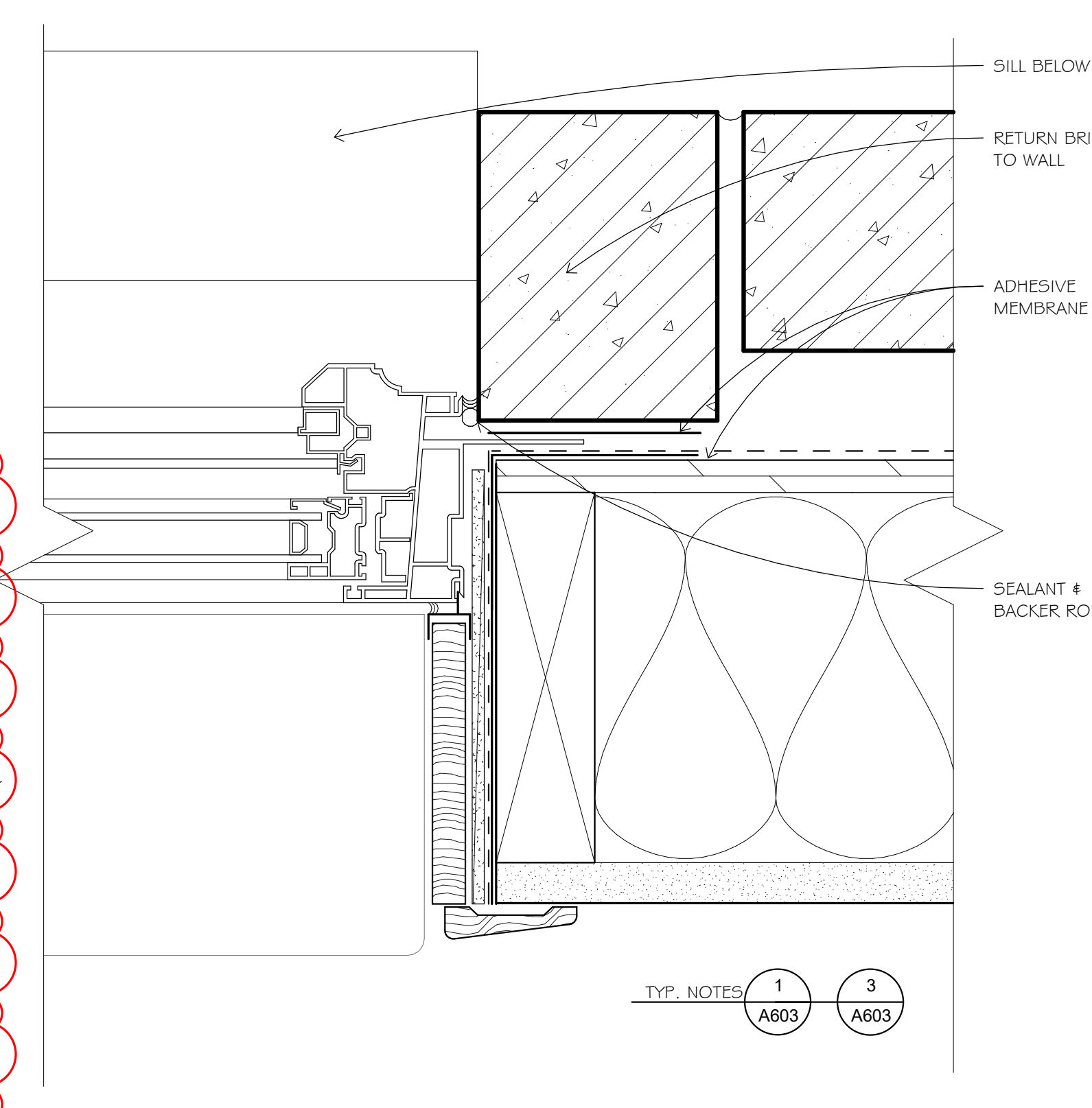
A603



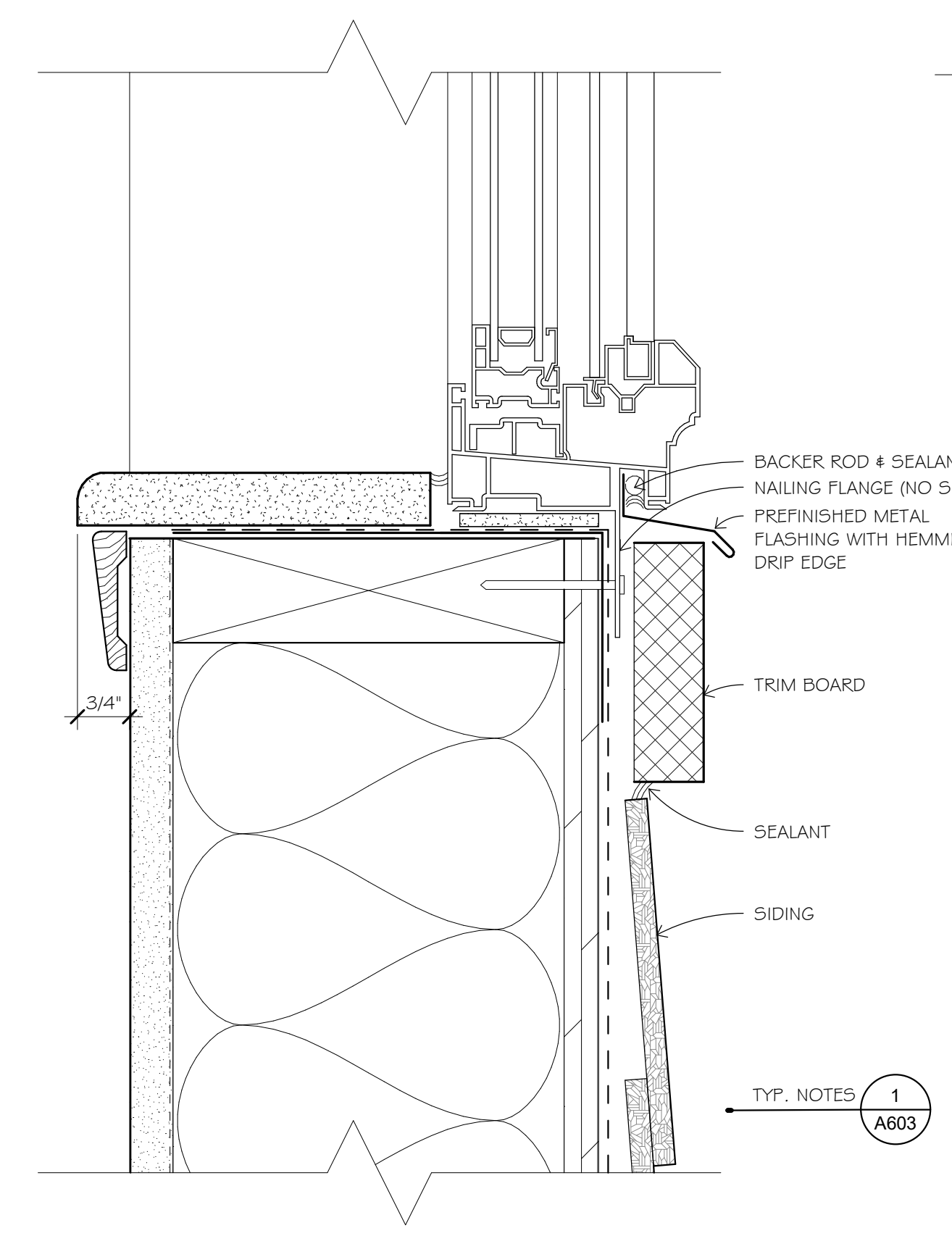
5 WINDOW HEAD DETAIL AT BRICK
6" = 1'-0"



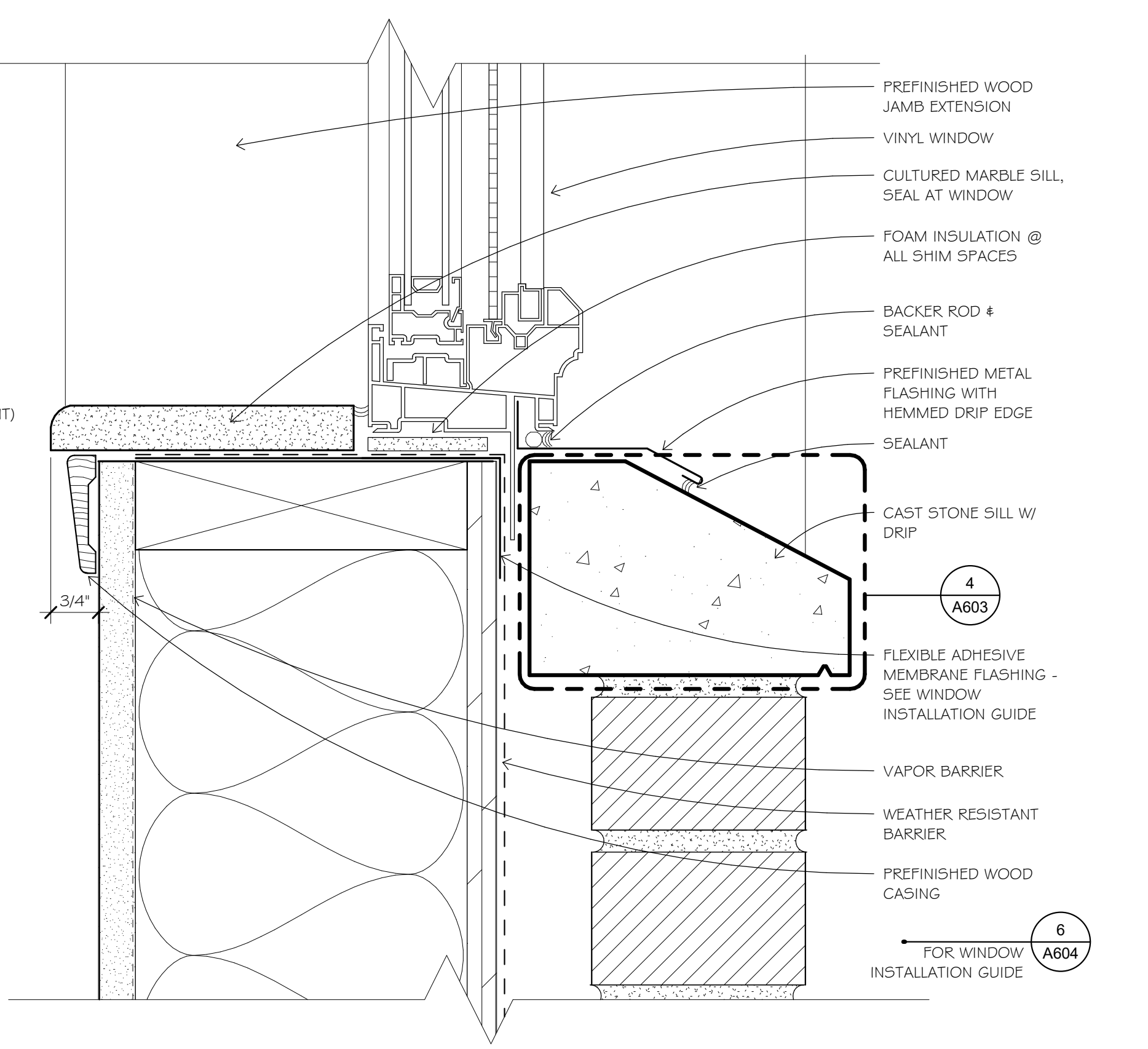
6 WINDOW HEAD DETAIL AT SIDING
6" = 1'-0"



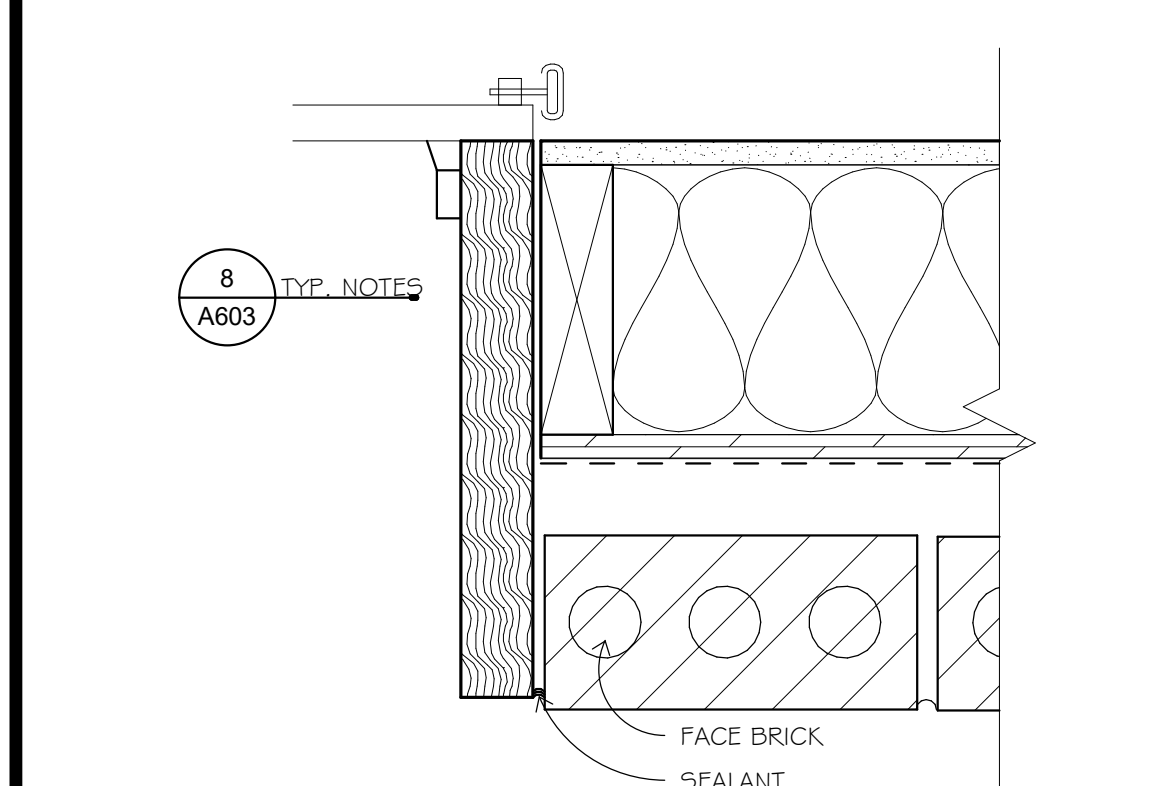
7 WINDOW JAMB DETAIL AT BRICK
6" = 1'-0"



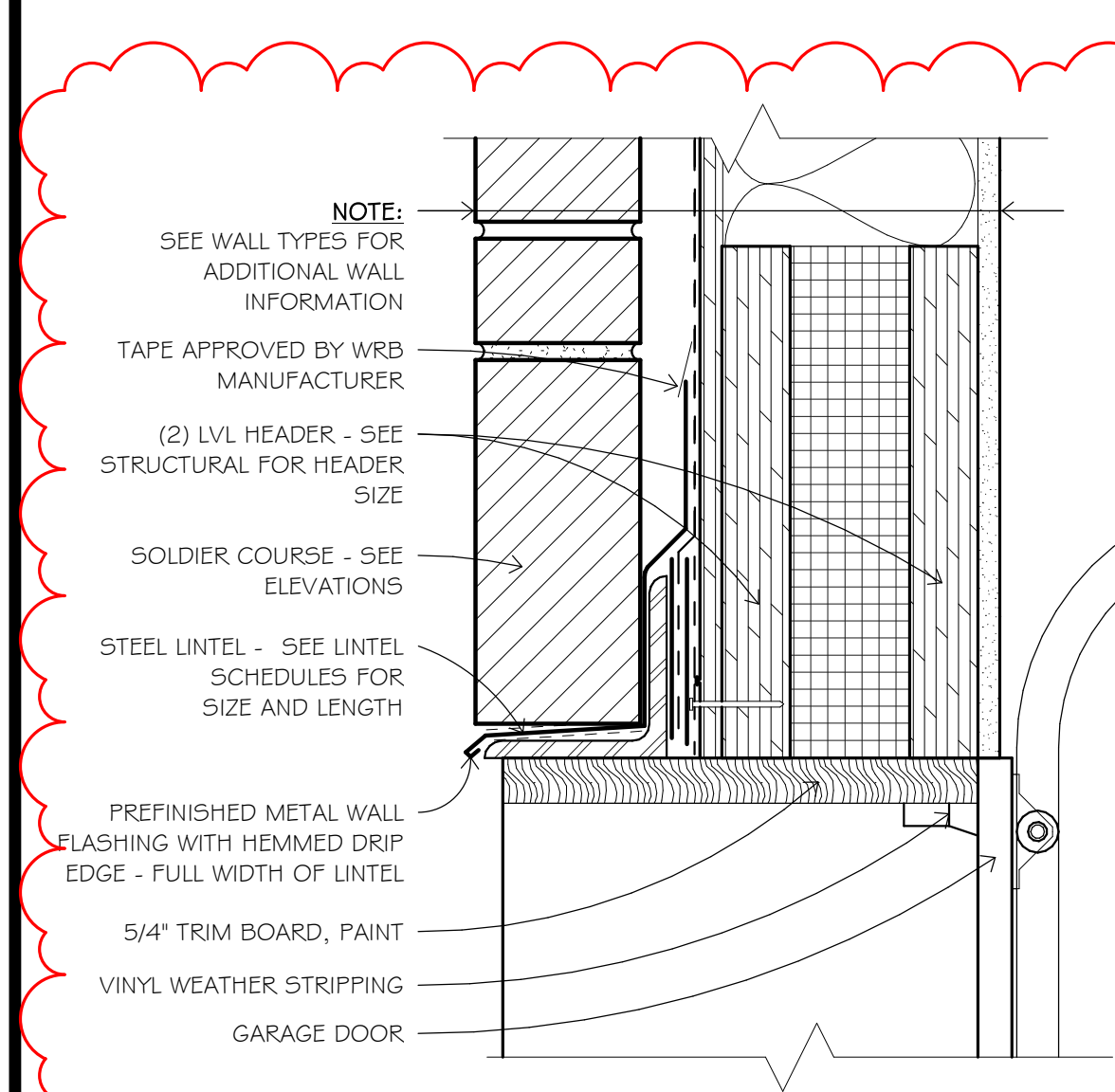
2 WINDOW SILL DETAIL AT SIDING
6" = 1'-0"



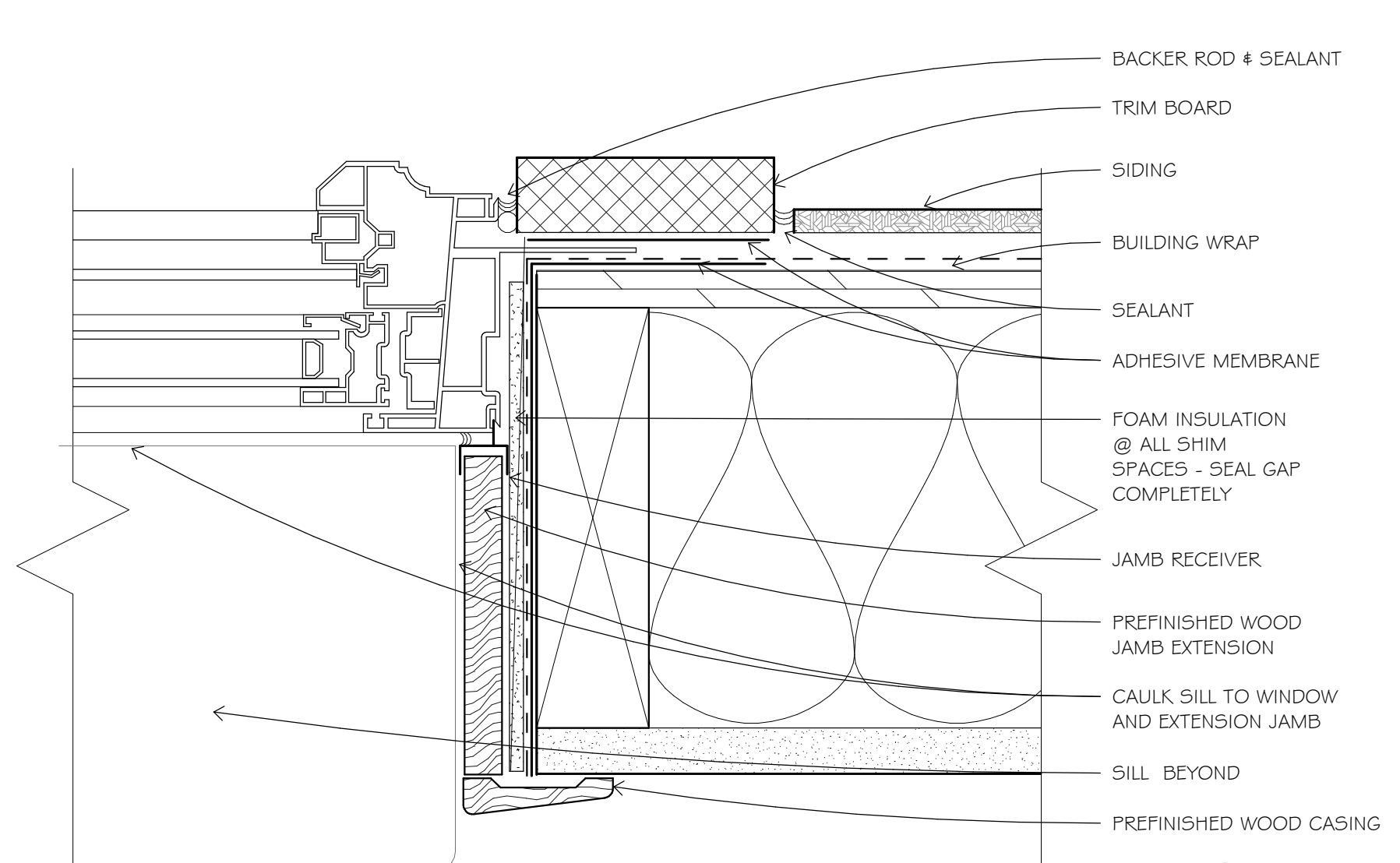
1 WINDOW SILL DETAIL AT BRICK
6" = 1'-0"



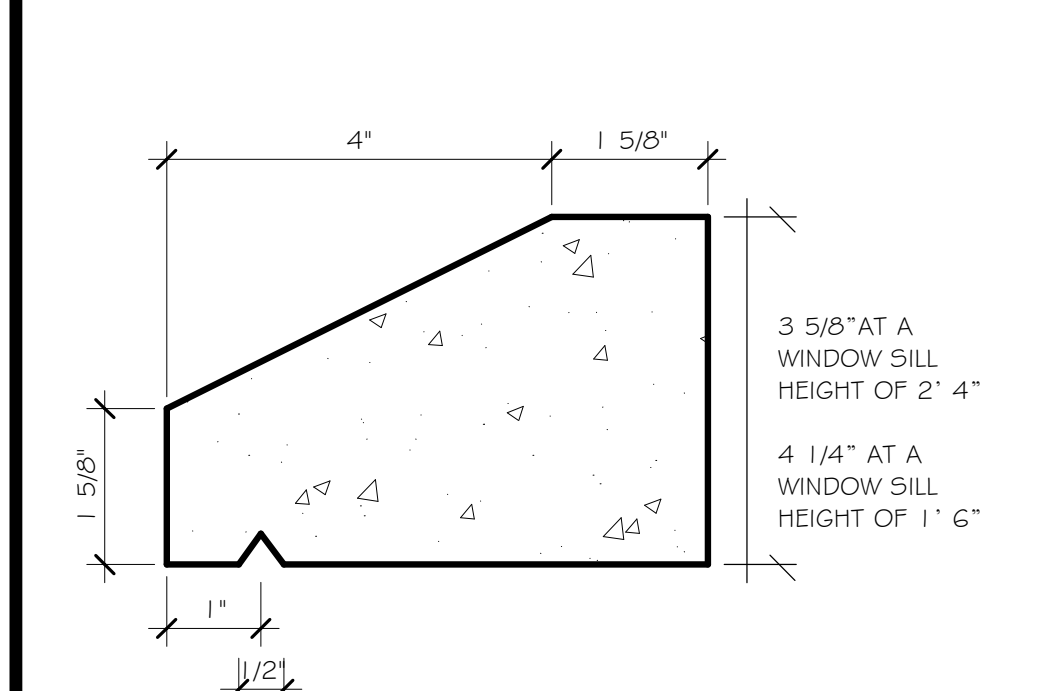
9 GARAGE DOOR JAMB AT BRICK
3" = 1'-0"



8 GARAGE DOOR HEAD AT BRICK
3" = 1'-0"



3 WINDOW JAMB DETAIL AT SIDING
6" = 1'-0"

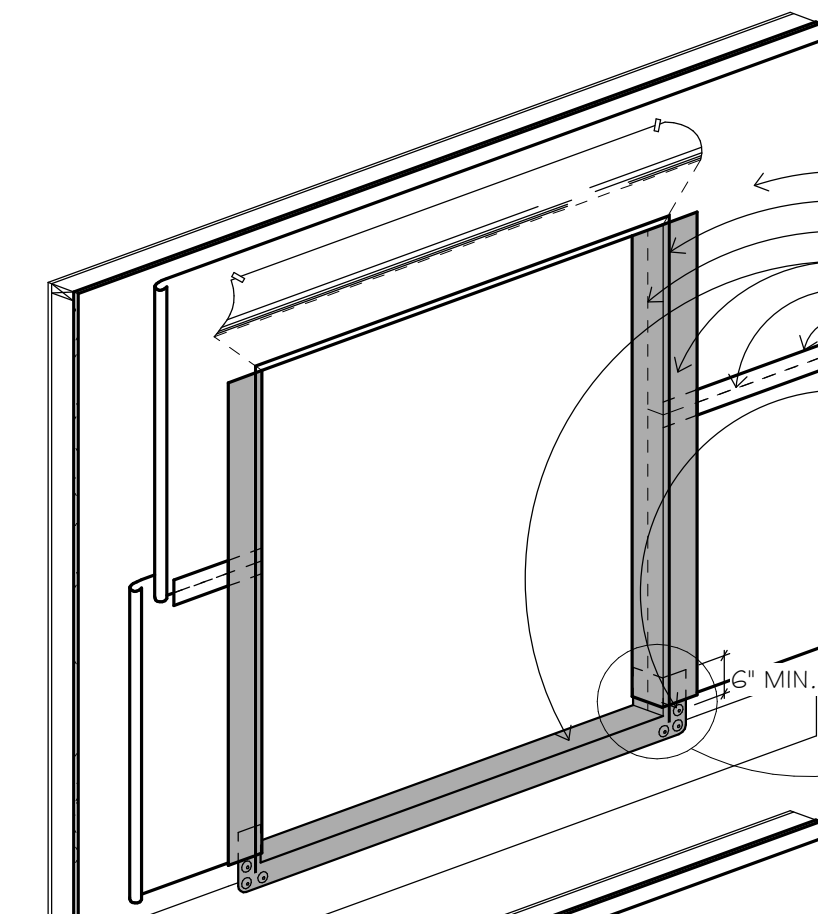


4 SILL DETAIL
6" = 1'-0"

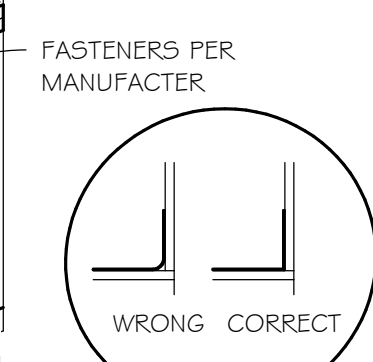
A603

STEP 1

- CUT A PIECE OF ADHESIVE BACKED FLEXIBLE FLASHING MEMBRANE 12" LONGER THAN THE DOOR OPENING (NOTE: USE 7" WIDE MEMBRANE FOR 2'X4" CONSTRUCTION; USE 9" WIDE MEMBRANE FOR 2'X6" CONSTRUCTION)
- PEEL BACKING OFF MEMBRANE AND INSTALL ON SILL, CAREFUL TO NOT STRETCH MEMBRANE DURING INSTALLATION. MEMBRANE SHOULD BE FLUSH WITH INSIDE EDGE OF FRAMING. CONTINUE MEMBRANE UP A MINIMUM OF 6" ON BOTH JAMBS.
- INSTALL MEMBRANE FLASHING VERTICALLY OVER JAMB FRAMING OVERLAPPING BUILDING WRAP AND VERTICAL LEGS OF SILL FLASHING
- APPLY A CONTINUOUS BEAD OF ELASTOMERIC SEALANT AT TOP AND SIDES OF DOOR OPENING IMMEDIATELY PRIOR TO INSTALLATION OF DOOR. DO NOT APPLY SEALANT TO SILL.



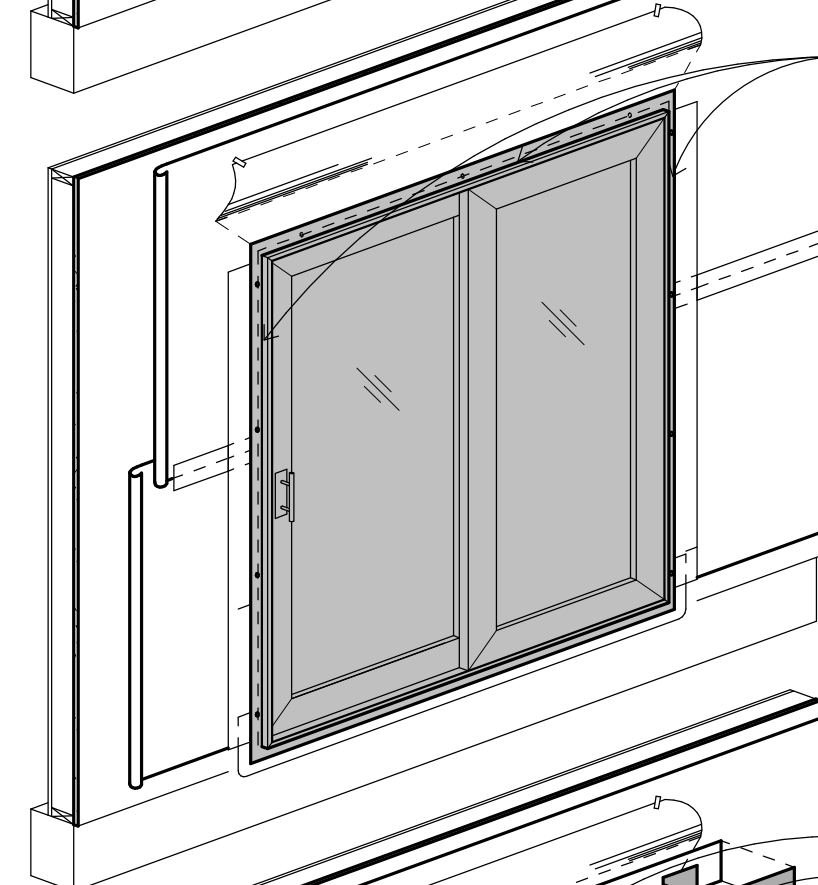
BUILDING WRAP
CONTINUOUS BEAD OF SEALANT
BUILDING WRAP UNDERNEATH FLASHING
FLEXIBLE FLASHING
BUILDING WRAP
TAPE ALL SEAMS, TYP.



FASTENERS PER MANUFACTURER
6" MIN.

STEP 2

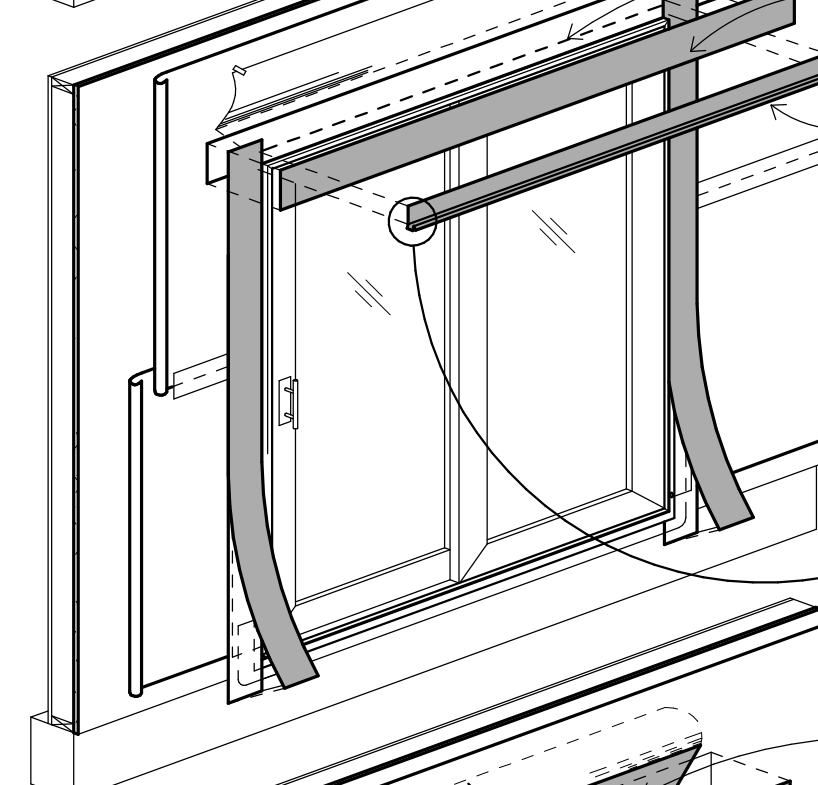
- INSTALL DOOR PER MANUFACTURER'S RECOMMENDATIONS.



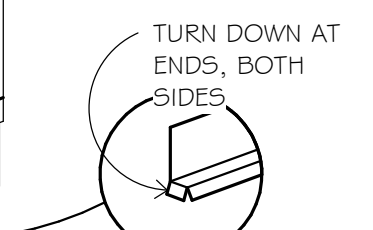
SET FLANGES IN SEALANT AT HEAD AND JAMBS ONLY. OMIT SEALANT AT SILL TO ALLOW MOISTURE TO WEEP.

STEP 3

- INSTALL VERTICAL STRIPS OF ADHESIVE MEMBRANE OVER THE BUILDING WRAP AND NAILING FLANGES TO THE DOOR JAMB. MEMBRANE SHOULD EXTEND PAST THE VERTICAL FLASHING AT THE HEAD AND SILL AND COVER THE JAMB FLASHING PREVIOUSLY INSTALLED IN STEP 1.
- INSTALL A CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE. FLASHING SHALL EXTEND OVER THE ENDS OF JAMB TRIM AND SHALL BE BENT TO CREATE DRIP EDGES AT ENDS.

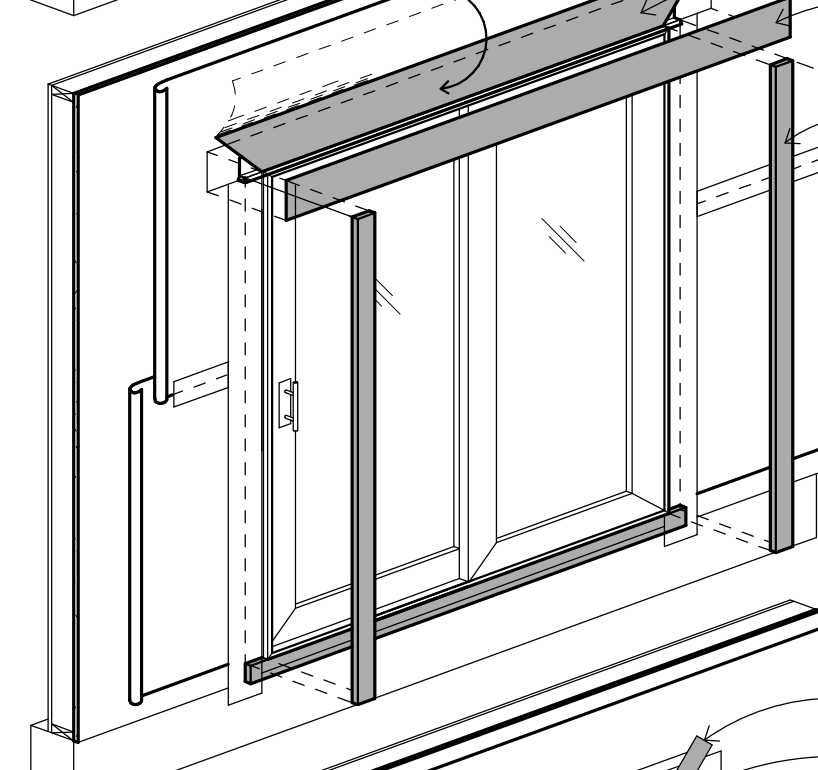


DOOR FLANGE BELOW MEMBRANE FLASHING, TYP.
METAL FLASHING



STEP 4

- FLIP DOWN UPPER FLAP OF BUILDING WRAP SO IT LAYS FLAT ACROSS HEAD FLASHING.
- INSTALL ANOTHER PIECE OF CONTINUOUS ADHESIVE MEMBRANE OVER FLAP. MEMBRANE SHALL EXTEND BEYOND END CUTS IN BOTH SIDES OF BUILDING WRAP. COMPLETELY CONCEAL ALL OTHER CUTS IN BUILDING WRAP WITH TAPE.
- INSTALL DECORATIVE TRIM BOARDS, AS OCCUR, AT THE DOOR JAMBS (SEE ELEVATIONS AND DETAILS FOR LOCATIONS).

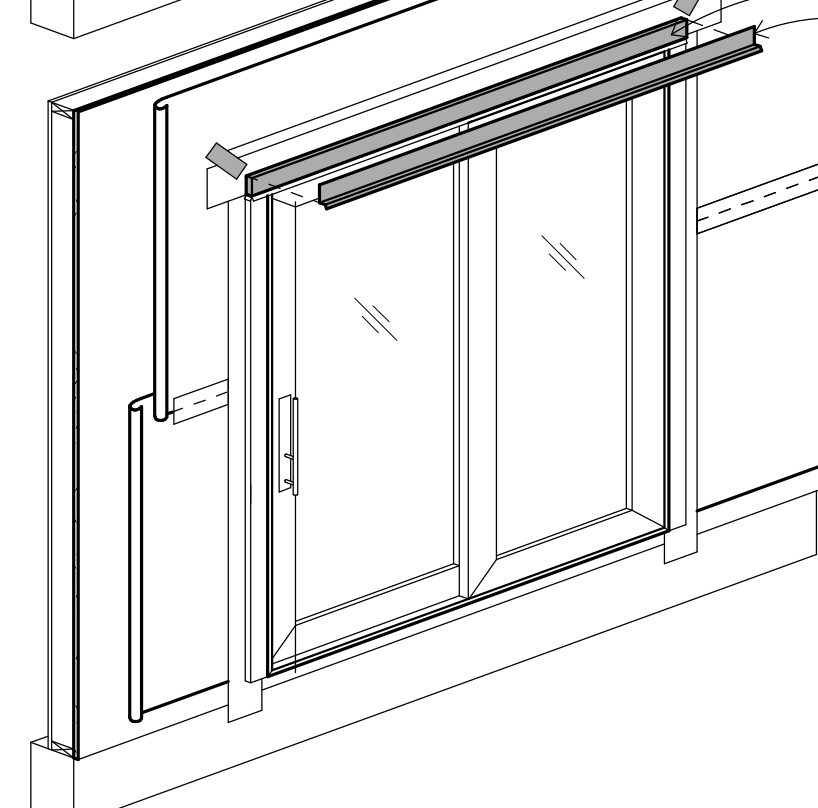


BUILDING WRAP
MEMBRANE FLASHING
TRIM

TAPE ALL CUTS IN BUILDING WRAP TRIM
METAL FLASHING

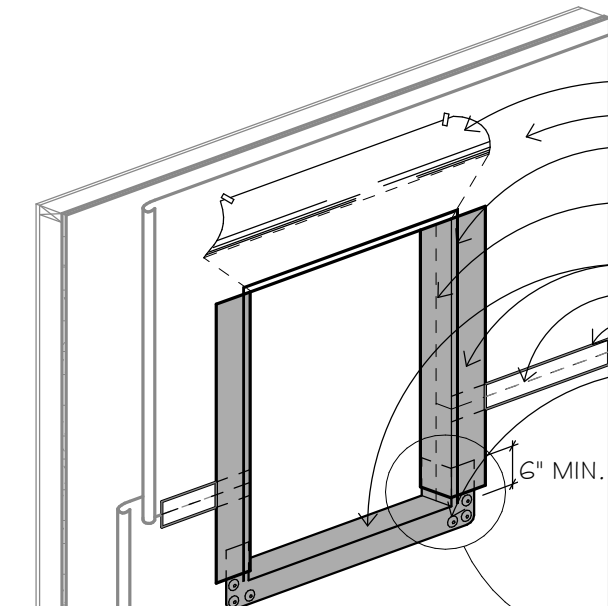
STEP 5

- AFTER HEAD TRIM HAS BEEN INSTALLED, INSTALL AN ADDITIONAL PIECE OF CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE OVER ENTIRE LENGTH OF TRIM BEFORE INSTALLING FINAL BUILDING MATERIAL (I.E. SIDING, ETC.) NAIL AT TOP EDGE AND TAPE TO BUILDING WRAP WITH BUILDING WRAP TAPE.

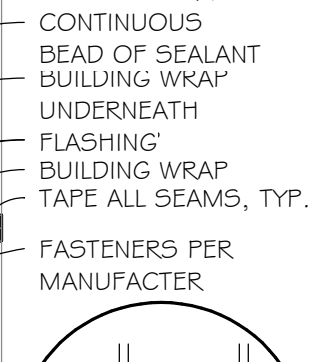


STEP 1

- CUT A PIECE OF ADHESIVE BACKED FLEXWRAP MEMBRANE 12" LONGER THAN THE WINDOW OPENING (NOTE: USE 7" WIDE MEMBRANE FOR 2'X4" CONSTRUCTION; USE 9" WIDE MEMBRANE FOR 2'X6" CONSTRUCTION)
- PEEL BACKING OFF MEMBRANE AND INSTALL ON SILL, CAREFUL TO NOT STRETCH MEMBRANE DURING INSTALLATION. MEMBRANE SHOULD BE FLUSH WITH INSIDE EDGE OF FRAMING. CONTINUE MEMBRANE UP A MINIMUM OF 6" ON BOTH JAMBS.
- INSTALL MEMBRANE FLASHING VERTICALLY OVER JAMB FRAMING OVERLAPPING BUILDING WRAP AND VERTICAL LEGS OF SILL FLASHING.
- APPLY A CONTINUOUS BEAD OF ELASTOMERIC SEALANT AT TOP AND SIDES OF WINDOW OPENING IMMEDIATELY PRIOR TO INSTALLATION OF WINDOW. DO NOT APPLY SEALANT TO SILL.



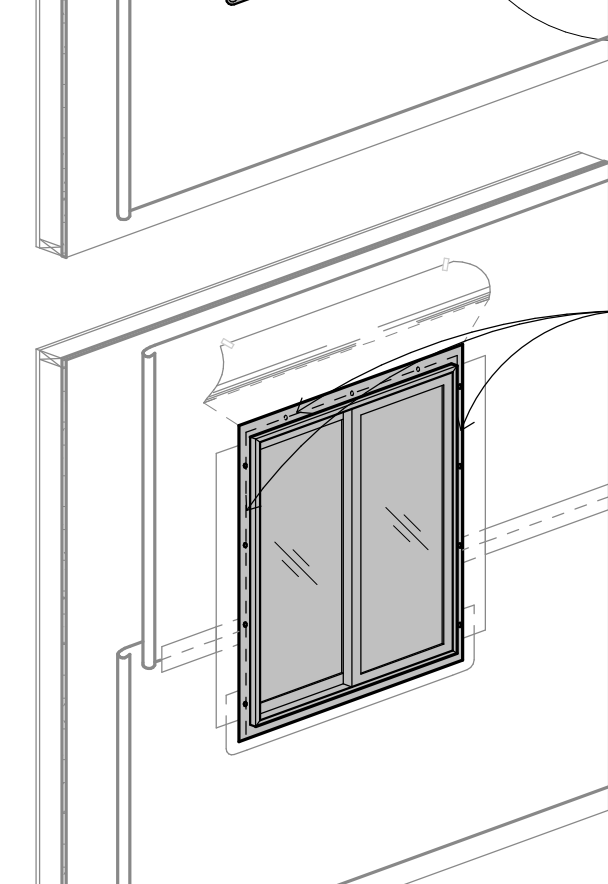
DONT CUT @ A/C COVER
BUILDING WRAP
CONTINUOUS BEAD OF SEALANT
BUILDING WRAP UNDERNEATH FLASHING
BUILDING WRAP
TAPE ALL SEAMS, TYP.



FASTENERS PER MANUFACTURER
6" MIN.

STEP 2

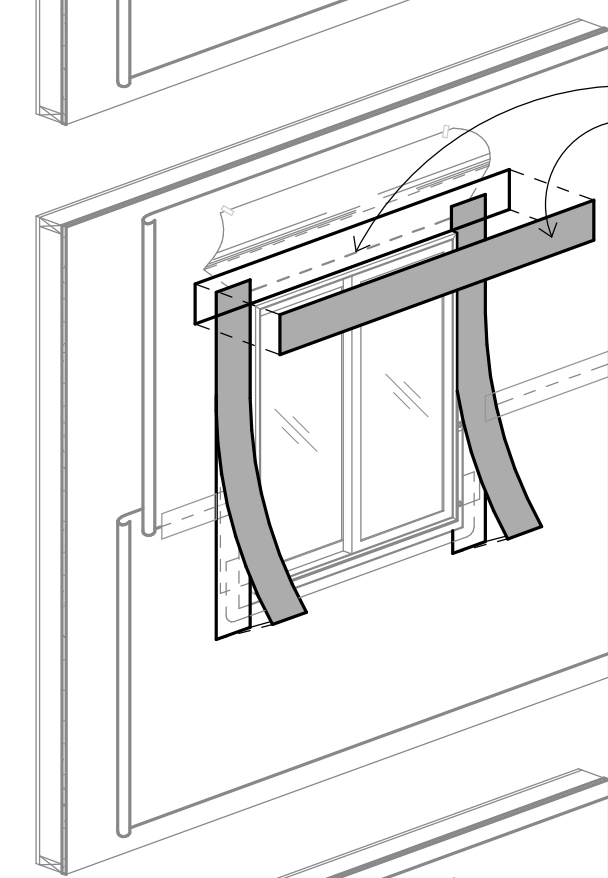
- INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATIONS.



WINDOW SET IN SEALANT AT HEAD AND JAMBS ONLY. OMIT SEALANT AT SILL TO ALLOW MOISTURE TO WEEP. -A/C COVER SIMILAR

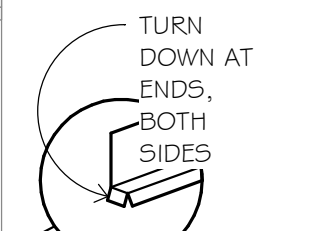
STEP 3

- INSTALL VERTICAL STRIPS OF ADHESIVE MEMBRANE OVER THE BUILDING WRAP AND NAILING FLANGES TO FOLD UP AND ONTO THE WINDOW JAMB. MEMBRANE SHOULD EXTEND PAST THE NAILING FLANGES AT THE HEAD AND SILL AND COVER THE JAMB FLASHING PREVIOUSLY INSTALLED IN STEP 1.
- INSTALL ANOTHER LAYER OF MEMBRANE FLASHING HORIZONTALLY OVER THE BACK FLANGE OF THE DRIP CAP. MEMBRANE FLASHING AT THE HEAD SHOULD EXTEND AND COVER THE MEMBRANE PREVIOUSLY INSTALLED AT THE JAMBS.
- IF THE DRIP CAP IS INTEGRAL TO THE WINDOW UNIT, APPLY THE MEMBRANE FLASHING OVER THE HEAD SIMILAR TO WHAT HAS BEEN DESCRIBED ABOVE.



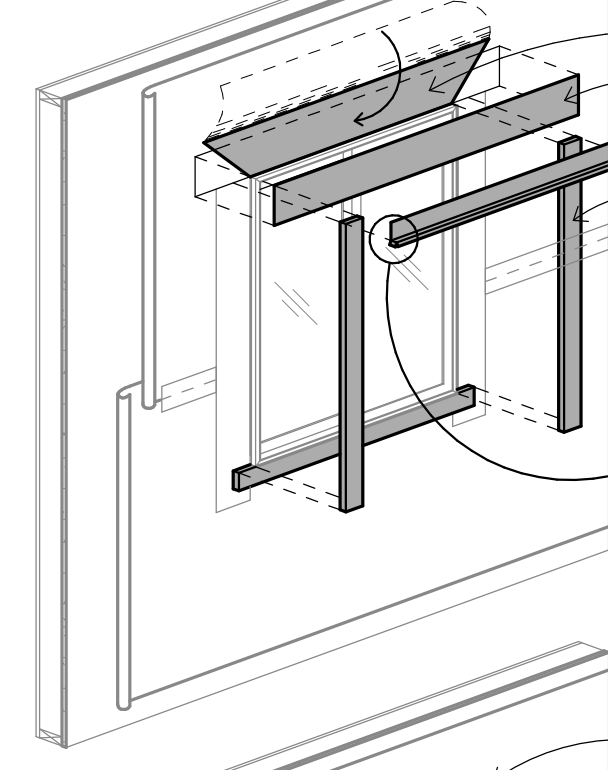
WINDOW FLANGE BELOW MEMBRANE FLASHING, TYP.

BUILDING WRAP
MEMBRANE FLASHING
METAL FLASHING
TRIM



STEP 4

- FLIP DOWN UPPER FLAP OF BUILDING WRAP SO IT LAYS FLAT ACROSS HEAD FLASHING.
- INSTALL ANOTHER PIECE OF CONTINUOUS ADHESIVE MEMBRANE OVER FLAP. MEMBRANE SHALL EXTEND BEYOND END CUTS IN BOTH SIDES OF BUILDING WRAP. COMPLETELY CONCEAL ALL OTHER CUTS IN BUILDING WRAP WITH TAPE.
- INSTALL DECORATIVE TRIM BOARDS AS OCCUR (SEE ELEVATIONS AND DETAILS FOR LOCATIONS) BEGINNING AT THE SILL OF THE WINDOW, FOLLOWED BY THE JAMBS.
- PRIOR TO INSTALLING THE TRIM AT THE WINDOW HEAD, INSTALL A CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE. FLASHING SHALL EXTEND OVER THE ENDS OF JAMB TRIM AND SHALL BE BENT TO CREATE DRIP EDGES AT ENDS.

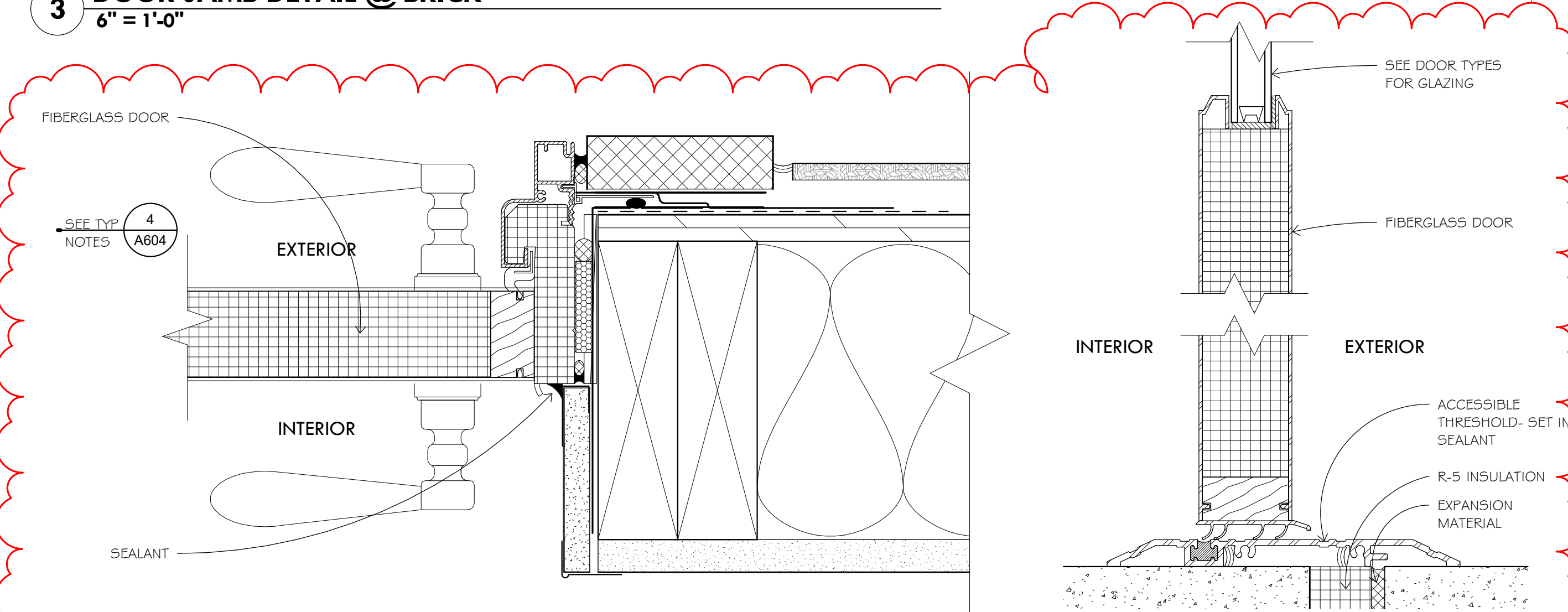
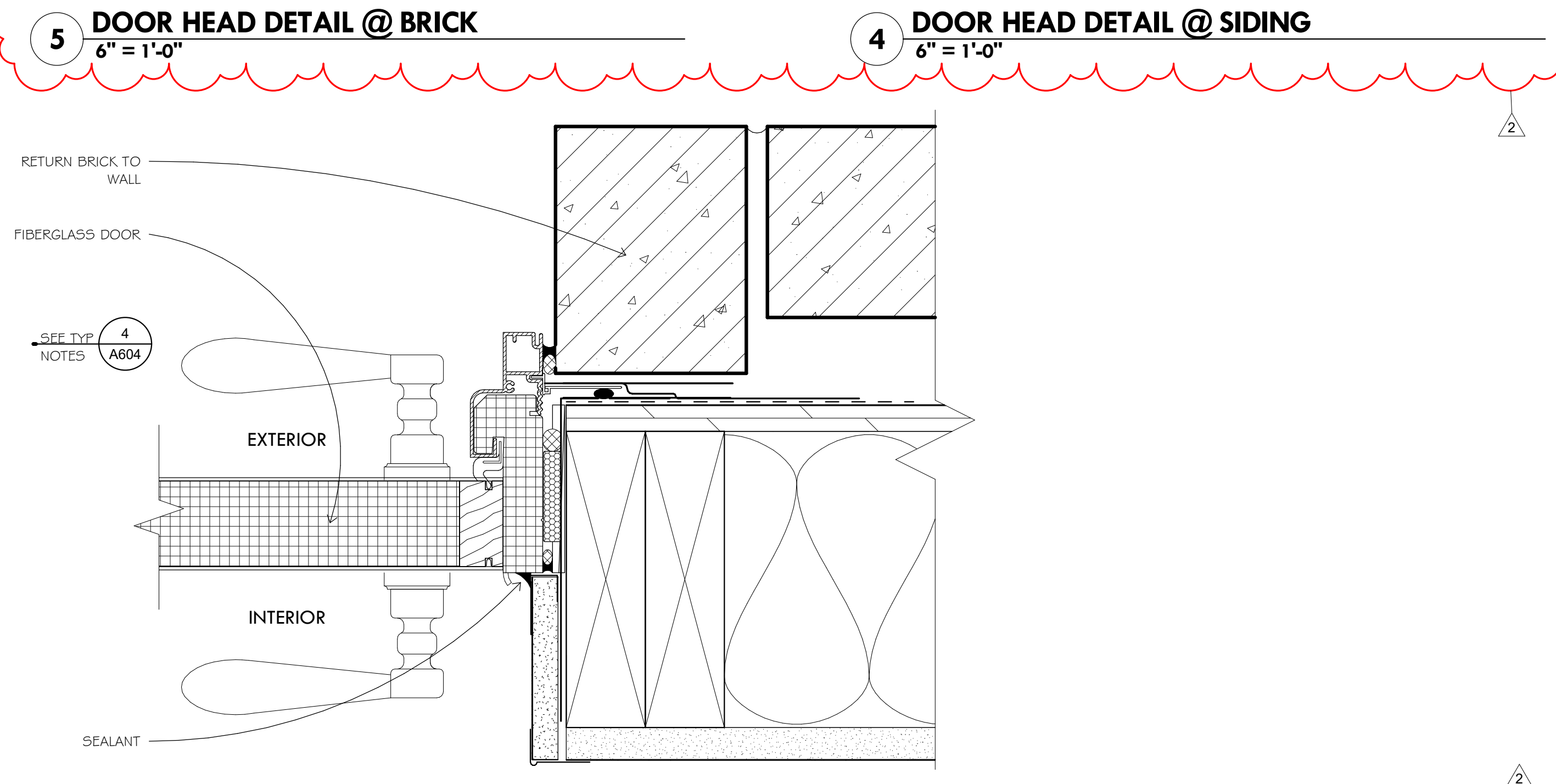
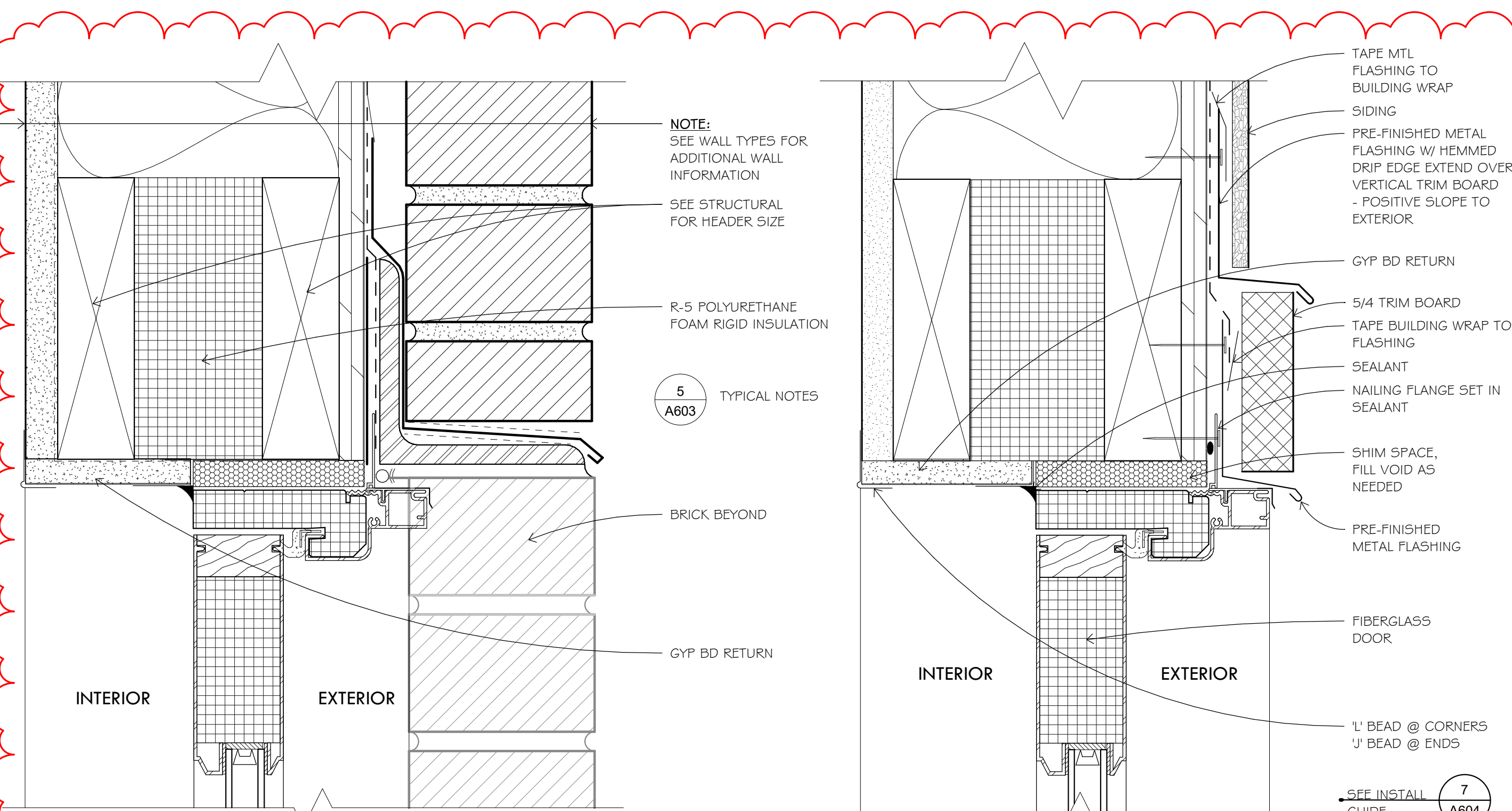
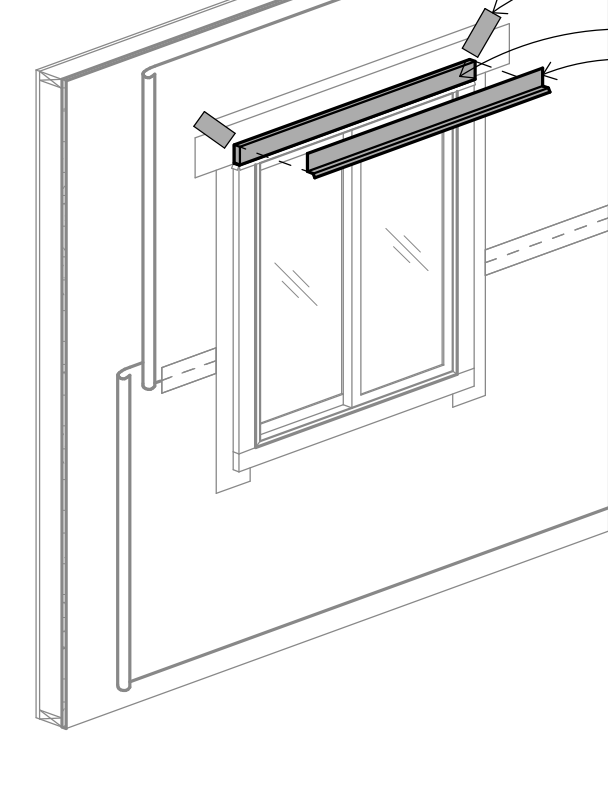


BUILDING WRAP
MEMBRANE FLASHING
METAL FLASHING
TRIM

TAPE ALL CUTS IN BUILDING WRAP TRIM
METAL FLASHING

STEP 5

- AFTER HEAD TRIM HAS BEEN INSTALLED, INSTALL AN ADDITIONAL PIECE OF CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE OVER ENTIRE LENGTH OF TRIM BEFORE INSTALLING FINAL BUILDING MATERIAL (I.E. SIDING, ETC.) NAIL AT TOP EDGE AND TAPE TO BUILDING WRAP WITH BUILDING WRAP TAPE.



7 ENTRY DOOR / PATIO DOOR INSTALLATION GUIDE
3/8" = 1'-0"

6 WINDOW INSTALLATION - STEP BY STEP
3/8" = 1'-0"

2 DOOR JAMB DETAIL @ SIDING
6" = 1'-0"

1 SILL DETAIL @ ENTRY DOOR
6" = 1'-0"



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NATHANIEL R. BARTLEY 54462
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PROJECT INFO
Commission No.
B/A: 615-19
Drawn By:
SB
Issue Date
08/17/17

SUBMITTALS / REVISIONS

7.28.17	90% REVIEW
8.10.17	100% REVIEW
8.17.17	BID SET
2	8.31.17 ADDENDUM #2

SCALE
As indicated

Fox Pointe Townhomes

Three Rivers Community Action,
Austin, MN

EXTERIOR DETAILS -
OPENINGS

A604



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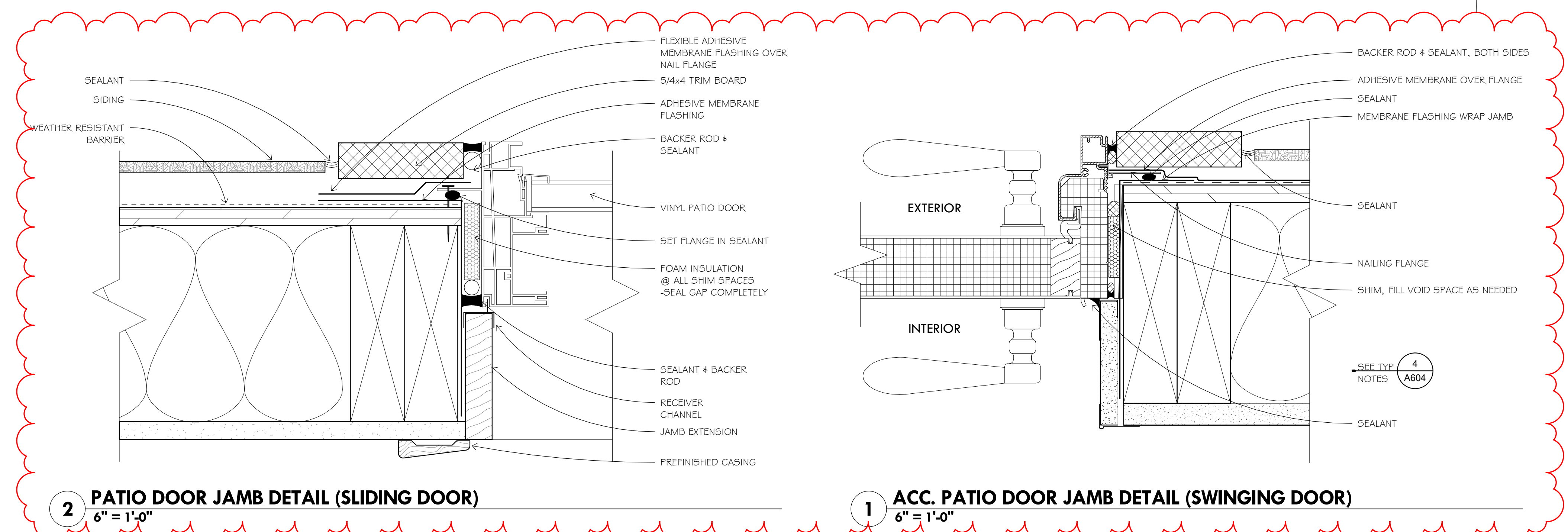
SCALE
6" = 1'-0"

Fox Pointe Townhomes

Three Rivers Community Action,
Austin, MN

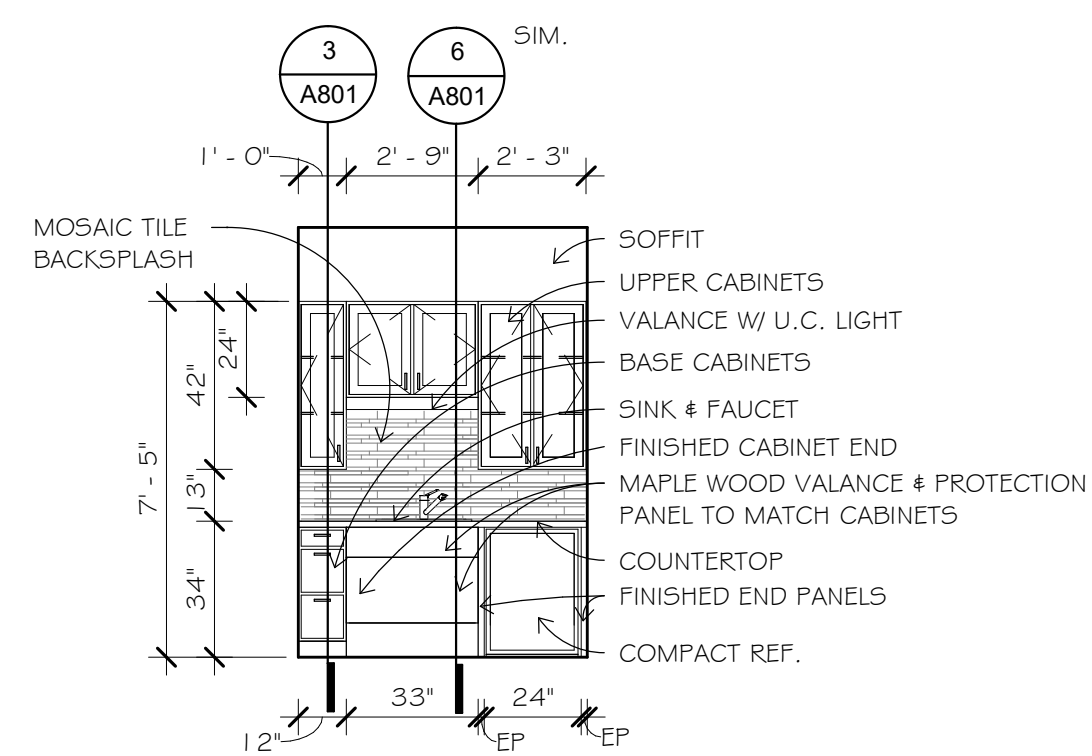
EXTERIOR DETAILS -
OPENINGS

A605

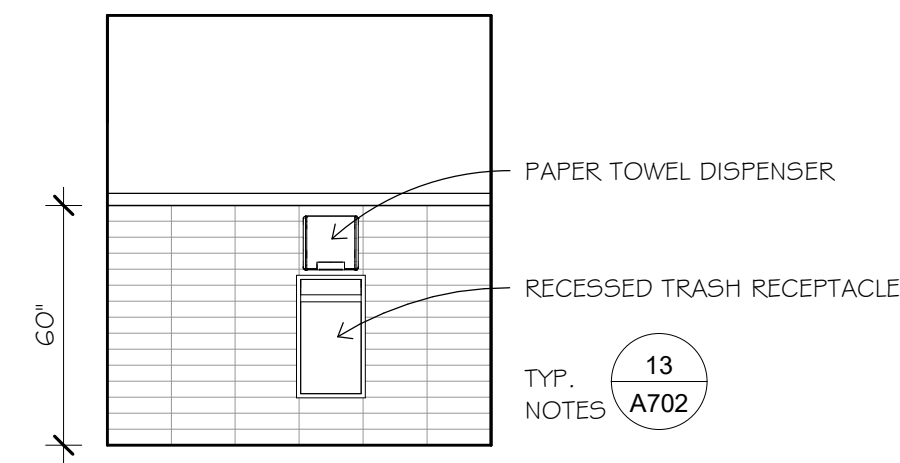


2 PATIO DOOR JAMB DETAIL (SLIDING DOOR)
6" = 1'-0"

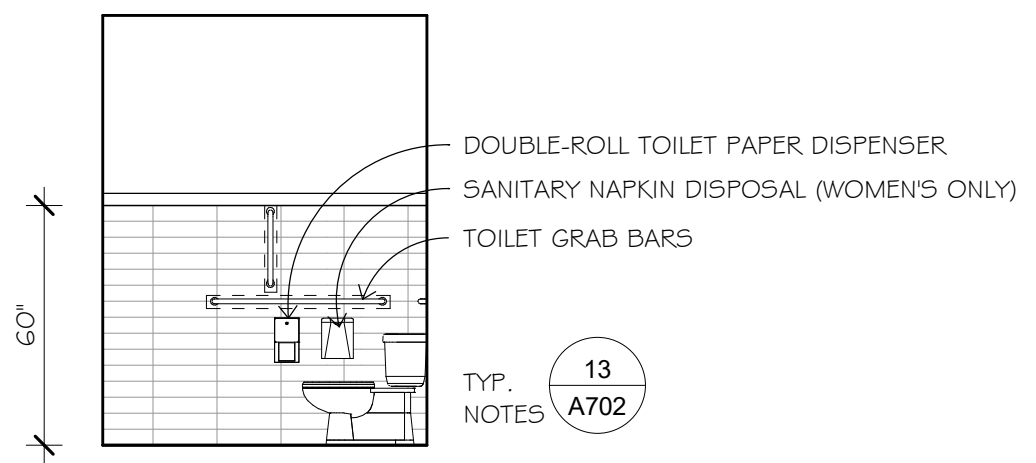
1 ACC. PATIO DOOR JAMB DETAIL (SWINGING DOOR)
6" = 1'-0"



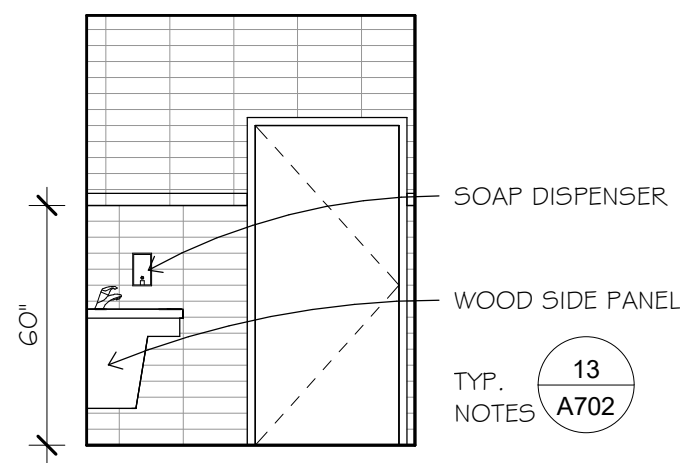
17 OFFICE KITCHENETTE ELEV.
1/4" = 1'-0"



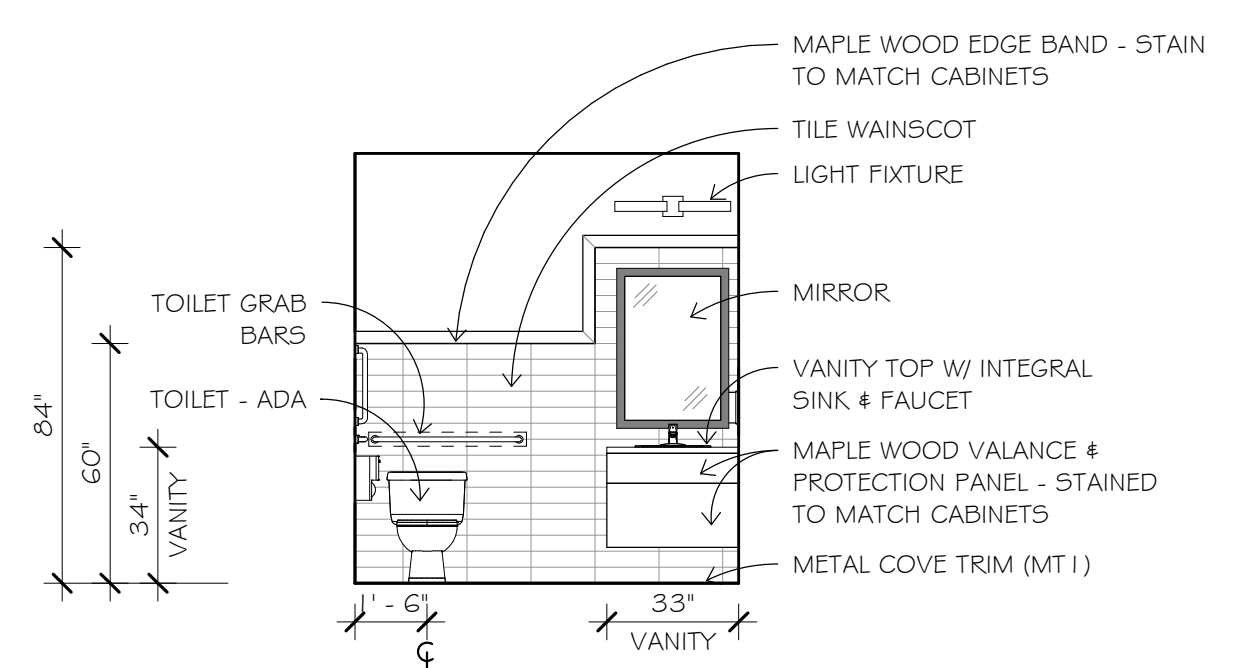
16 OFFICE RESTROOM ELEV. @ PT
1/4" = 1'-0"



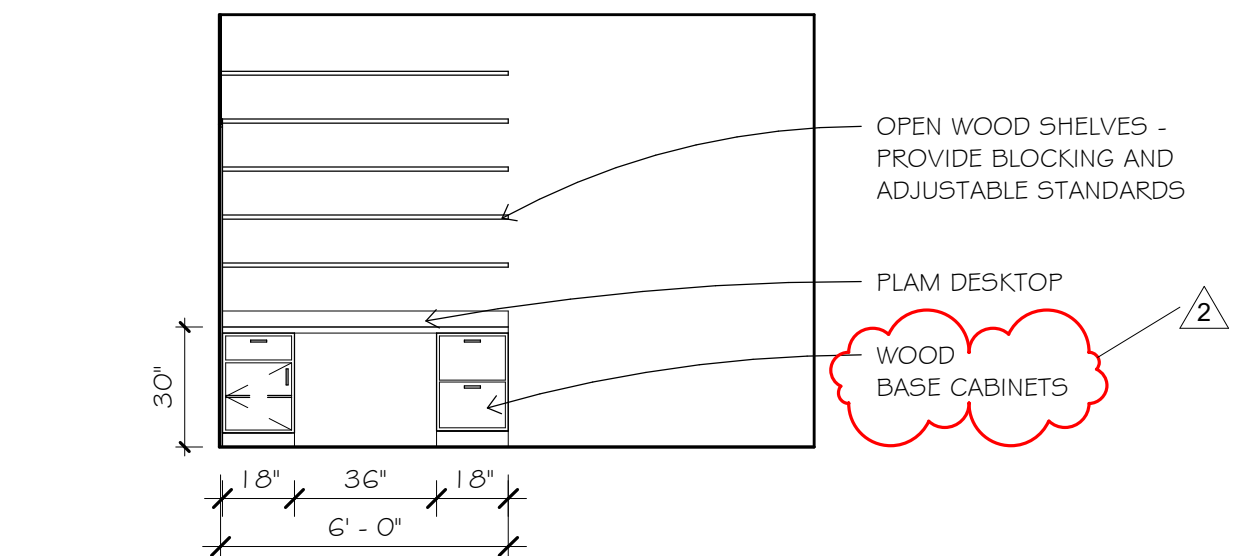
15 OFFICE RESTROOM ELEV. @ TOILET
1/4" = 1'-0"



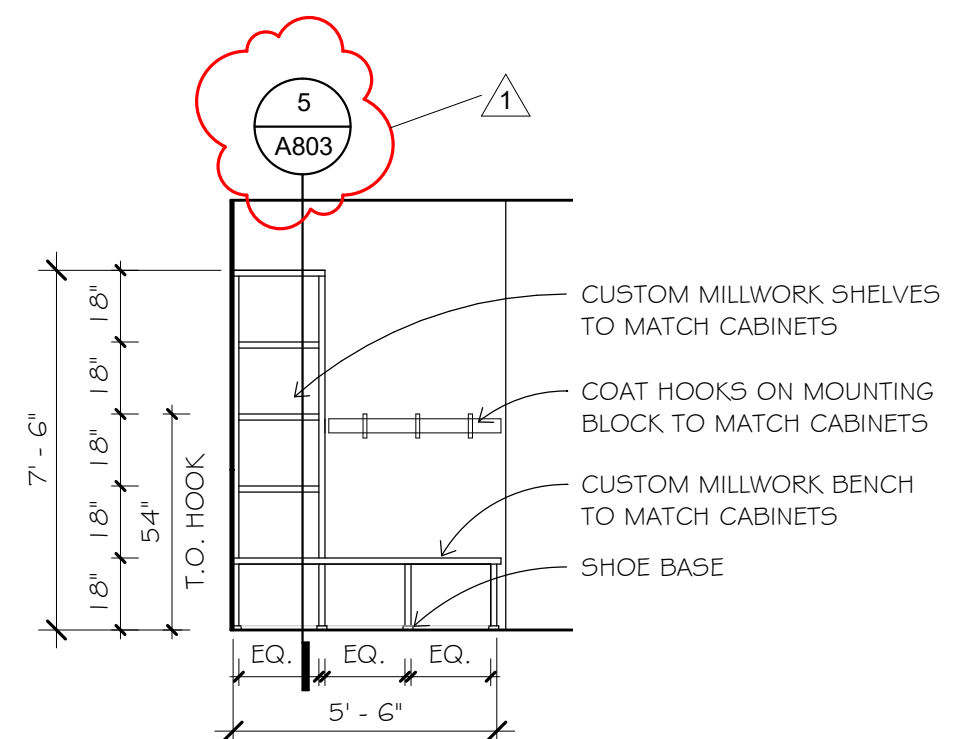
14 OFFICE RESTROOM ELEV. @ DOOR
1/4" = 1'-0"



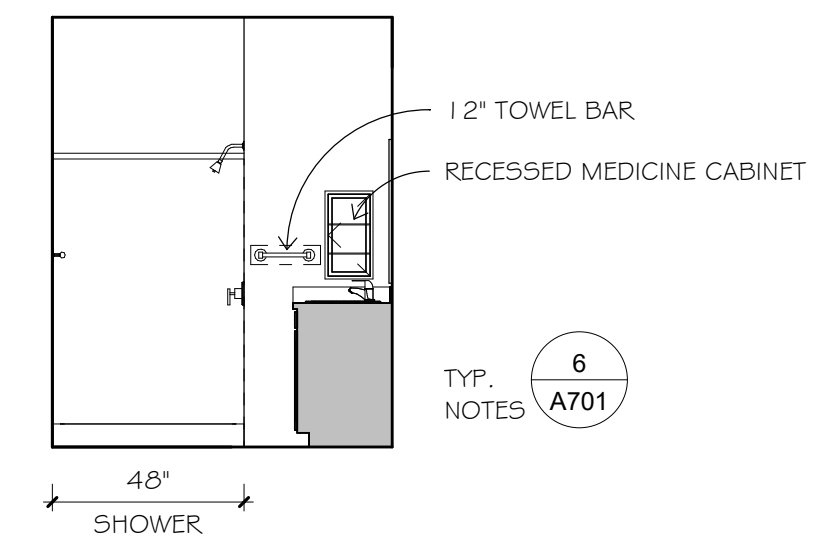
13 OFFICE RESTROOM ELEV. @ SINK
1/4" = 1'-0"



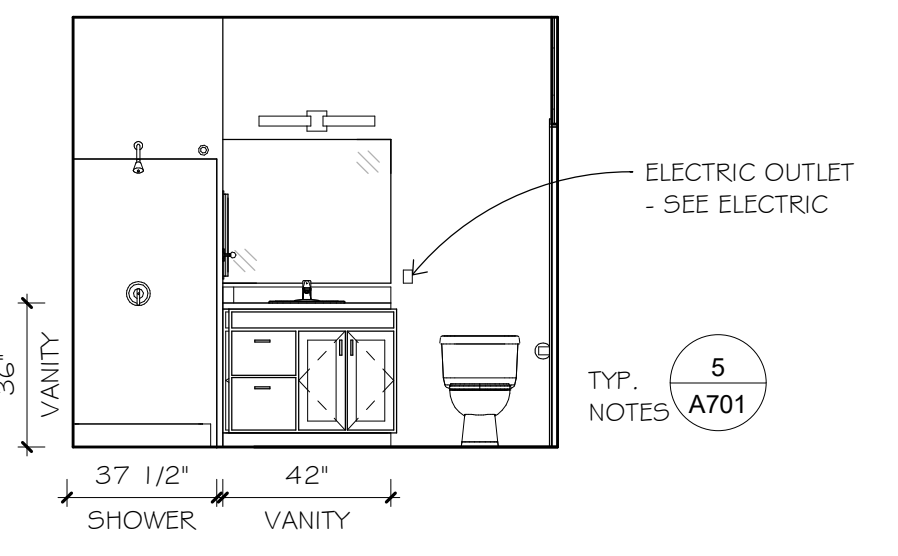
12 MAINTENANCE CASEWORK ELEV.
1/4" = 1'-0"



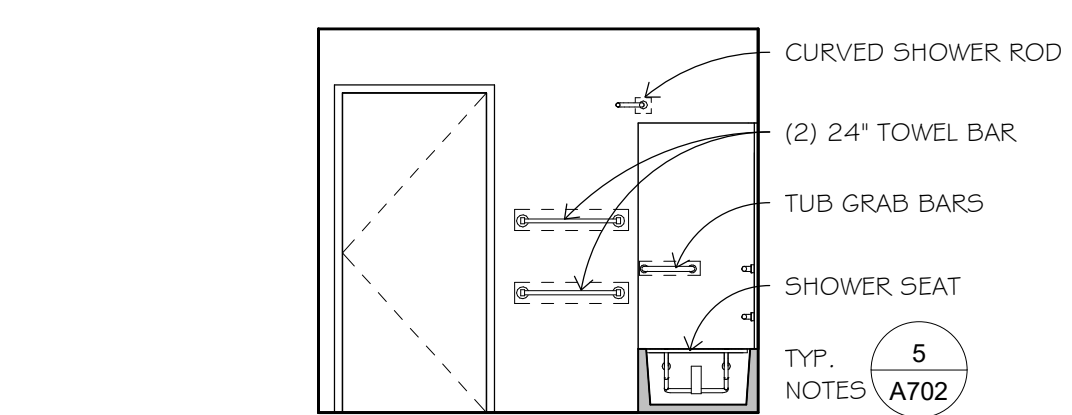
11 ENTRY BENCH ELEVATION - ADA UNITS
1/4" = 1'-0"



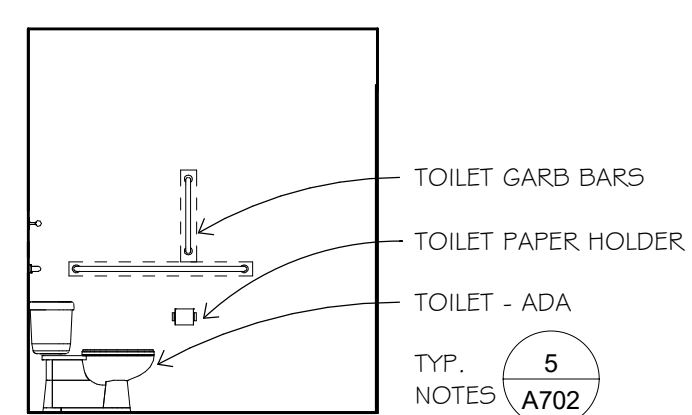
10 ADA UNIT 3/4 BATH ELEV. @ SHOWER
1/4" = 1'-0"



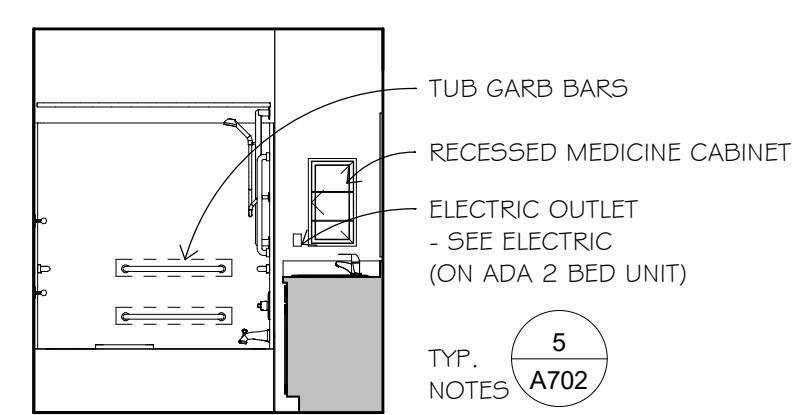
9 ADA UNIT 3/4 BATH ELEV. @ SINK
1/4" = 1'-0"



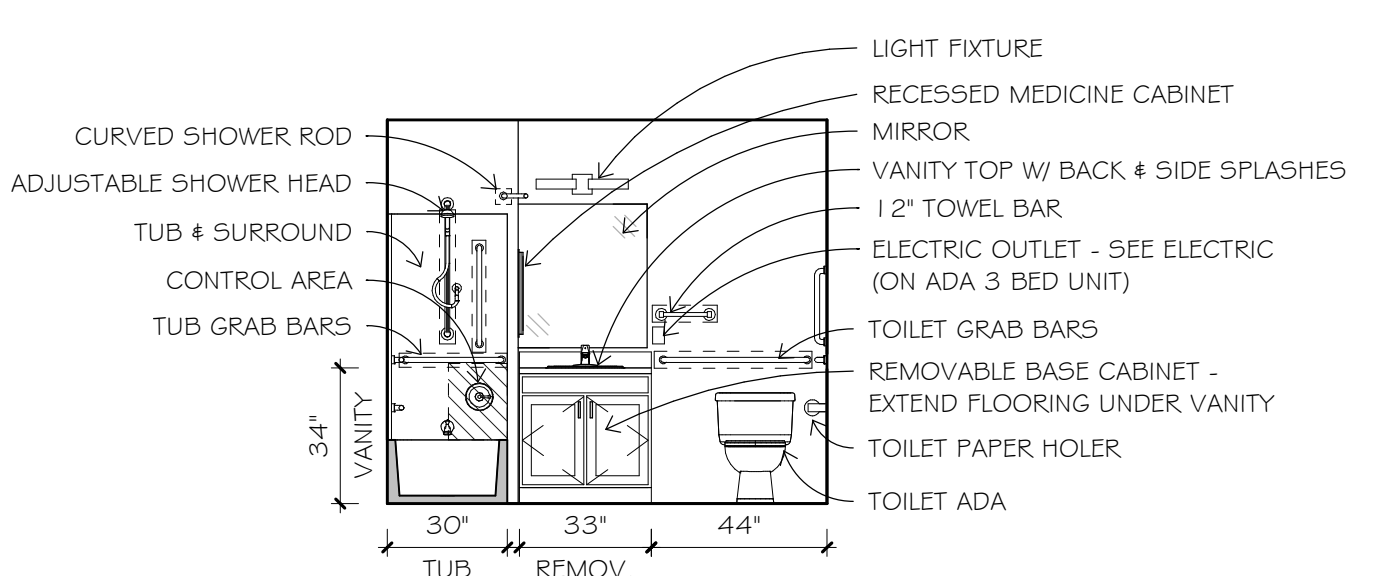
8 ADA UNIT FULL BATH ELEV. @ DOOR
1/4" = 1'-0"



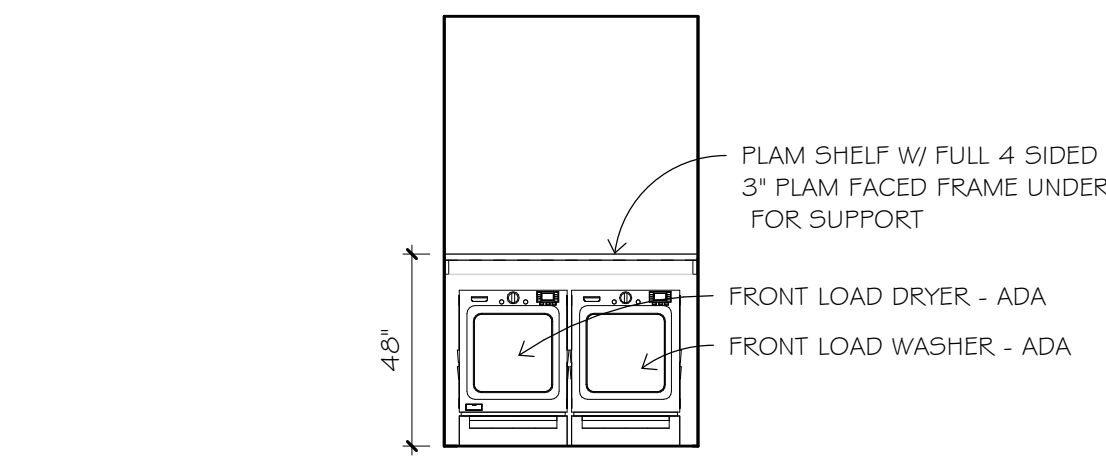
7 ADA UNIT FULL BATH ELEV. @ TOILET
1/4" = 1'-0"



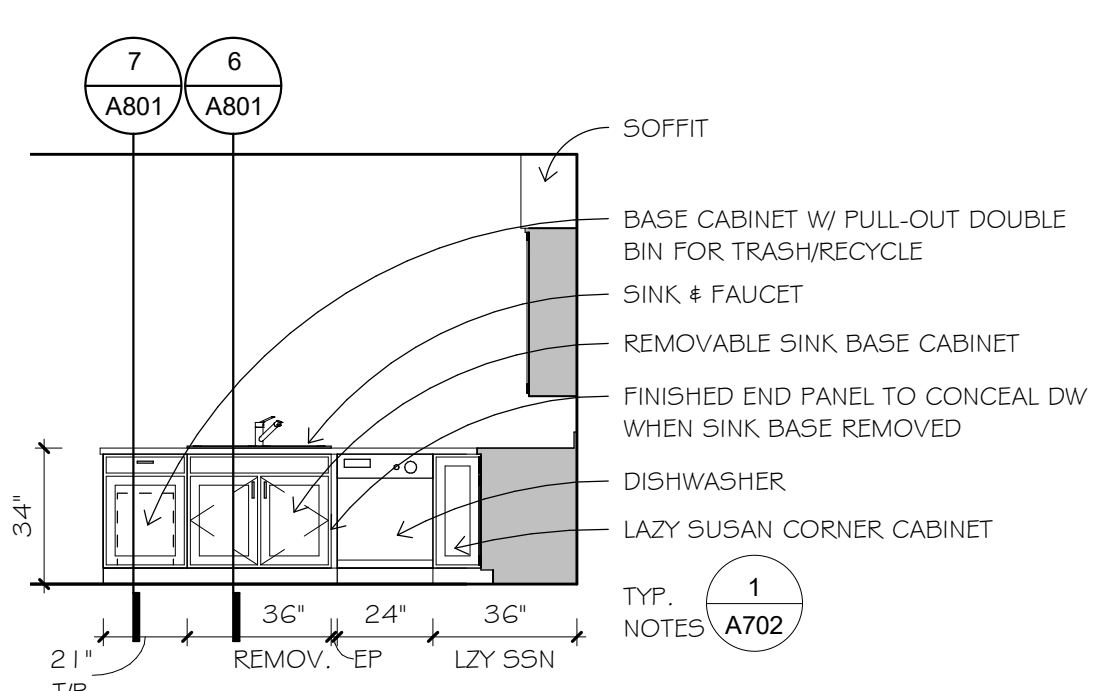
6 ADA UNIT FULL BATH ELEV. @ TUB
1/4" = 1'-0"



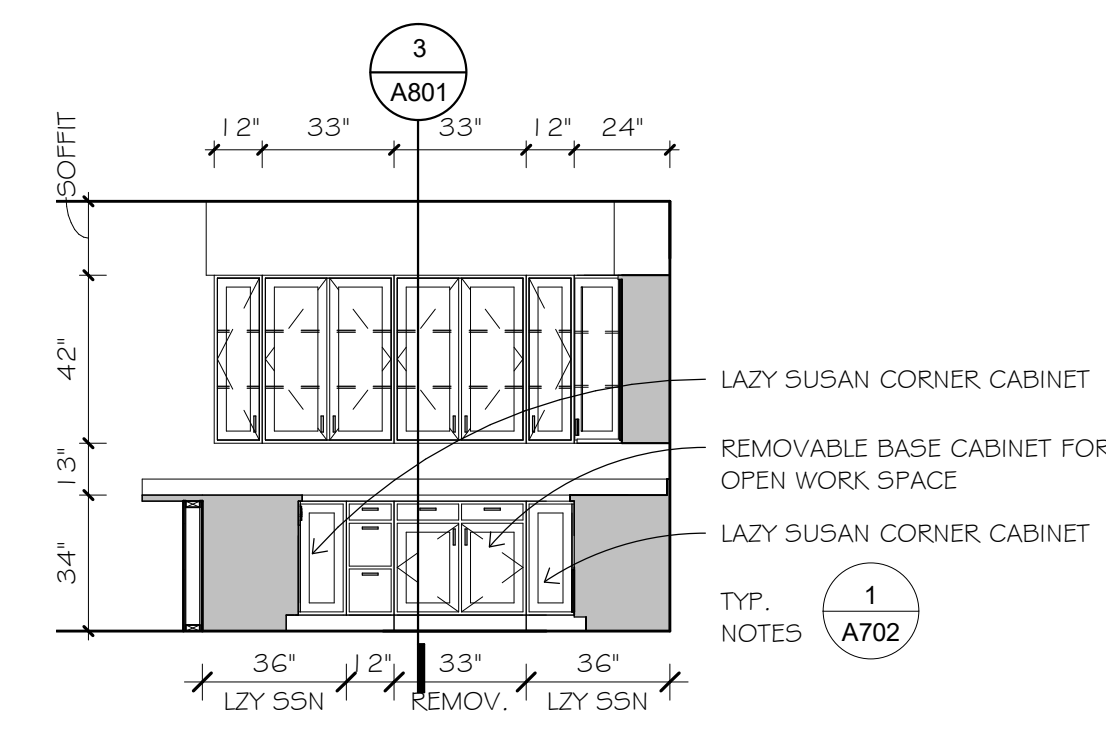
5 ADA UNIT FULL BATH ELEV. @ SINK
1/4" = 1'-0"



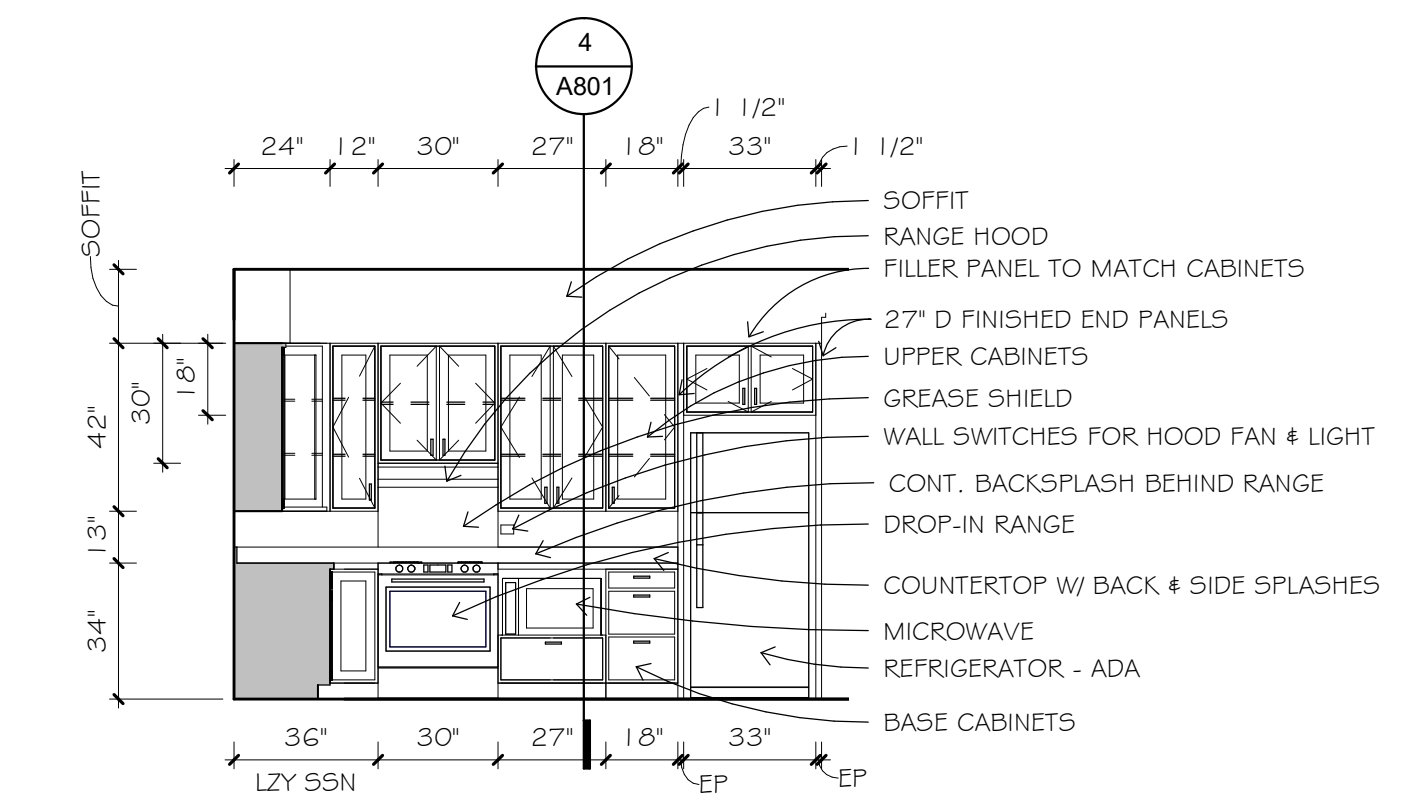
4 ADA UNIT LAUNDRY ELEV.
1/4" = 1'-0"



3 ADA UNIT KITCHEN ELEV @ SINK
1/4" = 1'-0"



2 ADA UNIT KITCHEN ELEV @ OPEN WORK SPACE
1/4" = 1'-0"



1 ADA UNIT KITCHEN ELEV @ RANGE
1/4" = 1'-0"



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8.10.17	100% REVIEW
8.17.17	BID SET
1	8.30.17 ADDENDUM #1
2	8.31.17 ADDENDUM #2

SCALE
1/4" = 1'-0"

Fox Pointe Townhomes

Three Rivers Community Action,
Austin, MN

INTERIOR ELEVATIONS - ADA
UNITS / OFFICE

A702

August 31, 2017

**ADDENDUM (ADDN) NO. 2
TO PLANS AND SPECIFICATIONS FOR:**

**FOX POINTE TOWNHOMES
AUSTIN, MN
STEEN #BLA201703**

The following additions, deletions, corrections or clarifications are hereby made to the original plans and specifications, issued August 17, 2017 and become part of these Construction Documents. Items herein take precedence over items in the plans and specifications, which they modify or supplement.

The main trade concerned with each Addenda item is primarily responsible, but certain attendant work of other trades may also be affected. This Contractor is cautioned that while the items specified below are general, it is assumed that all work required to implement each Addenda item is included.

DRAWINGS

E101 – Revised and reissued (attached).

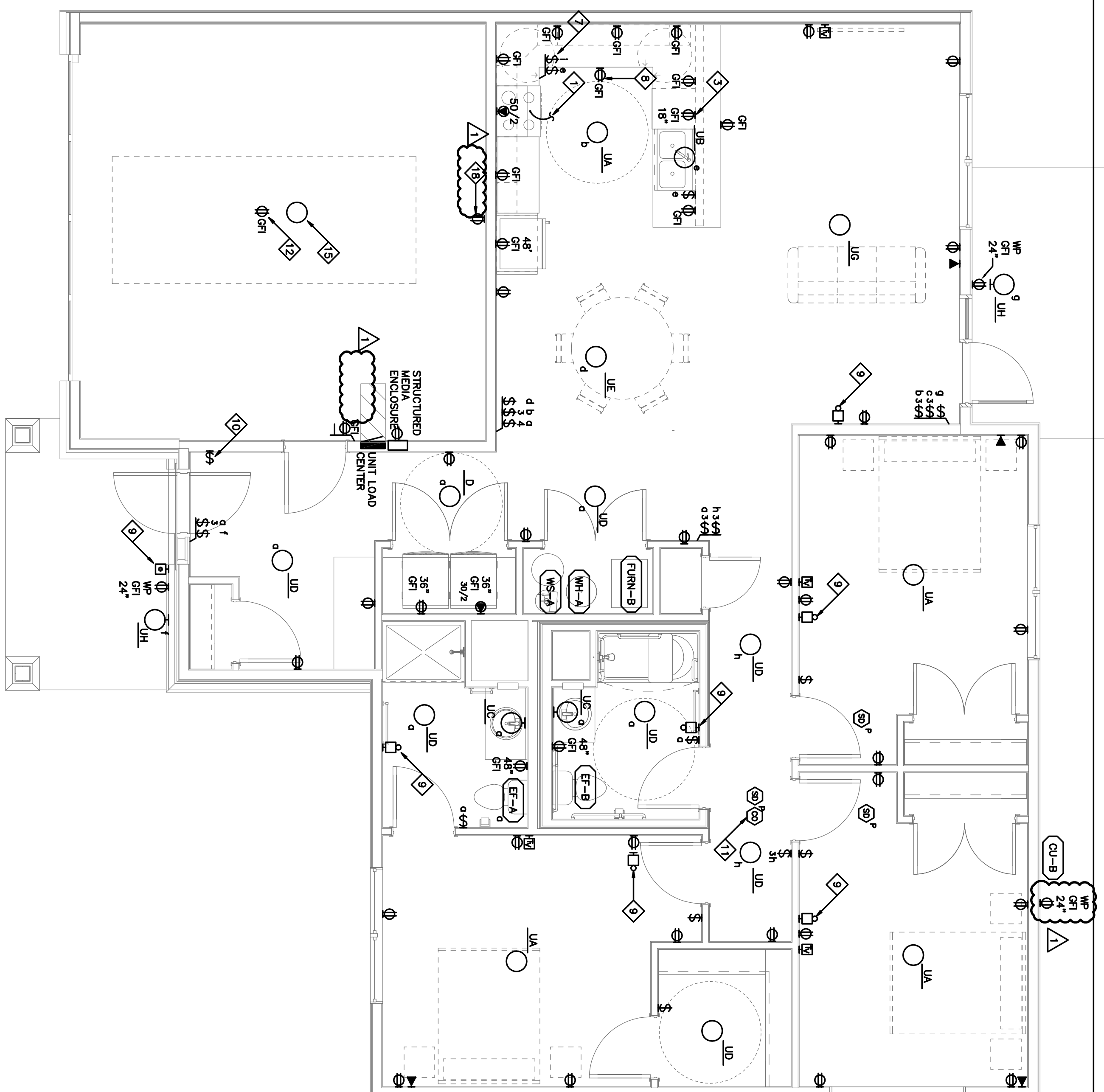
E201 – Revised and reissued (attached).

E202 – Revised and reissued (attached).

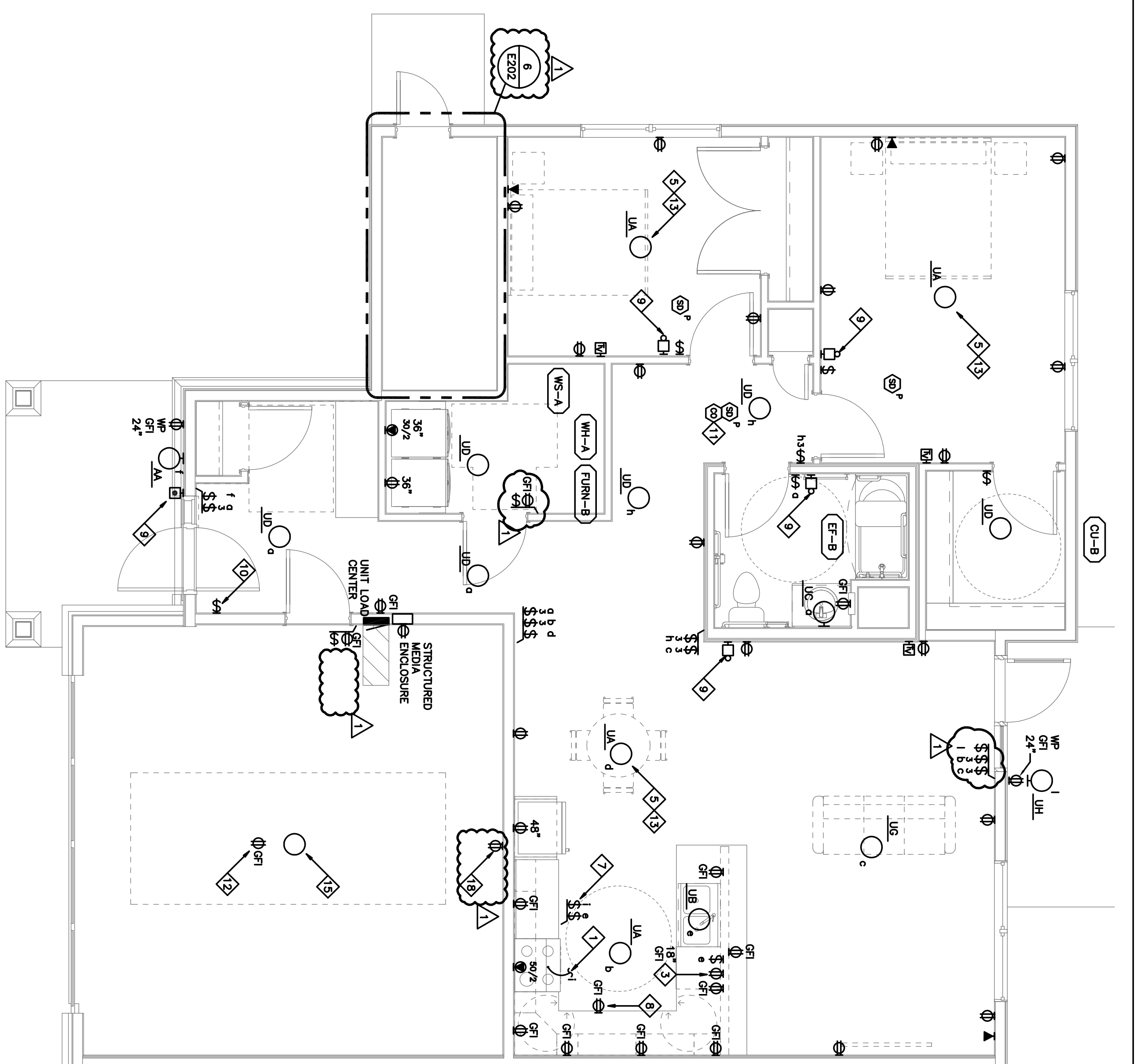
E203 – Revised and reissued (attached).

E301 – Revised and reissued (attached).

END OF ADDN NO. 2



1
THREE BEDROOM ADA UNIT
ELECTRICAL PLAN
1/4" = 1'-0"



2
TWO BEDROOM ADA UNIT
ELECTRICAL PLAN
1/4" = 1'-0"

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ENGINEERING INC.

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Engineer under the laws of MINNESOTA.

08/17/17
16544
steen tk TOROCS rep. no.

06/30/18
reg. exp. date

PROJECT INFO

Project No. BLA201703
Drawn By: WLF/SMY
Issue Date: 8/17/17

SUBMITTALS / REVISIONS

BID SET: 8/17/17
ADDEN #2: 8/31/17

SCALE

Fox Pointe Townhomes
Three Rivers Community Action,
Austin, MN
UNIT ELECTRICAL PLANS

E203

REFER TO SHEET E201 FOR NOTES.

ELECTRICAL SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	LIGHTNING LANTERN SYMBOLS (TYPICAL OF SHOWN) OF ALL SYMBOLS ARE SHOWN.		COMMUNICATIONS OUTLET, TELEPHONE OUTLET, VOICE/DATA OUTLET, TELEPHONE - FLOOR OUTLET, INTERCOM OUTLET, MICROPHONE OUTLET, TELEVISION OUTLET, TELEVISION - WALL OUTLET, SPEAKER - CEILING
	SWITCHES SWITCH, SINGLE POLE SWITCH, DOUBLE POLE SWITCH, THREE-WAY SWITCH, FOUR-WAY SWITCH, KETED SWITCH, IDENTIFIYER CONTACT SWITCH, W/ FLUOT LIGHT SWITCH, DIMMER SWITCH, MOTOR CONTROL SWITCH, TIMER GANGED SWITCH, SPACE GANGED SWITCH, SPACE		FIRE ALARM F.A. STROBE F.A. HORN STROBE F.A. PHOTOELECTRIC DETECTOR F.A. HEAT DETECTOR F.A. COMBINATION SMOKE/CO DETECTOR F.A. CO DETECTOR F.A. DOOR HOLDER F.A. SMOKE/TIME DELAYER F.A. SMOKE DAMPER F.A. ANNUNCIATOR PANEL
	CEILING FAN LIGHTING COMPACTOR		WARNING DRAWING CHANGE SPECIFIC NOTE M/E EQUIPMENT TAG KITCHEN EQUIPMENT TAG
	POWER RECEPTACLE, SINGLE RECEPTACLE, DOUBLE RECEPTACLE, DOUBLE DUPLEX RECEPTACLE, DOUBLE DUPLEX W/ROSE RECEPTACLE, SPECIAL RECEPTACLE, DUPLEX FLOOR RECEPTACLE, DUPLEX CEILING RECEPTACLE, DUPLEX SWITCHED 120/208V PANELBOARD TERMINAL CABINET TRANSFORMER CONDUIT, CONCEALED CONDUIT, BELOW GRADE CONDUIT, EXPOSED CONDUIT, UP CONDUIT, DOWN CONDUIT, STABBED UNDERFLOOR DUCT PLUMBING, TYPE AS SPEC'D DISCONNECT MOTOR STARTER COMBINATION MOTOR STARTER PUSHBUTTON ENCLOSED CIRCUIT BREAKER ELECTRIC HEAT CIRCUIT NUMBER		SECURITY KEY PAD CARD READER PROXIMITY READER DOOR CONTACTS ELECTRIC LOCK MAGNETIC LOCK MOUNTING STRIKE MOUNTING DETECTOR MOTION DETECTOR
	GENERAL JUNCTION BOX		SCHEMATIC TELEVISION CAMERA PIR/BUTTON BELL CAME BUZZER

NOT ALL SYMBOLS APPEAR ON DRAWINGS.

UNIT LOAD CENTER

SERVICE: 120/240V, 1PH, 3W
A.I.C. RATING: 10000
FEEDER FROM MBOX

BUS: 125
SPACES: 24
MTR: FLUSH

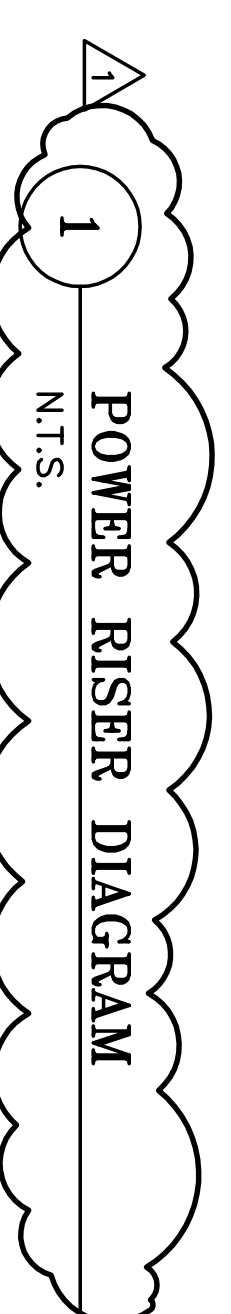
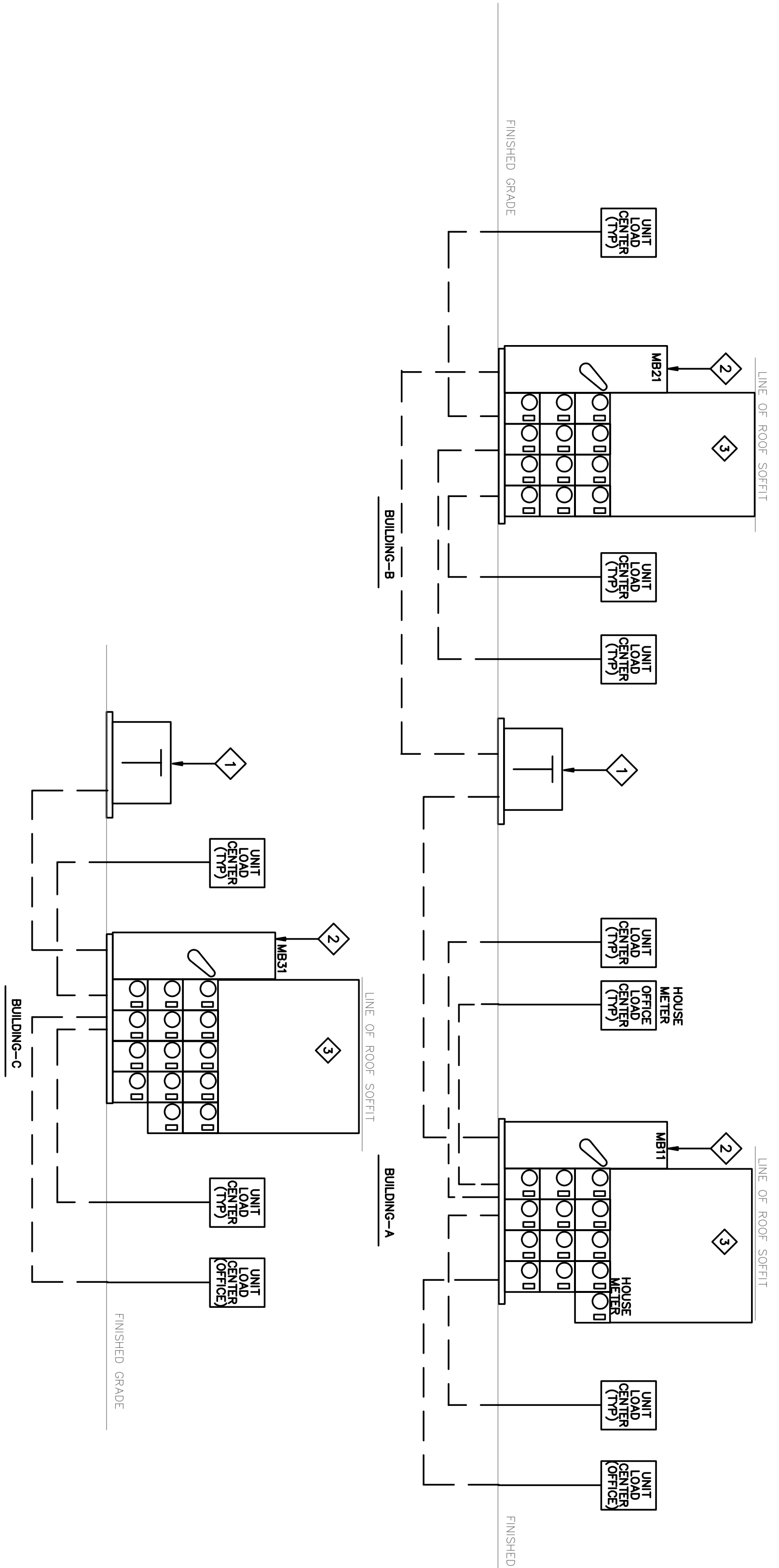
CCT	CB	WIRE	LOAD DESCRIPTION
1	20/1	#12	SMALL APPLIANCE
2	20/1	#12	SMALL APPLIANCE
3	20/1	#12	SMALL APPLIANCE
4	20/1	#12	BATHROOM RECEPTACLE
5	20/1	#12	BATHROOM RECEPTACLE
6	20/1	#10	CL-1
7	20/1	#10	CL-1
8	20/1	#14	GENERAL LIGHTING
9	20/1	#14	GENERAL LIGHTING
10	20/1	#14	GENERAL LIGHTING
11	20/1	#14	GENERAL LIGHTING
12	20/1	#14	GENERAL LIGHTING
13	20/1	#14	GENERAL LIGHTING
14	20/1	#14	GENERAL LIGHTING
15	20/1	#14	GENERAL LIGHTING
16	20/1	#12	WH-1 & WS-1
17	20/1	#12	WH-1 & WS-1
18	20/1	#12	CAR CHARGING RECEPTACLE
19	20/1	#12	RANGE
20	20/1	#12	RANGE
21	20/1	#12	RANGE
22	20/1	#12	RANGE
23	20/1	#12	RANGE
24	20/1	#12	RANGE
25	20/1	#12	RANGE
26	20/1	#12	RANGE
27	20/1	#12	RANGE
28	20/1	#12	RANGE
29	20/1	#12	RANGE
30	20/1	#12	RANGE

UNIT LOAD CENTER OFFICE (LP11)

SERVICE: 120/240V, 1PH, 3W
A.I.C. RATING: 10000
FEEDER FROM MBOX

BUS: 125
SPACES: 30
MTR: SURFACE

CCT	CB	WIRE	LOAD DESCRIPTION
1	20/1	#12	SMALL APPLIANCE
2	20/1	#12	SMALL APPLIANCE
3	20/1	#12	SMALL APPLIANCE
4	20/1	#12	BATHROOM RECEPTACLE
5	20/1	#12	BATHROOM RECEPTACLE
6	20/1	#10	CL-1
7	20/1	#10	CL-1
8	20/1	#14	GENERAL LIGHTING
9	20/1	#14	GENERAL LIGHTING
10	20/1	#14	GENERAL LIGHTING
11	20/1	#14	GENERAL LIGHTING
12	20/1	#14	GENERAL LIGHTING
13	20/1	#14	GENERAL LIGHTING
14	20/1	#14	GENERAL LIGHTING
15	20/1	#14	GENERAL LIGHTING
16	20/1	#14	GENERAL LIGHTING
17	20/1	#14	GENERAL LIGHTING
18	20/1	#14	GENERAL LIGHTING
19	20/1	#14	GENERAL LIGHTING
20	20/1	#14	GENERAL LIGHTING
21	20/1	#14	GENERAL LIGHTING
22	20/1	#14	GENERAL LIGHTING
23	20/1	#14	GENERAL LIGHTING
24	20/1	#14	GENERAL LIGHTING
25	20/1	#14	GENERAL LIGHTING
26	20/1	#14	GENERAL LIGHTING
27	20/1	#14	GENERAL LIGHTING
28	20/1	#14	GENERAL LIGHTING
29	20/1	#14	GENERAL LIGHTING
30	20/1	#14	GENERAL LIGHTING



DISTRIBUTION EQUIPMENT SCHEDULE

PANEL NO.	VOLTAGE	MOUNTING	AIC	MAIN / RATING	# OF UNIT SERVICES	UNIT MAIN BREAKERS REQUIRED	FEEDER FROM	NOTES
M811	120/240V 1PH, 3W	SURFACE	22K	600A SW 600A FU	13	(13) 125/2	(2) 1 1/2" C, #250 TRANSFORMER	2, 3
M821	120/240V 1PH, 3W	SURFACE	22K	600A SW 600A FU	12	(12) 125/2	(2) 2 1/2" C, #250 TRANSFORMER	1, 3
M831	120/240V SURFACE	22K	800A FU	800A FU	14	(14) 125/2	(2) 3" C, #950 FROM UTILITY TRANSFORMER	1, 3

UNIT LOAD CENTER FEEDER SCHEDULE (2.0% VD, CU)

UNIT AMP LOAD	0-50 FEET	51-100 FEET	101-150 FEET	151-200 FEET	201-250 FEET
125	#1	#1	#2/0	#3/0	#4/0
150	#1/0	#1/0	#3/0	#4/0	#250
200	#3/0	#3/0	#4/0	#250	(2)#3/0

- NOTES:**
- SIZES SHOWN ARE MINIMUM REQUIRED FOR INDICATED DISTANCE RANGE.
 - SCHEDULE BASED ON COPPER SER CABLE AT 0.9 PF AND 208 VOLTS.
 - FIXED OPEN WIRE TRUSSES, 2 BY X FRAMING OR OTHER INSULATED AREAS, PROVIDE 60% SER CABLE OR 75% W/C CABLE WITHIN INSULATED AREAS, INCREASING CONDUCTOR SIZE AS REQUIRED FOR LOAD AND TO MAINTAIN MAXIMUM VOLTAGE DROP.
 - PROVIDE CONDUIT AND WIRE FOR FEEDERS, W/ 1/2" CLEARANCE FROM STRUCTURAL MEMBERS.
 - CONDUCTOR SIZE SHALL BE DETERMINED BY THE FOLLOWING TABLE. ADJACENT TO THE EQUIPMENT WHENEVER THE CONDUCTOR SIZE NECESSARY TO MAINTAIN THE REQUIRED VOLTAGE DROP IS TOO LARGE TO PROPERLY FORM AND TERMINATE IN THE EQUIPMENT, TRACE PHASE AND NEUTRAL CONDUCTIONS TO CORRECTLY SIZED PROFILES AND TERMINATE AS REQUIRED WITHIN THE EQUIPMENT.

- DISTRIBUTION SCHEDULE NOTES:**
- PROVIDE A 200 AMP UTILITY METER SOCKET WITH LEVER BY-PASS FOR EACH UNIT.
 - PROVIDE A 200 AMP UTILITY METER SOCKET WITH LEVER BY-PASS FOR EACH UNIT.
 - SEE DISTRIBUTION SCHEDULE FOR SERVICE VOLTAGE.

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 Crystal, MN 55429

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Licensed Engineer under the laws of MINNESOTA.

08/17/17
 16544
 STEEN, K. TORRES
 reg. exp. date

PROJECT INFO

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SUBMITTALS / REVISIONS

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SCALE

Fox Pointe Townhomes

Three Rivers Community Action,
 Austin, MN

ELECTRICAL RISER DIAGRAM AND SCHEDULES