



ADDENDUM

JLG 16098 Bottineau Ridge II Apts

RE: addendum 01

Issued: December 07, 2017

ADDENDUM #: 01

NOTICE TO CONTRACTORS

This Addendum is prepared to supplement information presented in the Drawings and Project Manual dated Month Day, Year for the above referenced project. All additions, changes, omissions and conditions listed herein shall become an integral part of the Contract Documents.

DRAWINGS

1. G100 COVER SHEET. See G100
 - o Added building address.
 - o Added sheets C-1 SURVEY & C-3 PRELIMINARY PLAT to the drawing index.
 - o Added sheet L-2 LANDSCAPE PLAN. Revised LANDSCAPE NOTES & DETAILS to sheet L-3.
2. G110 LIFE SAFETY PLANS. See Sheet G110
 - o Updated Fire Code to most current code.
3. L-1 LANDSCAPE PLAN. See Sheet L-1
 - o The landscape plan was updated from the approved city submittal documents. Plan subtracts tress to be planted in a future phase. Plan includes species labels for shrub/perennial plantings.
4. L-2 LANDSCAPE PLAN. See Sheet L-2
 - o The landscape plan was updated from the approved city submittal documents. Plan subtracts tress to be planted in a future phase. Plan includes species labels for shrub/perennial plantings.
5. L-3 LANDSCAPE NOTES & DETAILS. See Sheet L-3
 - o The landscape plan was updated from the approved city submittal documents. Plan subtracts tress to be planted in a future phase. Plan includes species labels for shrub/perennial plantings.
6. S201A FIRST FLOOR FRAMING PLAN "WEST". See Sheet S201A
 - o Plan notes were revised to include the reinforcing requirements for the cast in place foundation walls.
7. S201B FIRST FLOOR FRAMING PLAN "EAST". See Sheet S201B
 - o Plan notes were revised to include the reinforcing requirements for the cast in place foundation walls.
8. A210A GARAGE PLAN - WEST. See Sheet A210A.
 - o Detail 1/A210A. Added Door Tag "003B. Move Doors 003A and 003B.
9. A250 DOOR SCHEDULE & GLAZING ELEVATIONS. See Sheet A250.
 - o Building Door Schedule. Doors 101A, 102A, 102B, 107B, ST1-1B, ST2-1B revise Door Mat'l to "AL". Door 032 revise Door Type to "N". Doors 102A, 102B, ST1-1B, ST2-1B revise Door Type to "SF-G". Doors 101A, 102A, 102B, 107B, ST1-1B, ST2-1B revise Door Finish to "Anod". Doors 103, 106, 107A, 109, 111, 124, 125, 127, 129, ST1-1A, ST1-1B, 202, 203, 209, 211, 228, ST1-2, ST2-2, 309, 311, 327, ST1-3, ST2-3, 409, 411, 427, ST1-4, ST2-4 revise Door Finish to "PREFIN". Doors ST01-0, ST02-0, 107B, ST1-1A, ST1-1B, ST2-1, ST2-2, ST3-1, ST3-2, ST4-1, ST4-2 revise Door Glz to "FL GL-DH90". Doors 103, 107A, 124, 125 revise Door Glz to "<TEMP GL-1>". Doors 101A, 102A, 102B, 107B, ST1-1B, ST2-1B revise Frame Mat'l to "AL". Door 101A revise Frame Type to "SF05". Doors 102A, 102B revise Frame

JLG Architects | Dave Morck

322 North First Avenue, Ste. 600 | Minneapolis, MN | p 612.436.0096 | dmorck@jlgarchitects.com

120507_207 CHANGE RESPONSE

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Type to "SF04". Door 107B revise Frame Type to "SF06". Doors ST1-1B, ST2-1B revise Frame Type to "SF03". Doors ST1-1A, ST2-1A, 202, 203, ST1-2, ST1-3, ST2-3, ST1-4, ST2-4 revise Frame Type to "1". Doors 101A, 102A, 102B, 107B, ST1-1B, ST2-1B revise Frame Finish to "Anod". Doors 103, 106, 107A, 109, 111, 124, 125, 127, 129, ST1-1A, ST2-1A, 202, 203, 209, 211, 228, ST1-2, ST2-2, S309, 311, 327, ST1-3, ST2-3, 409, 411, 427, ST1-4, ST2-4 revise Frame Finish to "<PT- >". Doors 101A, 102A, 107B, ST1-1B, ST2-1B revise Frame Glz to "<INSUL TEMP GL-1>". Door 032 revise Rating to "–". Doors 124, 125, 127, 128, 211, 228, 311, 327, 411, 427 revise Rating to "20MIN". Doors 003A, 003B revise HW Set to "11.0". Doors 124, 125 omit Notes.

- Storefront Frame Types. Frame Type SF03 add note "@ Lobby-102B Glazing is <TEMP GL-1>".
- Door Types. Revised Door Type "E". Added applied trim to the Hallway side of the door.

10. A610 ROOM FINISH SCHEDULES..

- Unit Room Finish Schedule. At all Rooms, revise Base to "WD BASE-1".

END OF ADDENDUM



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UNIT MATRIX						
	SF	1ST FLR	2ND FLR	3RD FLR	4TH FLR	TOTAL
UNIT 1A	734		1	1	3	5
UNIT 1A, TYPE A	734	1				1
UNIT 2A	1033	3	1	2	2	8
UNIT 2A, TYPE A	1033		1			1
UNIT 2A*	1101		1	1	1	3
UNIT 2A**	1085	1	1	1	1	4
UNIT 2B	994	1	1	1	1	4
UNIT 2C	1124	1	1	1	1	4
UNIT 3A	1364	1	1		1	3
UNIT 3A, TYPE A	1364			1		1
UNIT 3B	1271	2	3	3	3	11
UNIT 3C	1474			1		1
UNIT 4A	1633	1	1	1	1	4
TOTAL UNIT COUNT		11	12	13	14	50

BOTTINEAU RIDGE II APARTMENTS
 11800 80TH AVE N.
 MAPLE GROVE MN

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME
GENERAL	
G100	COVER SHEET
G101	TITLE SHEET
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CIVIL	
C101	EXISTING CONDITIONS
C201	SITE PLAN
C301	GRADING PLAN
C401	UTILITY PLAN
C501	EROSION CONTROL PLAN
C601	CIVIL DETAILS
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C603	CIVIL DETAILS
C604	EROSION CONTROL DETAILS
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LANDSCAPE	
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C-3	VIEWS
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S002	SPECIAL INSPECTIONS
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S201B	FIRST FLOOR FRAMING PLAN "EAST"
S202A	SECOND FLOOR FRAMING PLAN "WEST"
S202B	SECOND FLOOR FRAMING PLAN "EAST"
S203A	THIRD FLOOR FRAMING PLAN "WEST"
S203B	THIRD FLOOR FRAMING PLAN "EAST"
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S204B	FOURTH FLOOR FRAMING PLAN "EAST"

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S302	FOUNDATION DETAILS
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S403	FRAMING DETAILS
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A202	OVERALL FOURTH FLOOR & ROOF PLAN
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A210B	GARAGE PLAN - EAST
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A211B	FIRST FLOOR PLAN - EAST
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F101A	FIRST FLOOR PLAN - WEST - FIRE PROTECTION
F101B	FIRST FLOOR PLAN - EAST - FIRE PROTECTION
F102A	SECOND FLOOR PLAN - WEST - FIRE PROTECTION
F102B	SECOND FLOOR PLAN - EAST - FIRE PROTECTION
F103A	THIRD FLOOR PLAN - WEST - FIRE PROTECTION
F103B	THIRD FLOOR PLAN - EAST - FIRE PROTECTION
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P101B	GARAGE FLOOR PLAN - EAST - PLUMBING
P102A	FIRST FLOOR PLAN - WEST - PLUMBING
P102B	FIRST FLOOR PLAN - EAST - PLUMBING
P103A	SECOND FLOOR PLAN - WEST - PLUMBING
P103B	SECOND FLOOR PLAN - EAST - PLUMBING
P104A	THIRD FLOOR PLAN - WEST - PLUMBING
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M101A	FIRST FLOOR PLAN - WEST - HVAC PIPING
M101B	FIRST FLOOR PLAN - EAST - HVAC PIPING
M102A	SECOND FLOOR PLAN - WEST - HVAC PIPING
M102B	SECOND FLOOR PLAN - EAST - HVAC PIPING
M103A	THIRD FLOOR PLAN - WEST - HVAC PIPING
M103B	THIRD FLOOR PLAN - EAST - HVAC PIPING
M104A	FOURTH FLOOR PLAN - WEST - HVAC PIPING
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M201A	FIRST FLOOR PLAN - WEST - VENTILATION
M201B	FIRST FLOOR PLAN - EAST - VENTILATION
M202A	SECOND FLOOR PLAN - WEST - VENTILATION
M202B	SECOND FLOOR PLAN - EAST - VENTILATION
M203A	THIRD FLOOR PLAN - WEST - VENTILATION
M203B	THIRD FLOOR PLAN - EAST - VENTILATION
M204A	FOURTH FLOOR PLAN - WEST - VENTILATION
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E202	FIRST FLOOR PLAN - WEST - POWER/SYSTEMS
E203	FIRST FLOOR PLAN - EAST - POWER/SYSTEMS
E204	SECOND FLOOR PLAN - WEST - POWER/SYSTEMS
E205	SECOND FLOOR PLAN - EAST - POWER/SYSTEMS
E206	THIRD FLOOR PLAN - WEST - POWER/SYSTEMS
E207	THIRD FLOOR PLAN - EAST - POWER/SYSTEMS
E208	FOURTH FLOOR PLAN - WEST - POWER/SYSTEMS
E209	FOURTH FLOOR PLAN - EAST - POWER/SYSTEMS
E300	LARGE SCALE UNIT PLANS - ELECTRICAL
E301	LARGE SCALE UNIT PLANS - ELECTRICAL
E302	LARGE SCALE UNIT PLANS - ELECTRICAL
E303	LARGE SCALE UNIT PLANS - ELECTRICAL
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E402	POWER DETAILS
E510	LIGHTING SCHEDULE
E520	MOTOR AND EQUIPMENT SCHEDULE
E521	PANEL SCHEDULES
E522	PANEL SCHEDULES



See the end of this document for recommended process of completion (link to same).
 The following review was completed by: Dave Mark

BUILDING STATISTICS:	
Site / Lot Area:	198,298 SF
Building Areas:	
Storage Level:	18,693 SF
First Level:	17,640 SF
Second Level:	17,014 SF
Third Level:	17,640 SF
Fourth Level:	17,640 SF
TOTAL	88,627 SF
Building Height:	4 stories, 50 ft.

ZONING / SITE REQUIREMENTS:	
Zoning District:	PUD
Building Use:	Residential Multi-Family
Density/FAR:	
Yard Requirements (setbacks):	
Front:	30 ft per PUD approval
Sides:	15 ft per PUD approval
Rear:	50 ft per PUD approval (fire access lane)
	SEE ALSO REQUIREMENTS BASED ON CONSTRUCTION TYPES

Site Coverage Restrictions:	
Height Restrictions:	Per Building Code
Parking Requirements:	50 surface stalls (3 accessible stalls), 50 garage stalls (2 accessible stalls)
Landscaping:	
Possible Variances:	
Other Notes / Requirements:	

BUILDING CODE ANALYSIS - APPLICABLE GOVERNING CODES:
 Building Code: Minnesota Building Code 2015
 Fire Code: 2015 International Fire Code (IFC) with MN Amendments and City Ordinance
 Mechanical Code: 2015 Minnesota Mechanical Code 1346 and Fuel Gas Code
 Energy Code: 2015 MN Energy Code & ASHRAE Standard 90.1-2004
 Plumbing Code: 2015 MN Plumbing Code

JLG Architects | Dave Mark
 801 Washington Avenue North Unit 100 | Minneapolis, MN 55401 | p:612.746.4260 | f:612.746.4754 | dmark@jlgarchitects.com
 120507_100 CODE ZONING REVIEW
 2\16098 maple grove bottineau ridge apts (3) 3 - project administration (1) a - approval (city of maple grove zoning code) 100 code zoning review
 171018 16098 maple grove bottineau ridge ii apts.docx Page 1 of 8

FIRE RESTRICTIVE REQUIREMENTS:	
Construction Type:	Type VA
Structural frame (Table 601)	
Roof supports	1 hr - Type VA
Bearing Walls (Table 601)	
Exterior	1 hr - Type VA x HR MIN - Not less than that required by Fire Separation Distance. Fire Separation Distance < 5 feet R - 1 hr. ≥ 5 feet, but < 10 feet R - 1 hr. ≥ 10 feet, but < 30 feet R - 1 hr. ≥ 30 feet R - 0 hr.
Interior	1 hr - Type VA (See also occupancy separations and other requirements for fire-resistance ratings)
Interior supporting Roof	1 hr (See also occupancy separations and other requirements for fire-resistance ratings)
Nonbearing walls and partitions (Table 601)	
Exterior	0 hr - Type VA (See also occupancy separations and other requirements for fire-resistance ratings)
Interior	0 hr - Type VA (See also occupancy separations and other requirements for fire-resistance ratings)
Floor Construction (Table 601)	1 hr - Type VA
Roof Construction (Table 601)	1 hr Table 1505.1. Type VA requires Class B roofing.
Exterior Walls (Section 705)	
Projections	705.2 Not rated - approved materials
Openings (Table 705.8)	Maximum area of openings at rated exterior wall Fire Separation Distance 0'-3" Not permitted 15% 3'-5" Not permitted 15% 5'-10" 10% 25% 10'-15" 15% 45% 15'-20" 25% 75% 20'-25" 45% No Limit 25'-30" 70% No Limit Greater than 30 No Limit
Parapet	Required, review code to eliminate
Fire Walls (Section 706)	None
Fire Barriers (Section 706 & noted)	2 hrs - Table 706.4 a, R.2 & S.2 in Type V construction.
Shaft Enclosures (707)	2 hrs - 713.4
Elevator Lobby	Not required - 713.14.1.4
Exit enclosures (1022.1)	2 hrs - 1022.2
Exit passageway (1023.1)	2 hrs - 1023.3
Horizontal exit (1025.1)	None, 2 hrs minimum
Attic (404.5)	NA (712.1.8 two-story openings is not permitted due to 712.1.8.5, is not open to a corridor in a Group R occupancy. But, Section 1009.3 Exception 1 allows for exit access stairways that serve, or atmospherically communicate between

Stair Min Width:	= 78 occupants 44 inches. Section 1009.4.
Accessible Means of Egress (Section 1007)	Where more than one means of egress is req'd (by Section 1015.1 or 1019.1) from an accessible space, not less than two accessible means of egress are req'd.
Exit Stairways	To be accessible means of egress, do not require area of refuge in Group R-2 occupancy. Section 1007.3, Exception 6. To be accessible means of egress, clear width of 48 inches is not required if fully NFPA 13 sprinklered. Section 1007.3, Exception 2.
Elevators	Elevator not required to be accessed from area of refuge if fully NFPA 13 sprinklered. Section 1007.4, Exception 2.
Two-way communication	Required at the elevator landing on each accessible floor that is one or more stories above or below the story of exit discharge. Section 1007.8.
Heights (Vert Clear)	
Ceiling Height	1208.2, 7'-6"
Stair Clearance	1009.5, 6'-8"
Door Clearance	1008.1.1, 6'-8"
Stairways (Section 1009)	
Width	0.2 inch per occupant in NFPA 13 buildings.
Headroom	1009.5, 6'-8"
Max Ht between landings	1009.5, 6'-8"
Handrails	1009.15, 1012.
Stair Run/Risers	1009.7
Ramps (Section 1010)	
Handrails	1010.9, 1012.
Common Path of Egress:	Table 1014.3. S - 100 ft, R.2 - 125 ft, with 903.3.1.1 - NFPA 13
Exit Access:	1014.
Exit Access Travel Distance:	Table 1016.2. S-2 - 400 ft., R - 250 ft, with 903.3.1.1 - NFPA 13.

ACCESSIBILITY (MN ACCESSIBILITY CODE) ICC/ANSI A117.1-2003 REFERENCED UNO	
Building Entrances:	60% of building entrances must be accessible
Type A Accessible Dwelling Units:	2 required accessible units without roll-in showers and 0 accessible unit with roll-in shower (MHA requires 5% of units = 3 total - 2 without roll-in shower and 1 with roll-in shower). Table 1007.6.11.
Accessible Parking Stalls:	2 required stalls (MHA requires 3 stalls both garage parking and surface parking, 1 - per accessible unit). Table 1106.1.
Accessible Dwelling Units with Accessible Communication:	Not required for R2 occupancy (MHA requires at least 2% of units with one Type A unit, but not more than 10% to be an Accessible Communication unit.)
Type B Units:	All non-Type A units. Section 1107.6.2.1.2. All bathrooms shall be a Type B - Option A bathroom.

*STANDARD HOUSING ACCESSIBILITY REVIEW AVAILABLE

INTERIOR ENVIRONMENT (IBC CHAPTER 12)	
Ventilation:	
Temperature Control:	System must provide 68 degree temp at a point 3ft above floor on the design heating day.
Lighting:	
Sound Transmission (DWELLING UNITS ONLY)	Common interior walls, partitions, and floor ceiling assemblies between adj dwelling units or between dwelling units and public spaces. Airborne sound: STC > 50 STC (45 Field STC) - tested in accordance with ASTM E 90.

Treat openings, penetrations, etc. to maintain rating (except entry doors).	
Structure-borne sound: IIC > 50 STC (45 Field IIC) - per ASTM E 492	
Interior Space Dimensions:	Section 1208.3.
Access to Unoccupied Spaces:	Section 1209.
Surrounding Materials:	Section 1210.
ENERGY EFFICIENCY (IBC CHAPTER 13 - 2015 MINNESOTA ENERGY CODE)	
See International Energy Conservation Code and local amendments. Complete necessary documentation.	
Building Envelope (Prescriptive):	Tables C402.1.2 / C402.2 - Climate zone 6 - Group R Roofs: Attic and other - U-0.021 / R49 Walls, Above Grade: Wood framed and other - U-0.051 / R-13 + R-7.5ci or R-20 + R3.8ci Walls, Below Grade: Below-grade wall - C-0.119 / R-7.5ci Floors, Mass - U-0.057 / R-12.5ci Slab-on-Grade Floors, Unheated slabs - F-0.52 / R-15 for 24" below Opaque Doors: Swinging - U-0.37, Rollup - R-4.75
Fenestration (Prescriptive):	C402.3.1 Maximum Area. Vertical fenestration shall not exceed 30% of the gross above-grade wall area. Table C402.3 - Climate zone 6 Vertical fenestration U-factor. Fixed fenestration - 0.36, Operable fenestration - 0.43, Entrance doors - 0.77, & SHGC - 0.40.
Air Leakage:	C402.4.1 Air barriers. A continuous air barrier shall be provided throughout the building thermal envelope. C402.4.1.2 Air barrier compliance options. C402.4.1.2.1 Materials. Joints to be sealed and materials are installed as air barriers. Item 15. Precast concrete C402.4.1.2.2 Assemblies. Item 1. Concrete masonry walls coated with one application of black filler and two applications of a paint or sealer coating.
Air Leakage Fenestration:	Table C402.4.3. Maximum Air Infiltration Rate (CFM/FF). Windows - 0.20, Sliding doors - 0.20, Swinging doors - 0.20, Storefront glazing - 0.06, Commercial glazed swinging entrance doors - 1.00, Garage doors - 0.40.
Vestibules:	C402.4.7 Vestibules. All building entrances shall be protected with an enclosed vestibule. Exceptions: 3. Doors opening directly from dwelling unit 4. Doors that open directly form a space less than 3,000 s.f. in area. 6. Doors used primarily to facilitate vehicular movement of material handling and adjacent personnel doors.

REVIEW Chapter. Obtain input and approval from engineers.
 Fill in the following table format:

Item Requiring Testing	Required Standard	Type of Inspector	Frequency	Responsible for Inspections
Ventilation:				
Temperature Control:				
Lighting:				

PLUMBING FIXTURE REQUIREMENTS (IBC CHAPTER 29 & LOCAL CODES)	
Plumbing Fixture Counts:	A-3: 96 occupants (48 men & 48 women)
Men	1 per 200
Women	1 per 200

FIRST FLOOR AREA SCHEDULE

NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10			REMARKS	Level
					FLOOR AREA PER OCCUPANT	SF PER OCC. MEASUREMENT	MAX. ALLOWABLE OCCUPANT LOAD		
	Area	225 SF	(none)	(none)				FIRST FL T.O. CAST UNDERLAYMENT	
	Area	50 SF	(none)	(none)				FIRST FL T.O. CAST UNDERLAYMENT	
101	CLUB ROOM	1,195 SF	A-3	ASSEMBLY - W/O FIXED SEATING - UNCONCENTRATED	15 NET		80	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 1A	Area	683 SF	R-3	RESIDENTIAL	200 GROSS		4	THIRD FLOOR	
UNIT 1A	Area	683 SF	R-3	RESIDENTIAL	200 GROSS		4	SECOND FLOOR	
UNIT 1A	Area	686 SF	R-3	RESIDENTIAL	200 GROSS		4	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 2A	Area	977 SF	R-3	RESIDENTIAL	200 GROSS		5	THIRD FLOOR	
UNIT 2A	Area	976 SF	R-3	RESIDENTIAL	200 GROSS		5	THIRD FLOOR	
UNIT 2A	Area	1,030 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 2A	Area	978 SF	R-3	RESIDENTIAL	200 GROSS		5	SECOND FLOOR	
UNIT 2A	Area	979 SF	R-3	RESIDENTIAL	200 GROSS		5	SECOND FLOOR	
UNIT 2A	Area	1,028 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 2A	Area	978 SF	R-3	RESIDENTIAL	200 GROSS		5	SECOND FLOOR	
UNIT 2A	Area	1,028 SF	R-3	RESIDENTIAL	200 GROSS		6	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 2A	Area	977 SF	R-3	RESIDENTIAL	200 GROSS		5	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 2A	Area	977 SF	R-3	RESIDENTIAL	200 GROSS		5	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 2B	Area	940 SF	R-3	RESIDENTIAL	200 GROSS		5	THIRD FLOOR	
UNIT 2B	Area	940 SF	R-3	RESIDENTIAL	200 GROSS		5	SECOND FLOOR	
UNIT 2B	Area	941 SF	R-3	RESIDENTIAL	200 GROSS		5	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 2C	Area	1,068 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 2C	Area	1,056 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 2C	Area	1,062 SF	R-3	RESIDENTIAL	200 GROSS		6	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 3A	Area	1,301 SF	R-3	RESIDENTIAL	200 GROSS		7	THIRD FLOOR	
UNIT 3A	Area	1,039 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 3A	Area	1,294 SF	R-3	RESIDENTIAL	200 GROSS		7	SECOND FLOOR	
UNIT 3A	Area	1,013 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 3A	Area	1,298 SF	R-3	RESIDENTIAL	200 GROSS		7	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 3B	Area	1,200 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 3B	Area	1,193 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 3B	Area	1,194 SF	R-3	RESIDENTIAL	200 GROSS		6	THIRD FLOOR	
UNIT 3B	Area	1,199 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 3B	Area	1,197 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 3B	Area	1,197 SF	R-3	RESIDENTIAL	200 GROSS		6	SECOND FLOOR	
UNIT 3B	Area	1,192 SF	R-3	RESIDENTIAL	200 GROSS		6	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 3B	Area	1,189 SF	R-3	RESIDENTIAL	200 GROSS		6	FIRST FL T.O. CAST UNDERLAYMENT	
UNIT 3C	Area	1,402 SF	R-3	RESIDENTIAL	200 GROSS		7	THIRD FLOOR	
UNIT 4A	Area	1,540 SF	R-3	RESIDENTIAL	200 GROSS		8	THIRD FLOOR	
UNIT 4A	Area	1,530 SF	R-3	RESIDENTIAL	200 GROSS		8	SECOND FLOOR	
UNIT 4A	Area	1,546 SF	R-3	RESIDENTIAL	200 GROSS		8	FIRST FL T.O. CAST UNDERLAYMENT	
		40,985 SF					295		

Electrical Code: 2017 National Electrical Code
 Elevator Code: Min. Rule 1307, Elevator and Related Devices
 Accessibility Code: 2015 MN State accessibility Code Chapter 1341
 Life Safety Code (NFPA):

BUILDING CLASSIFICATION AND LIMITATIONS:	
Occupancy Classification(s) by Code:	Storage Group S-2 (Garage level) Residential Group R-2 (Floors 1 thru 4) Assembly Group A3 (Club Room)
Occupancy Separation(s): (Table 508.4)	Separation between types S-2 and R is 1 hour (for NFPA 13 sprinkler systems) Dwelling Unit separation walls to be 1-hour rated fire partitions. Dwelling Unit horizontal separation to be 1-hour rated horizontal assemblies. Club Room at 1493 s.f. is an A-3 occupancy, which is less than 10% of the first floor area 19,871 s.f. and therefore is an accessory occupancy 508.2. No separation is required between accessory occupancy and the main occupancy 508.2.4.
Non-Separated Uses:	
Incidental Use Areas (Table 508.2)	
Automatic Sprinkler System:	Section 903.3.1.1 NFPA 13 sprinkler system - City Maple Grove requirement. Storage System: Group R-2 occupancies small hose connections 905.3.10
Portable Fire Extinguishers:	
Construction Type:	Type V-A
Buildings on the Same Lot:	No
Maximum Allowable Area:	
Basic Limit (Table 503)	12,000 s.f.
Allowable Area with Area Increase	44,196 s.f.
For Frontage	8,196 s.f. per story
For sprinkler	24,000 s.f. per story
Area Increase Formula	Formula = A ₁ = A ₂ + [A ₂ x L] / [A ₁ x L] 12,000 / (12,000 x 0.683) = 12,000 x 2 = 44,196 s.f. per level Frontage Increase = 1 = [F/P - 0.25]W/30 = (827/866 - 0.25)30/30 = 0.683
Maximum Allowable Heights:	
Basic Limit	3 stories
Height Modifications:	4 stories - Section 504.2 allows Group R building increase height one story with Section 903.3.1.1 NFPA 13 sprinkler system. 70 ft. - Section 504.2 allows for building height increase of 20 feet with NFPA 13 sprinkler system.
Is this a High Rise Classification:	no
Mixed Occupancy Area Calculation:	
Special Requirements based on Occupancy:	Section 420. Walls and floor assemblies separating dwelling units and dwelling units from other occupancies to be 1-hour fire-rated fire partitions and horizontal assemblies respectively.

only two stories are not required to be enclosed.)	
Incidental use areas (508.2)	No separation required.
Central areas (414.2.3)	na
Separation of Mixed Occs	
Exterior walls (705)	705.2.2 Projections from walls of Type V construction shall be of any approved material. 705.5 The required fire-resistance rating of exterior walls with a fire separation distance of greater than 10 feet shall be rated for exposure to fire from the inside (only).

Fire Partitions (Section 708)	
Dwelling Unit Demising Walls	1 hr - 708.3
Corridor Walls (1018.1)	R occupancy 0.5 hrs with sprinkler system, A/B occupancy 0 hrs with sprinkler system, - Table 1018.1 / 708.3.1
Elevator Lobby Walls	Not required 713.14.1.4
Horizontal Assemblies	1 hr @ all floors - Table 601 (S - Section 903.3.1.1)

- Definitions:
- Fire Wall (Section 705): A fire-resistance-rated wall having protected openings, which restrict the spread of fire and extends continuously from the foundation to or through the roof, with sufficient structural stability under fire conditions to allow collapse of construction on either side without collapse of the wall. Used to create separate buildings. NOT USED.
 - Fire Barrier (Section 706): A fire-resistance-rated wall assembly of materials designed to restrict the spread of fire in which continuity is maintained.
 - Fire Partition: A vertical assembly of materials designed to restrict the spread of fire in which openings are protected.
 - Fire Separation Distance: The distance measured from the building face to one of the following:
 - To closest interior lot line
 - To the centerline of a street, alley or public way
 - To an imaginary line between two buildings on the property
 - Shaft: An enclosed space extending through one or more stories of a building, connecting vertical openings in successive floor, or floors and roof.

ADDITIONAL FIRE REQUIREMENTS:	
Penetrations (Section 714)	Section 714
Joint Systems (Section 715)	Section 715
Structural Members (Section 714)	See requirements above from Table 601. Shall not be less than the rating required for the fire-resistance-rated assemblies supported.
Opening Protectives (Section 716)	1 1/2 hrs @ 2 hr shafts, 1 hr @ 1 hr fire barriers for shafts, exit enclosures, 3/4 hr @ other 1 hr fire-rated fire barriers & fire partitions, 1/3 hr @ 0.5 hr corridor walls
Duct/Transfer Openings (717)	Section 717: 1.5 hours minimum damper rating for less than 3-hour fire-resistance-rated assemblies.
Concealed Spaces (Section 718)	
Fireblocking:	Section 718.2
Draftstopping Flr/Ceiling:	Section 718.2. Draftstopping shall be located above and in line with the dwelling unit separation.
Draftstopping in Attic:	Section 718.4.2 Groups R-1 and R-2, Exception 2. Draftstopping is not required in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

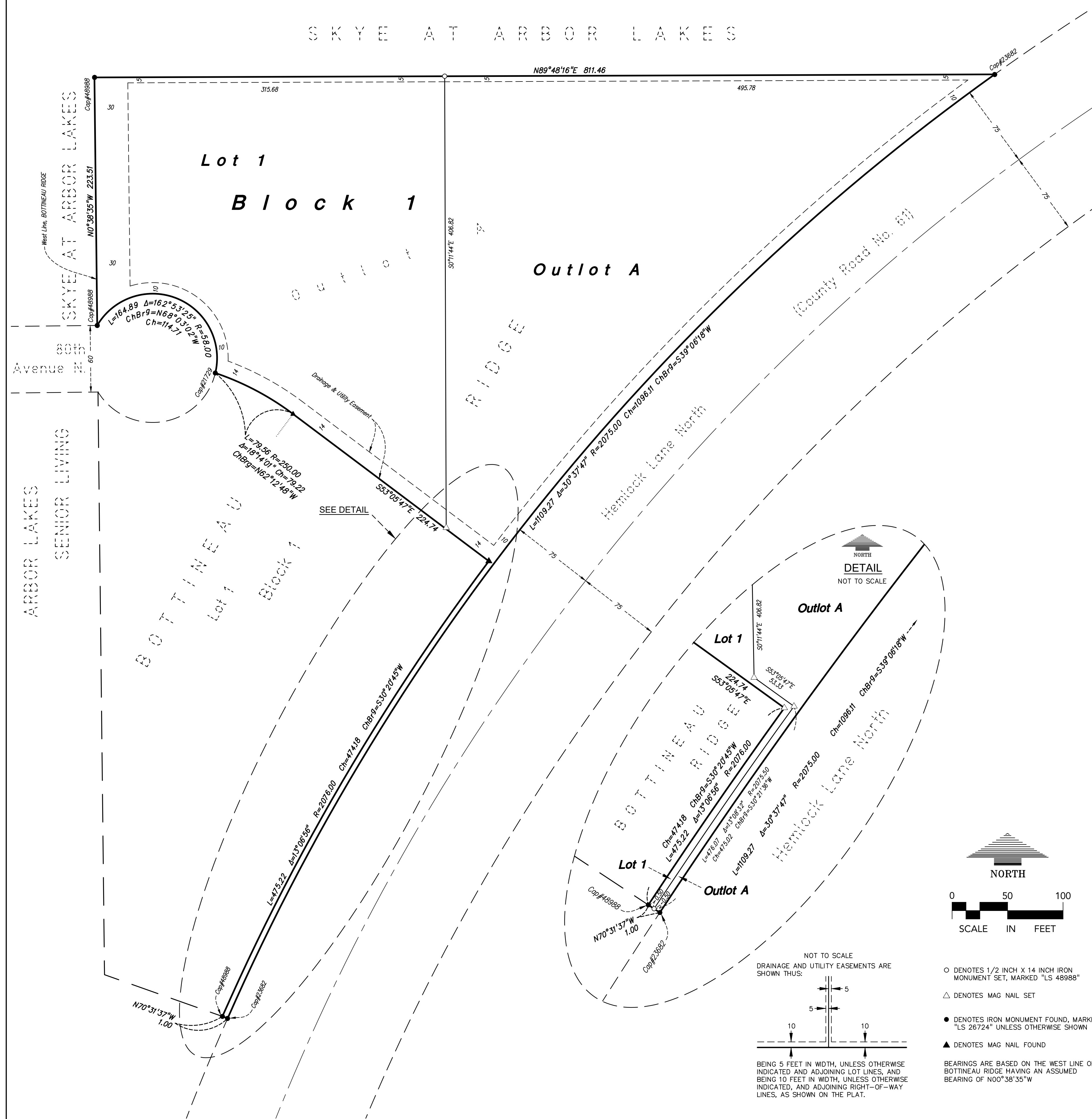
EGRESS REQUIREMENTS (IBC CHAPTER 10)	
Occupancy:	
Occupant Load: (Section 1004)	Residential (200 gross): 215 occupants Garage (200 gross): 18,693 s.f. = 93 occupants Storage/Mechanical (300 gross): 4 occupants A-3 Assembly without fixed seats, unconcentrated - tables and chairs (15 net): 1176/15

322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.74

BOTTINEAU RIDGE 2ND ADDITION

C.R. DOC. NO. _____

SKYE AT ARBOR LAKES



KNOW ALL PERSONS BY THESE PRESENTS: That JVF Development LLC, a limited liability corporation, fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

Outlot A, BOTTINEAU RIDGE.

Has caused the same to be surveyed and platted as BOTTINEAU RIDGE 2ND ADDITION and does hereby dedicate to the public for public use forever the easements for drainage and for utility purposes as shown on this plat.

In witness whereof said JVF Development LLC, a limited liability corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

JVF Development LLC.

(Signature) _____

(Title) _____

State of _____
County of _____

This instrument was acknowledged before me this _____ day of _____, 20____ by _____, of JVF Development LLC, a limited liability corporation, on behalf of the corporation.

(Signature) _____

(Printed Name) _____

Notary Public _____ County, _____

My Commission Expires January 31, 20____

SURVEYORS CERTIFICATION

I, Max L. Stanislawski, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Max L. Stanislawski, Licensed Land Surveyor
Minnesota License No. 48988

State of Minnesota
County of Hennepin

This instrument was acknowledged before me this _____ day of _____, 20____ by Max L. Stanislawski, a Licensed Land Surveyor.

(Signature) _____

(Printed Name) _____

Notary Public _____ County, Minnesota

My Commission Expires January 31, 20____

MAPLE GROVE, MINNESOTA

This plat of BOTTINEAU RIDGE 2ND ADDITION was approved and accepted by the City Council of Maple Grove, Minnesota, at a regular meeting thereof held this _____ day of _____, 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF MAPLE GROVE, MINNESOTA

By _____, Mayor By _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Mark V. Chapin, Hennepin County Auditor

By _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969) this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, Hennepin County Surveyor

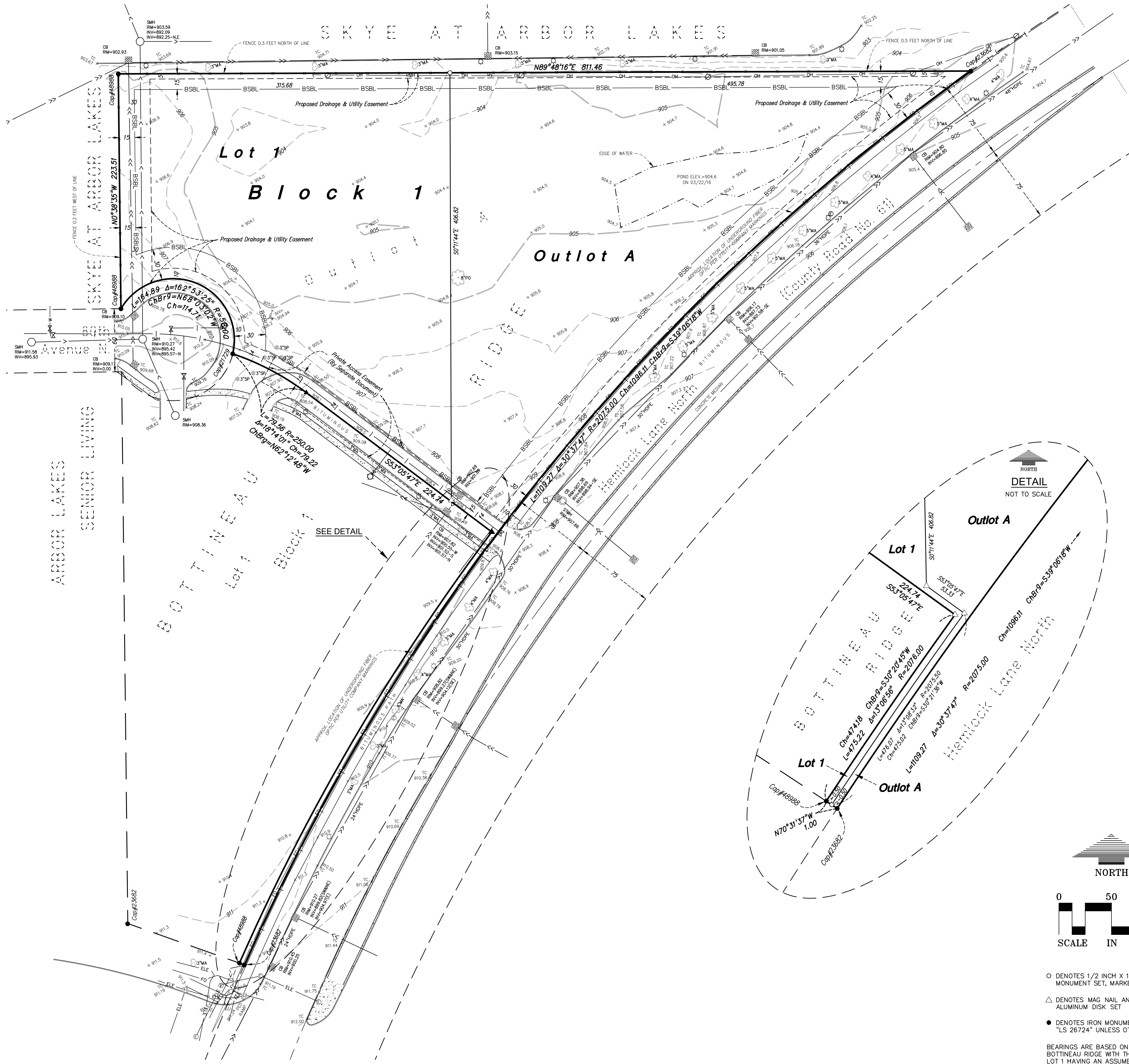
By _____

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of BOTTINEAU RIDGE 2ND ADDITION was filed in this office this _____ day of _____, 20____, at _____ o'clock _____ M.

Martin McCormick, County Recorder

By _____ Deputy



DESCRIPTION OF PROPERTY

Outlot A, BOTTINEAU RIDGE, according to the recorded plat thereof, Hennepin County, Minnesota.

PRELIMINARY PLAT GENERAL NOTES

EXISTING ZONING:
Zone R-A (Single Family - Agricultural)

PROPOSED ZONING:
Zone PUD (Planned Unit Development)

AREAS:
Lot 1 Area = 91,065 +/- Sq.Ft. or 2.09 +/- Acres
Outlot A Area = 107,708 +/- Sq.Ft. or 2.47 +/- Acres
Total Property Area = 198,773 +/- Sq.Ft. or 4.56 +/- Acres

PROPOSED BUILDING SETBACKS:
Front = 30 Feet
Side = 15 Feet
Rear = 15 Feet

FLOOD ZONE DESIGNATION:
This property is contained in unprinted Flood Insurance Rate Map, Community Panel No. 27053C0181E

GOPHER ONE CALL:
We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 120720027. The following utilities and municipalities were notified:

- City of Maple Grove (763-494-6370)
- Center Point Energy (800-778-9140)
- Embarq (800-762-0592)
- Xcel Energy (612-630-4366)
- Comcast (612-522-8141);
- Windstream Communications (763-682-3514)
- Wright Hennepin Coop (800-778-9140)



- i. Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further.
- ii. The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.
- iii. Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. **EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.**

SURVEY REPORT

- 1) This survey was performed without the benefit of a Title Commitment. There may or may not be easements of record encumbering this property.

SURVEY LEGEND

- CATCH BASIN
- ⊙ STORM MANHOLE
- SANITARY MANHOLE
- ⊕ HYDRANT
- ⊗ GATE VALVE
- ⊗ POWER POLE
- ⊗ LIGHT POLE
- ⊗ GUY WIRE
- ⊗ SIGN
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- w — WATER MAIN SERVICE
- OH — OVERHEAD UTILITY
- x — CHAIN LINK FENCE
- BSBL — BUILDING SETBACK LINE
- CONCRETE CURB
- CONCRETE
- 972.5 SPOT ELEVATION
- 872 CONTOUR
- DECIDUOUS TREE
- MA MAPLE
- TC TOP OF CURB

○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "LS 48988"
 △ DENOTES MAG NAIL AND ALUMINUM DISK SET
 ● DENOTES IRON MONUMENT FOUND, MARKED "LS 26724" UNLESS OTHERWISE SHOWN

BEARINGS ARE BASED ON THE PLAT OF BOTTINEAU RIDGE WITH THE WEST LINE OF LOT 1 HAVING AN ASSUMED BEARING OF N00°38'35"W

BENCHMARK: TOP NUT HYDRANT LOCATED SOUTH OF LOT 1 AS SHOWN HEREON.
 ELEVATION=912.29 FEET (NGVD 1929 DATUM)

BOTTINEAU RIDGE 2ND ADDITION

MAPLE GROVE, MN

DUFFY DEVELOPMENT

11900 WAYZATA BLVD.
 MINNETONKA, MN 55305

LOUCKS

PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

04/08/16	SURVEY ISSUED
04/26/16	SURVEY REVISED
09/11/17	SURVEY REVISED

PROFESSIONAL SIGNATURE

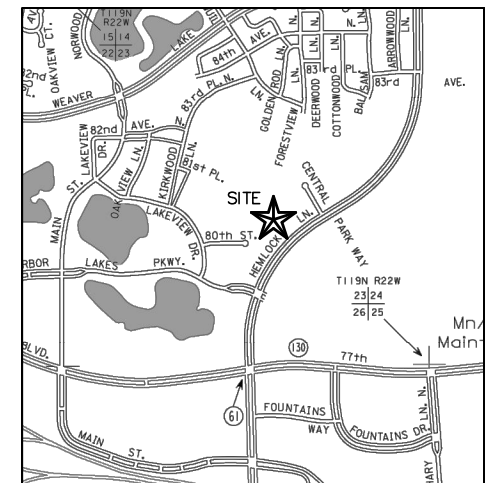
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski - PLS 48988
 Date 04/08/16

QUALITY CONTROL

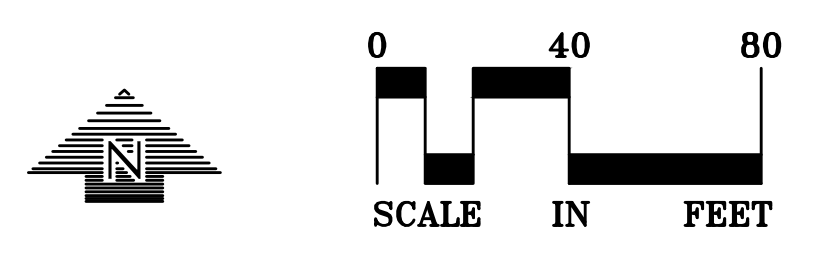
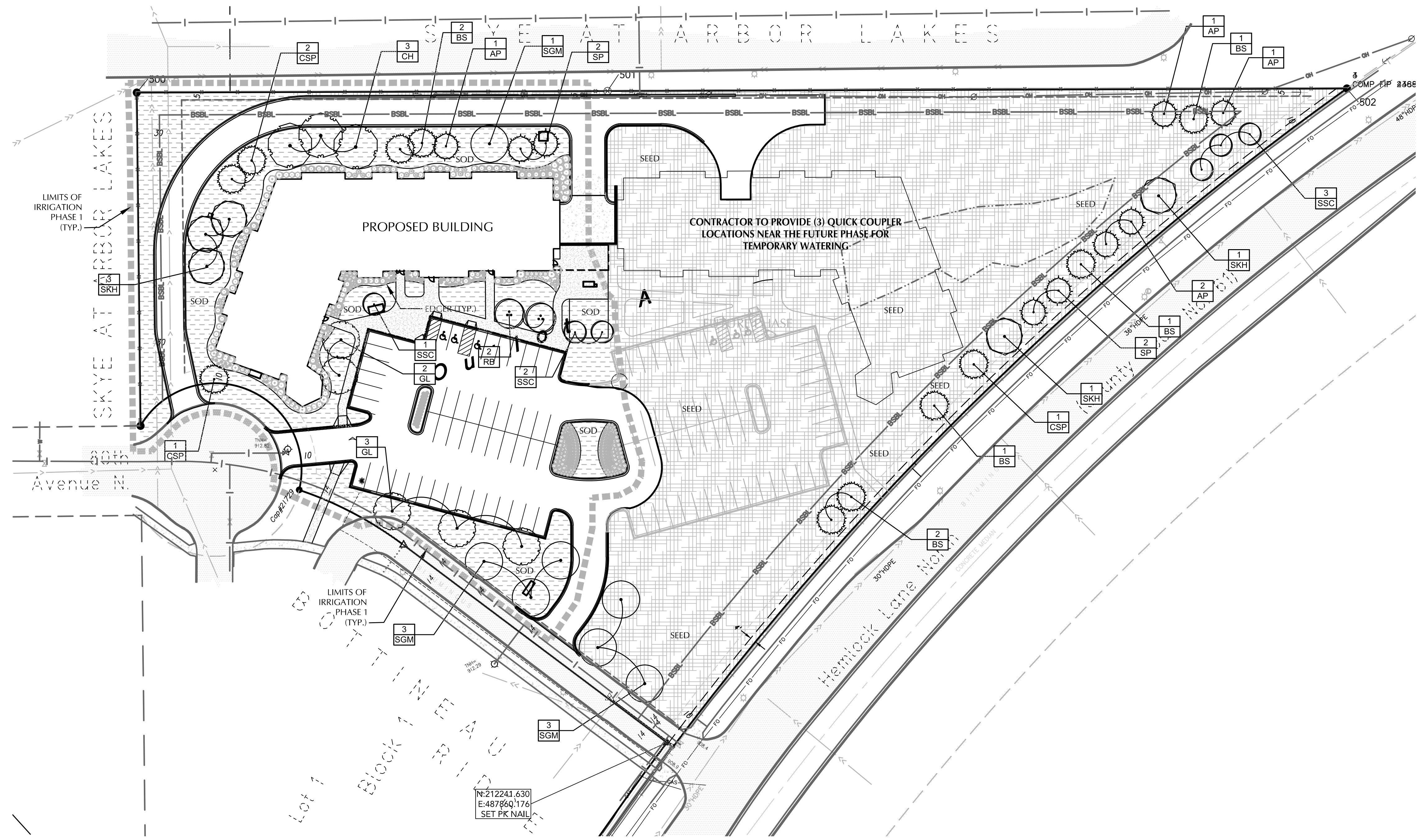
Loucks Project No. 12023C
 Project Lead HDN
 Drawn By KMM
 Checked By MLS
 Field Crew DP

VICINITY MAP



PRELIMINARY PLAT

C-3



BOTTINEAU RIDGE 2ND ADDITION
Maple Grove, MN

DUFFY DEVELOPMENT
11900 Wayzata Blvd.
Minnetonka, MN 55305

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

CADD QUALIFICATION

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SUBMITTAL/REVISIONS

04/08/16	CITY SUBMITTAL
04/28/16	CITY RESUBMITTAL
09/11/17	CITY SUBMITTAL
12/07/17	ADDENDUM 1

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Stephen D. Loken
Stephen D. Loken - LA
License No. 45591
Date 12/07/17

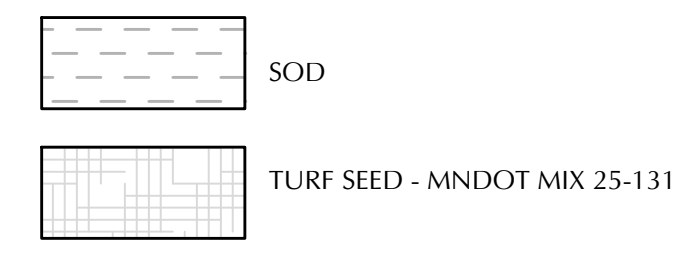
QUALITY CONTROL

Loucks Project No.	12023C
Project Lead	DDL
Drawn By	GAJ
Checked By	DDL
Review Date	12/07/17

SHEET INDEX

TREE SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
SGM	7	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5"Cal
RB	2	RIVER BIRCH	Betula nigra	B & B	2.5"Cal
CH	3	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5"Cal
SKH	5	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	B & B	2.5"Cal
GL	5	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5"Cal
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
BS	7	BLACK HILLS SPRUCE	Picea glauca 'Densata'	B & B	6' MIN. HGT.
CSP	4	COLORADO SPRUCE	Picea pungens	B & B	6' MIN. HGT.
SP	4	SWISS PINE	Pinus cembra	B & B	6' MIN. HGT.
AP	5	AUSTRIAN PINE	Pinus nigra	B & B	6' MIN. HGT.
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
SSC	6	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5"Cal



LANDSCAPE REQUIREMENTS - TOTAL SITE

MINIMUM OVERSTORY TREE REQUIRED
PERIMETER/40 = MINIMUM OVERSTORY TREES REQUIRED
2,532 L.F./40 = 63 OVERSTORY TREES REQUIRED
42 PROPOSED TREES - CURRENT PHASE
21 PROPOSED TREES - FUTURE PHASE

ADDITIONAL LANDSCAPING - THIS PROJECT IS TO INCLUDE ORNAMENTAL TREES, SHRUBS, AND PERENNIALS TO COMPLIMENT THE PROPOSED OVERSTORY TREES SHOWN ON THIS PLAN. REFER TO SHEET L-2.

1 ADDENDUM 1 - THE LANDSCAPE PLAN WAS UPDATED FROM THE APPROVED CITY SUBMITTAL DOCUMENTS. PLAN SUBTRACTS TREES TO BE PLANTED IN A FUTURE PHASE. PLAN INCLUDES SPECIES LABELS FOR SHRUB/PERENNIAL PLANTINGS.



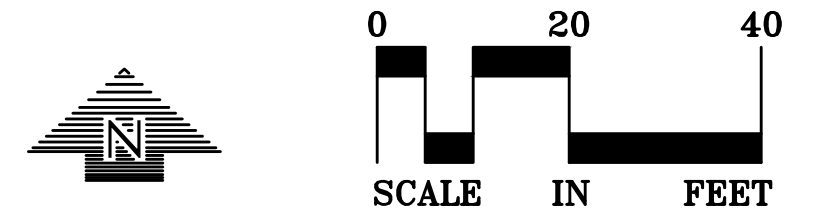
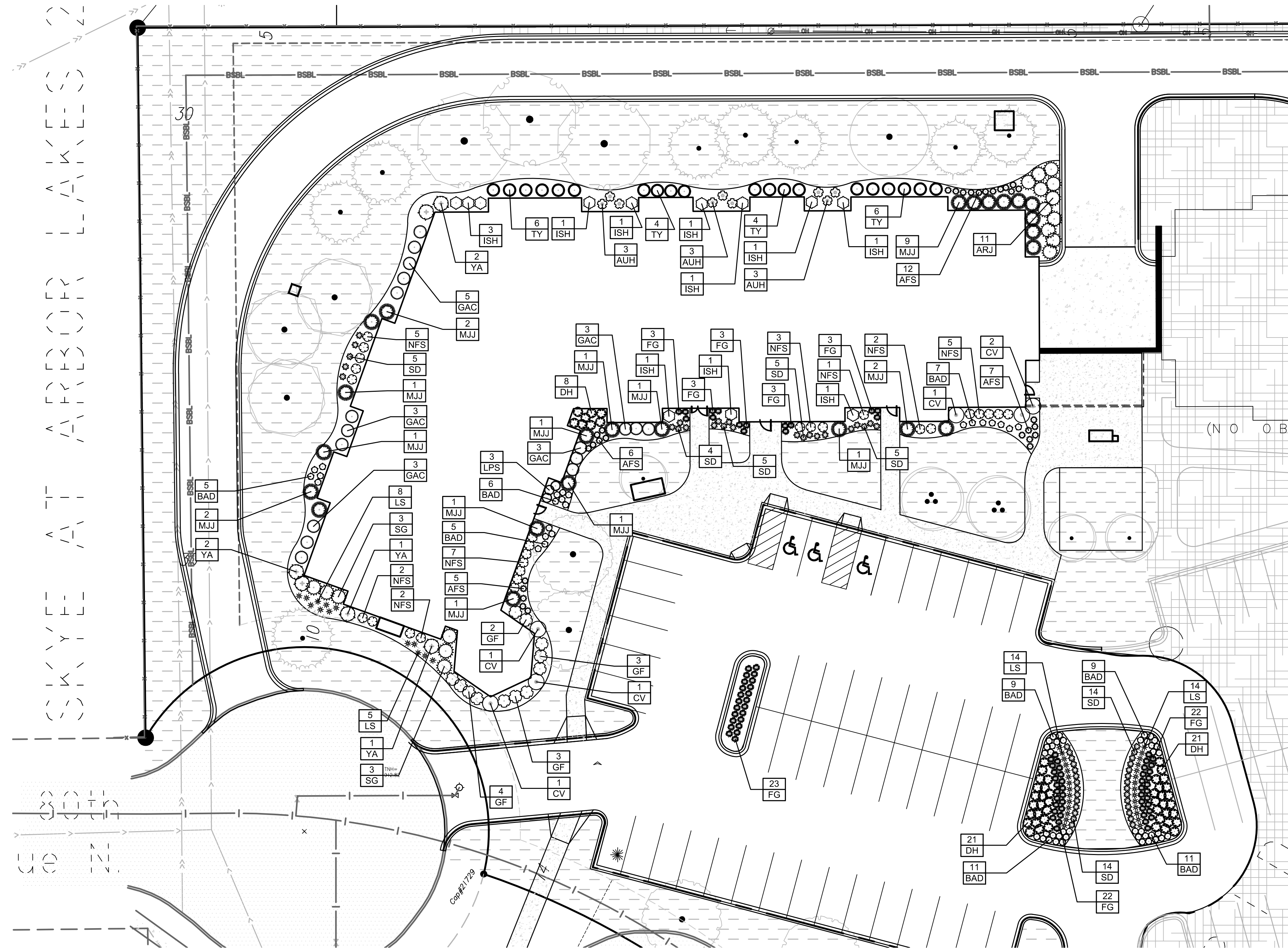
CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

LANDSCAPE PLAN
L-1



**BOTTINEAU
RIDGE 2ND
ADDITION**

Maple Grove, MN

**DUFFY
DEVELOPMENT**

11900 Wayzata Blvd.
Minnetonka, MN 55305

LOUCKS

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SUBMITTAL/REVISIONS

04/08/16 CITY SUBMITTAL
04/28/16 CITY RESUBMITTAL
09/11/17 CITY SUBMITTAL
12/07/17 ADDENDUM 1

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Stephen D. Loken
Stephen D. Loken - LA
License No. 45591
Date 12/07/17

QUALITY CONTROL

Loucks Project No. 12023C
Project Lead DDL
Drawn By GAJ
Checked By DDL
Review Date 12/07/17

SHEET INDEX

SHRUB SCHEDULE

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
DH	50	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	5 gal	18" HGT
ISH	12	INVINCIBLE SPIRIT HYDRANGEA	Hydrangea arborescens 'Invincible Spirit'™	5 gal	24" HGT
GF	12	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD
GAC	17	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	5 gal	24" HGT
LPS	3	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	5 gal	24" HGT
NFS	27	NEON FLASH SPIREA	Spiraea japonica 'Neon Flash'	5 gal	24" HGT
CV	6	COMPACT AMERICAN VIBURNUM	Viburnum trilobum 'Bailey Compact'	5 gal	24" HGT
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
MJJ	24	MINT JULEP JUNIPER	Juniperus chinensis 'Monlep'	5 gal	18" SPRD
SG	6	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	5 gal	18" SPRD
ARJ	11	ARCADIA JUNIPER	Juniperus sabina 'Arcadia'	5 gal	18" SPRD
TY	20	TAUNTON YEW	Taxus x media 'Taunton'	5 gal	18" SPRD
YA	6	YELLOW RIBBON ARBORVITAE	Thuja occidentalis 'Yellow Ribbon'	10 gal	36" HGT
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
FG	82	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
BAD	63	BAJA DAYLILY	Hemerocallis x 'Baja'	1 gal	
SD	52	STELLA D' ORO DAYLILY	Hemerocallis x 'Stella de Oro'	1 gal	
AUH	9	AUREOMARGINATA HOSTA	Hosta montana 'Aureomarginata'	1 gal	
LS	41	LITTLE SPIRE RUSSIAN SAGE	Perovskia x 'Little Spire'	1 gal	
AFS	30	AUTUMN FIRE SEDUM	Sedum x 'Autumn Fire'	1 gal	

1 ADDENDUM 1 - THE LANDSCAPE PLAN WAS UPDATED FROM THE APPROVED CITY SUBMITAL DOCUMENTS. PLAN SUBTRACTS TREES TO BE PLANTED IN A FUTURE PHASE. PLAN INCLUDES SPECIES LABELS FOR SHRUB/PERENNIAL PLANTINGS.



CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**LANDSCAPE
PLAN
L-2**

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

04/08/16	CITY SUBMITTAL
04/28/16	CITY RESUBMITTAL
09/11/17	CITY SUBMITTAL
12/07/17	ADDENDUM 1

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Thomas D. Loken
Thomas D. Loken - LA
License No. 45591
Date 12/07/17

QUALITY CONTROL

Loucks Project No.	12023C
Project Lead	DDL
Drawn By	GAJ
Checked By	DDL
Review Date	12/07/17

SHEET INDEX

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. TURF SEED MIX AREAS SHALL BE INSTALLED AND MULCHED ACCORDING TO THE MNDOT SEED MANUAL INSTALLATION SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKE PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DEC. 1 AND REMOVE ALL WRAPPING AFTER MAY 1.

IRRIGATION NOTES:

VERIFY PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

ALL LANDSCAPED AREAS IN THE PHASE 2 AREAS SHALL BE IRRIGATED, THIS INCLUDES ALL SODDED AREAS AND PLANTING BEDS. THE IRRIGATION PLAN SHALL BE DESIGNED AND SIZED FOR THE FUTURE PHASE 3 IMPROVEMENTS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRAY ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTINGS / SOD / SEED HAVE BEEN ESTABLISHED. THIS INCLUDES THE TURF SEEDED AREA.

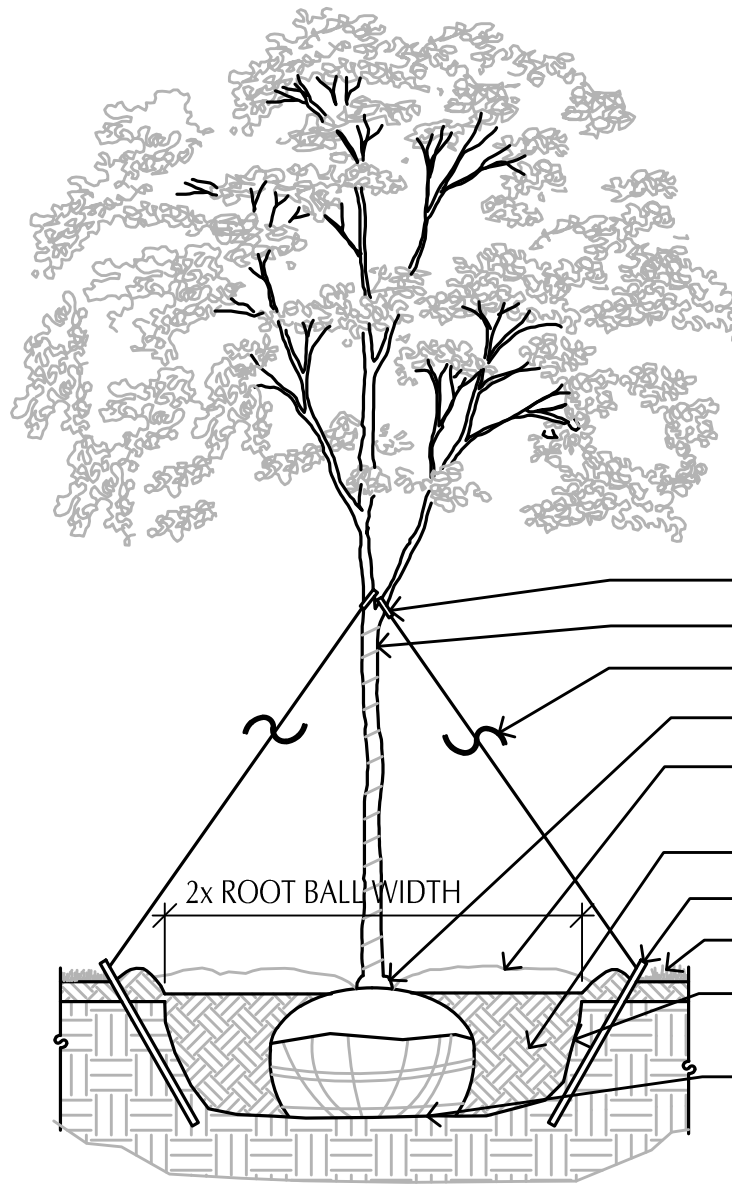
CONTRACTOR TO PROVIDE 3 QUICK COUPLERS IN LOCATIONS ACCESSIBLE TO PROVIDE TEMPORARY IRRIGATION TO THE FUTURE PHASE (TURF SEED AREAS).

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.



1
L-3
DECIDUOUS TREE PLANTING DETAIL

SCALE: 1/2" = 1'-0"

Deciduous Tree.DWG

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

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WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16x2 inch polypropylene or polyethylene strap

safety flagging - one per wire

mulch - 4" deep - see notes or specs. mulch must not be in contact with trunk.

backfill with in situ topsoil

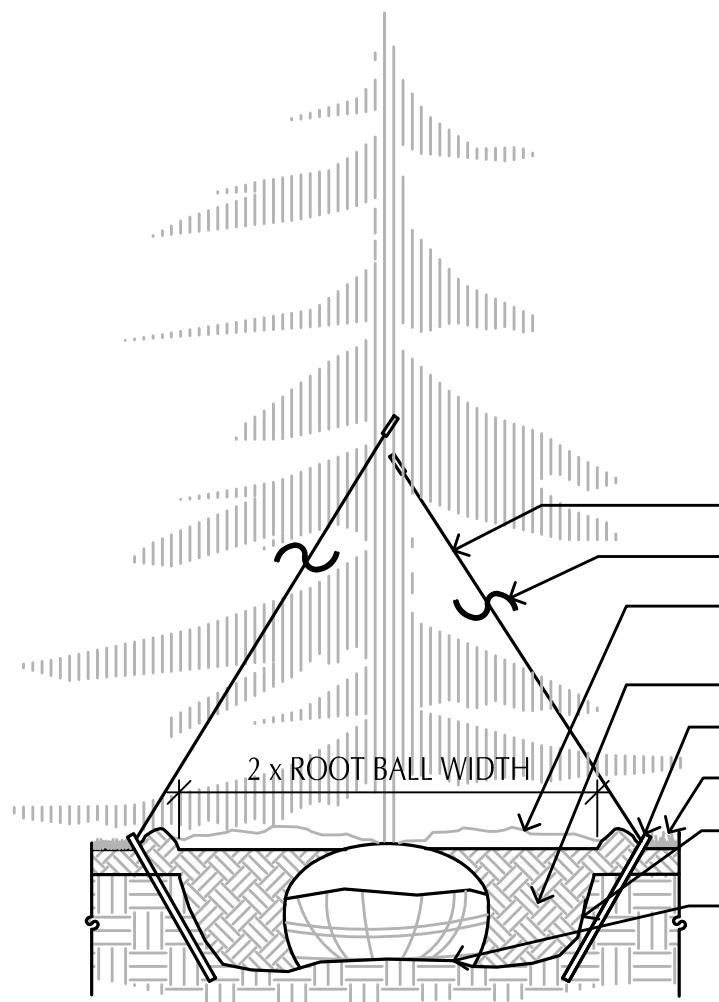
wood stake (optional)

edge varies - see plan

scarify bottom and sides of hole prior to planting

root ball set on undisturbed subgrade

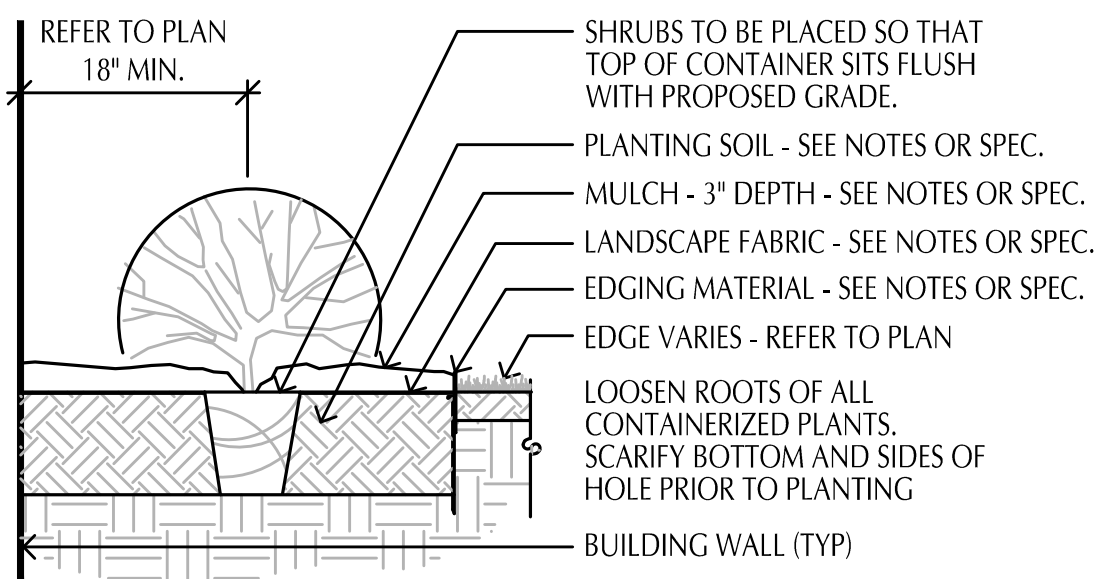
CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.



2
L-3
CONIFEROUS TREE PLANTING DETAIL

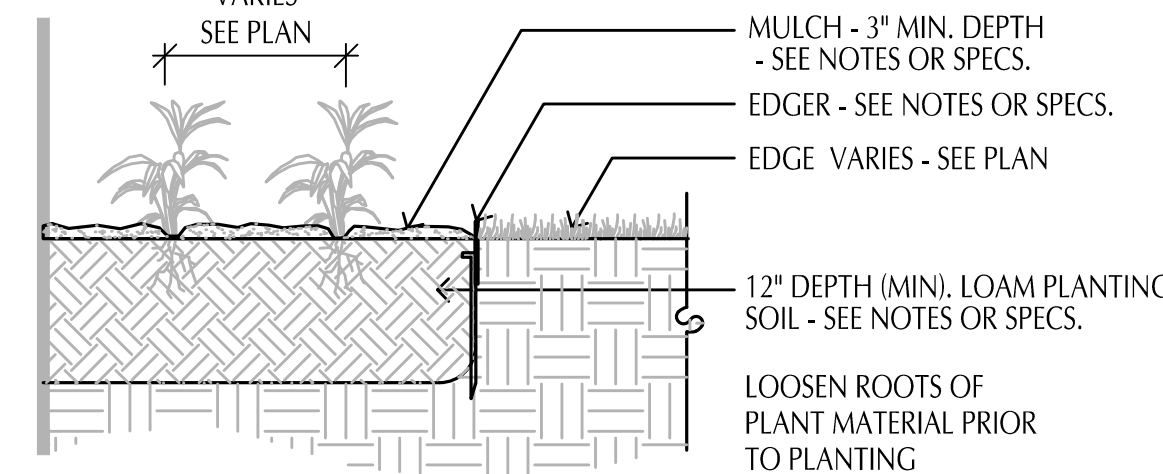
SCALE: 1/2" = 1'-0"

Coniferous Tree.DWG



3
L-3
SHRUB PLANTING DETAIL

SCALE: 3/4" = 1'-0"

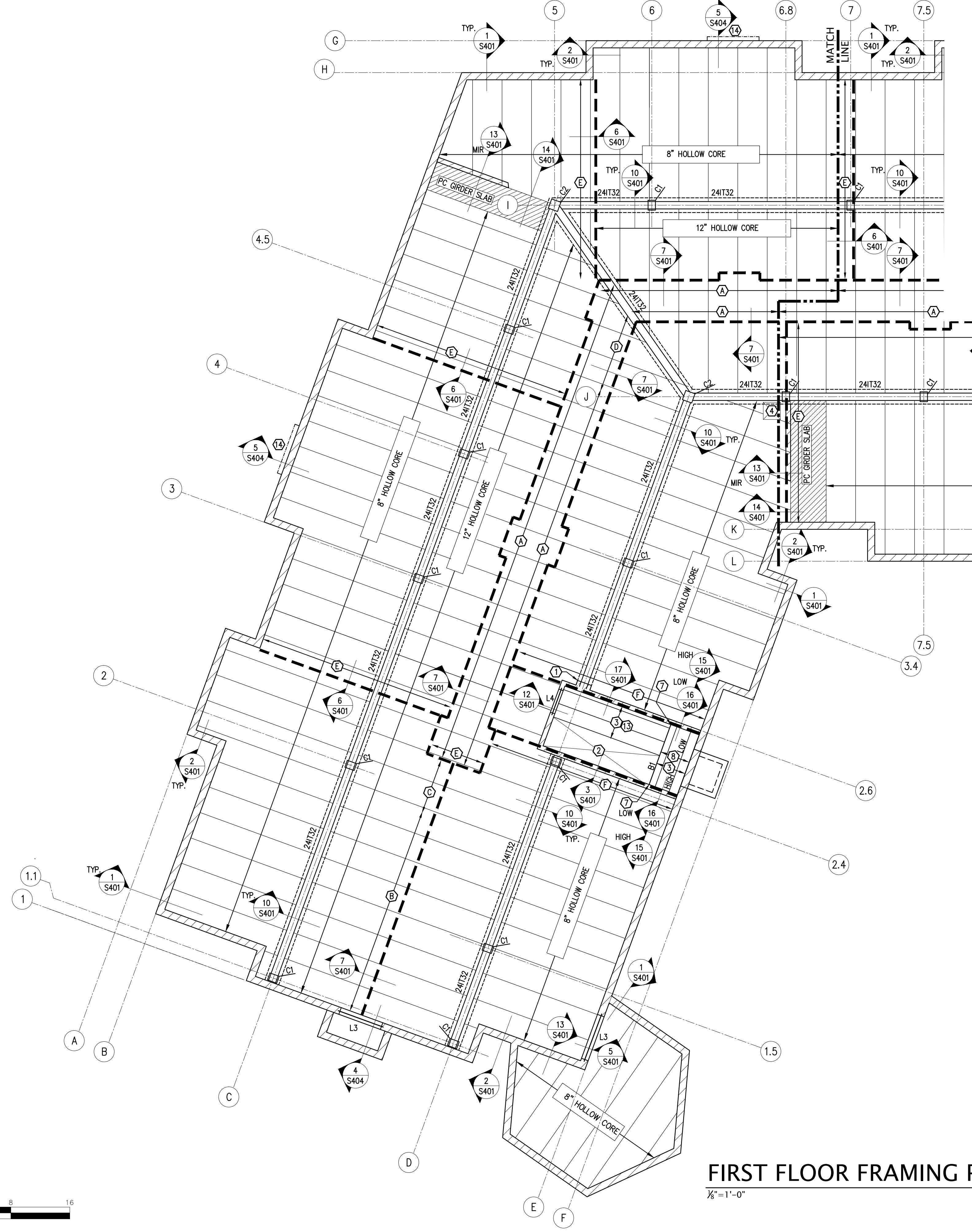


4
L-3
PERENNIAL PLANTING

SCALE: 3/4" = 1'-0"

Perennial.Dwg

1
ADDENDUM 1 - THE LANDSCAPE PLAN WAS UPDATED FROM THE APPROVED CITY SUBMITTAL DOCUMENTS. PLAN SUBTRACTS TREES TO BE PLANTED IN A FUTURE PHASE. PLAN INCLUDES SPECIES LABELS FOR SHRUB/PERENNIAL PLANTINGS.



PRECAST & CMU PLAN NOTES:

- TYPICAL REINFORCEMENT OF LOWER LEVEL TO BE:
 12" CMU - EXTERIOR WALLS, U.N.O.:
 #6 VERTS @ 1'-4" O.C. (INSIDE FACE)
 12" CMU - INTERIOR WALLS:
 #5 VERTS @ 2'-8" O.C. (CENTERED)
 8" CMU INTERIOR/EXT. BRG. WALLS:
 #5 VERTS @ 2'-8" O.C. (CENTERED)
 SEE GENERAL NOTES ON S001, 10/S301, AND PLAN FOR ADDITIONAL REINFORCEMENT REQUIRED.
- PRECAST SUPPLIER TO PROVIDE FRAMED FLOOR OPENING FOR ELECTRICAL FEED LINES. G.C. TO COORDINATE WITH ELECTRICAL.
- PRECAST TOPPING TO BE 1" GYPCRETE. TOPPING TO BE NON-COMPOSITE FOR PRECAST DESIGN.
- SEE SHEET S206/S207 FOR SHEAR WALL COMPONENTS EMBEDDED INTO CMU FOUNDATION WALLS.

ALTERNATE: CIP IN LIEU OF CMU

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 12" CIP - EXTERIOR WALLS, U.N.O.:
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 #4 VERTS @ 1'-6" O.C. (OUTSIDE FACE)
 #4 HORIZ. @ 1'-4" O.C. (EACH FACE)
 12" CIP - INTERIOR WALLS:
 #4 VERTS @ 1'-6" O.C. (EACH FACE)
 #4 HORIZ. @ 1'-4" O.C. (EACH FACE)
 8" CIP - INTERIOR/EXT. BRG. WALLS:
 #4 VERTS @ 1'-4" O.C. (CENTERED)
 #4 HORIZ. @ 1'-0" O.C. (CENTERED)

COLUMN SCHEDULE

MARK	SIZE	BASE PLATE	COMMENTS
C1	12"x16" PRECAST	BY SUPPLIER	-
C2	16"x16" PRECAST	BY SUPPLIER	-
C3	6x6 WOOD POST	SIMPSON ABW66Z (GROUT STANDOFF)	SIMPSON CQ/ECCQ COL. CAP
C4	5/8"x7 PSL	-	SIMPSON CQ/ECCQ COL. CAP
C5	5/8"x7 PSL	SIMPSON ABW (GROUT STANDOFF)	SIMPSON CQ/ECCQ COL. CAP

LINTEL SCHEDULE

MARK	SIZE	COMMENTS
L1	L4x3 1/2 x 3/8	S.D. 11/S401
L2	L6x3 1/2 x 3/8 W/MC12x10.6	S.D. 2/S403
L3	W10x49	S.D. 11/S401
L4	W8x18	S.D. 11/S401

KEYNOTES

- SEE DETAIL 9/S401 FOR PRECAST BEAM DETAIL.
- SEE DETAIL 1/S202A FOR STAIR FRAMING.
- 24" LANDING TRUSSES @ 2'-0" O.C. UNO
- PRECAST SUPPLIER TO PROVIDE FRAMED OPENING FOR TRASH CHUTE. SEE MECH. FOR DIMENSION AND LOCATION.
- SEE DETAIL 8/S401 FOR PRECAST BEAM BEARING.
- INFILL W/CONC. TOPPING TO 100'-0" ELEV.
- ATTACH STAIR HEADER TO GROUTED CMU W/ SIMPSON HU410 WITH TITEN SCREWS PER SIMPSON SPECS.
- 2x12 LANDING JOISTS @ 16" O.C.
- CONC. SLAB W/ #5 E.W. @ 1'-0" O.C. OVER RIGID INSULATION. SEE ARCH FOR SLOPE & FINISH.
- T.O.PLANK = 99'-3"
- T.O.PLANK = 98'-11"
- SEE DETAIL 9A/S401 FOR PRECAST BEAM BEARING.
- SIMPSON LBV3.56/24 TOP FLANGE HANGER @ WOOD BEAM.
- ALUMINUM FRAMED DECK.
- 12" CMU WALL W/ #6 VERTS @ 2'-8" O.C. (CENTERED)

PRECAST LOADING KEYNOTES

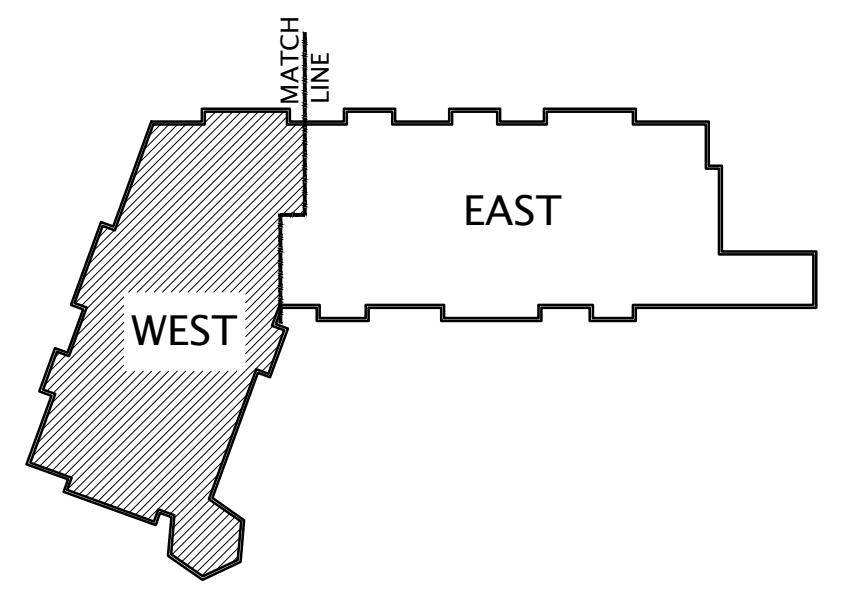
- SUPERIMPOSED LOADS PROVIDED ARE NOMINAL LOADS TO BE USED IN 2012 IBC COMBINATIONS WITH APPROPRIATE LOAD FACTORS. LIVE LOADS HAVE NOT BEEN REDUCED AS PER ASCE 7-10.
- (A) SUPERIMPOSED UNIFORM LINE LOAD
DL=2.1 KLF, LL=2.3 KLF, SL=0.8 KLF
 - (B) SUPERIMPOSED UNIFORM LINE LOAD
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DL=3.5 KLF, LL=4.2 KLF, SL=1.4 KLF
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DL=4.5 K, LL=5.6 K, SL=4.8 K
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DL=11.4 K, LL=13.6 K, SL=8.3 K
 - (K) SUPERIMPOSED CONCENTRATED LOAD
DL=13.3 K, LL=17.8 K, SL=8.4 K
 - (L) SUPERIMPOSED CONCENTRATED LOAD
DL=8.1 K, LL=10.1 K, SL=4.2 K
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DL=1.5 KLF, LL=0.3 KLF, SL=0.1 KLF
 - (N) SUPERIMPOSED UNIFORM LINE LOAD
DL=1.5 KLF, LL=1.8 KLF, SL=0.6 KLF



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
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REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	ADDENDUM	12/7/17



KEYPLAN

NO SCALE

FIRST FLOOR FRAMING PLAN - WEST

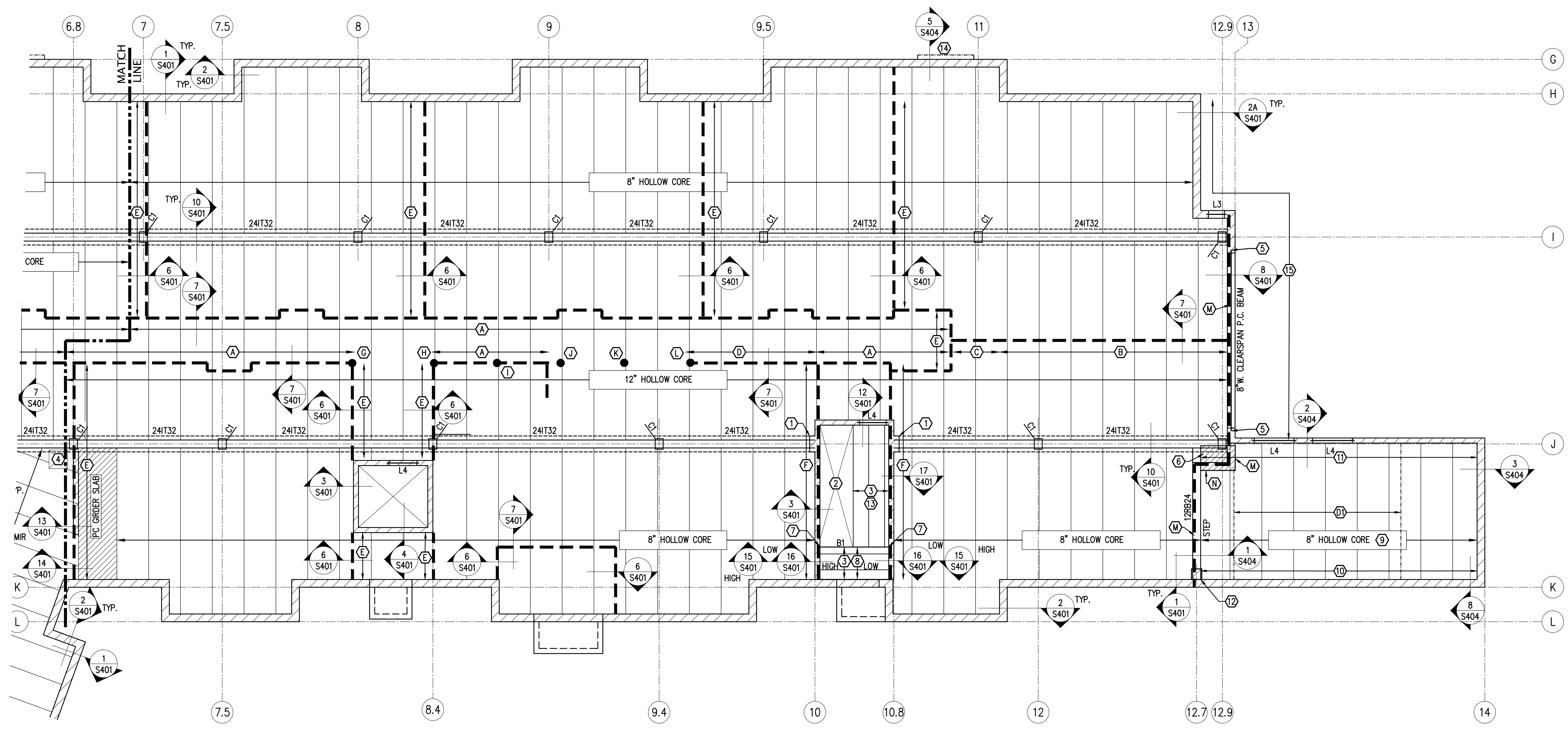
1/8" = 1'-0" T.O. H.C. PLANK = 99'-11" U.N.O.

PROFESSIONAL ENGINEER
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Kurt Sandman
 Signature: [Signature]
 Date: 12/04/2017 License #: 43496

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/17
 PHASE
100% CDs
 PROJECT
16098
 SHEET
S201A
FIRST FLOOR FRAMING PLAN "WEST"

NO.	DESCRIPTION	DATE
1	ADDENDUM	12/7/17



FIRST FLOOR FRAMING PLAN - EAST
 1/8" = 1'-0" T.O. H.C. PLANK = 99'-11" U.N.O.

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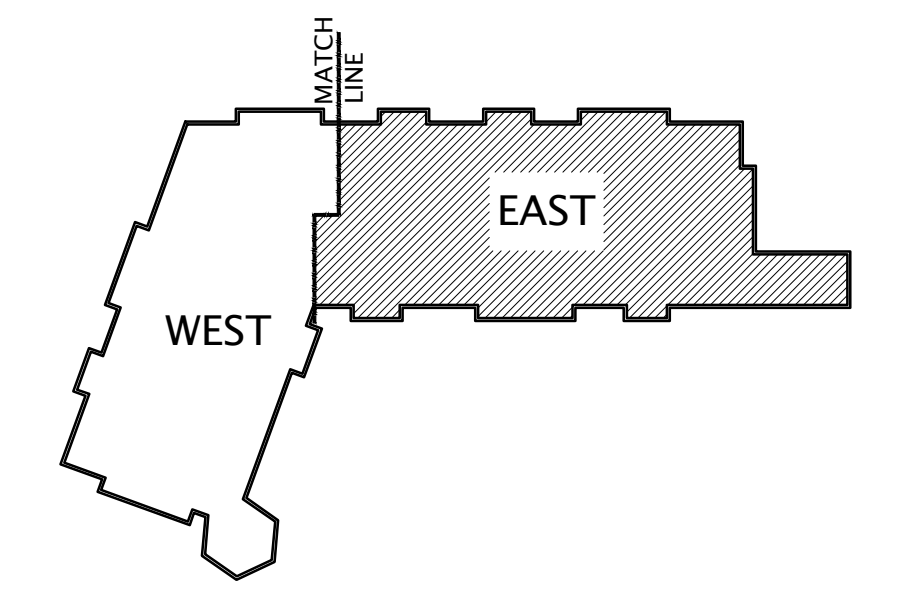
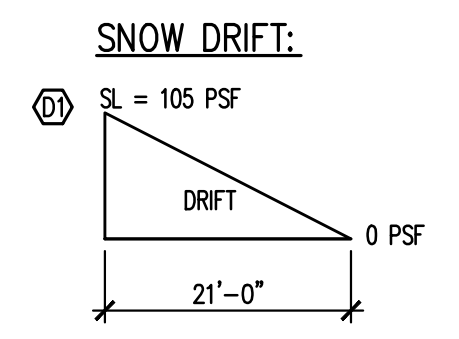
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 - (L) SUPERIMPOSED CONCENTRATED LOAD DL=8.1 K, LL=10.1 K, SL=4.2 K
 - (M) SUPERIMPOSED UNIFORM LINE LOAD DL=1.5 KLF, LL=0.3 KLF, SL=0.1 KLF
 - (N) SUPERIMPOSED UNIFORM LINE LOAD DL=1.5 KLF, LL=1.8 KLF, SL=0.6 KLF

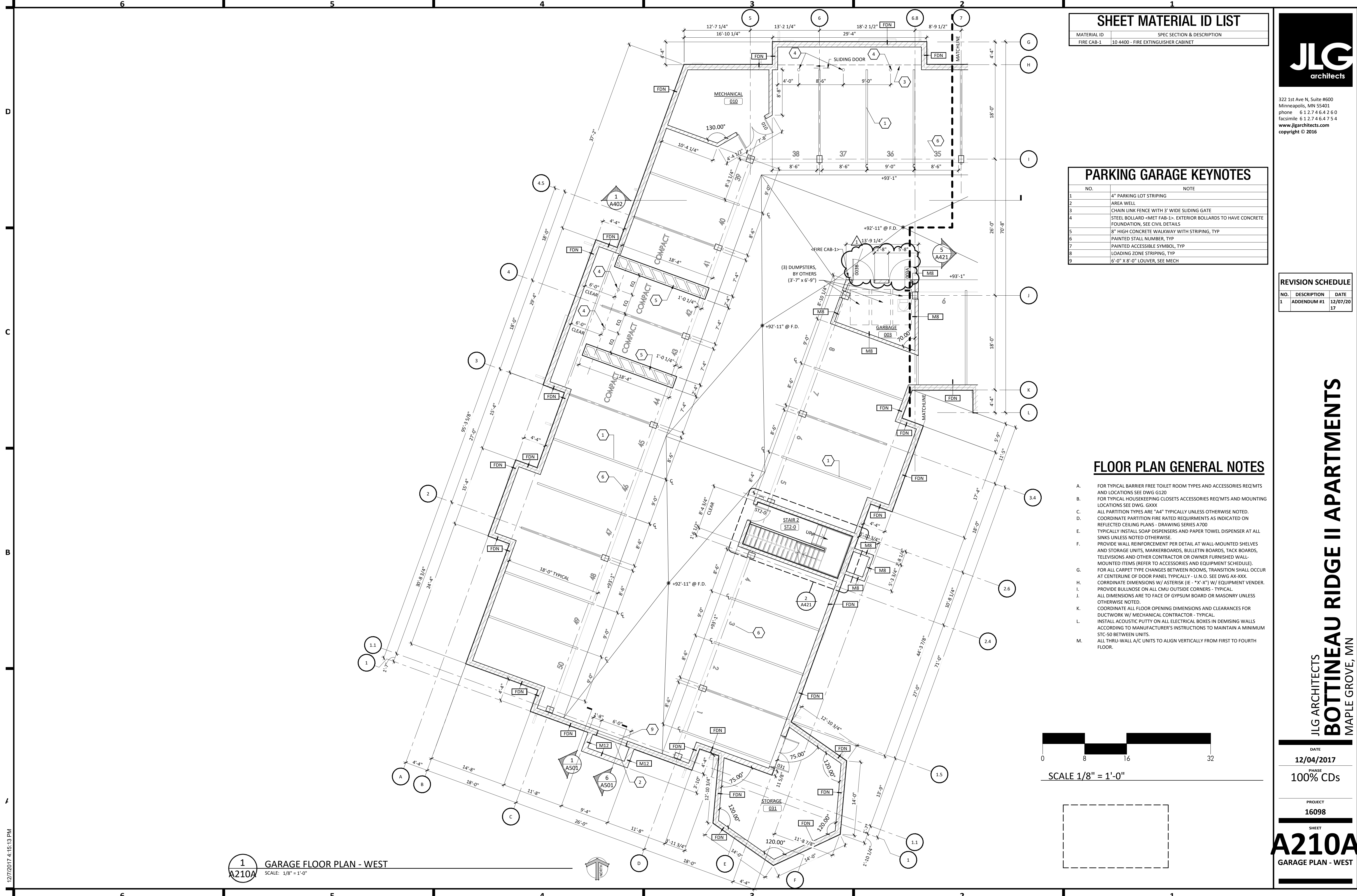


KEYPLAN
NO SCALE

PROFESSIONAL ENGINEER
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Kurt Sandman
 Signature: [Signature]
 Date: 12/04/2017 License #: 43496
SANDMAN
 Structural Engineers
 1387 30th Avenue South - Moorhead, MN 56502
 218.227.9022 www.sandmaneng.com Project 16098

12/26/2017 4:30 PM





SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

PARKING GARAGE KEYNOTES

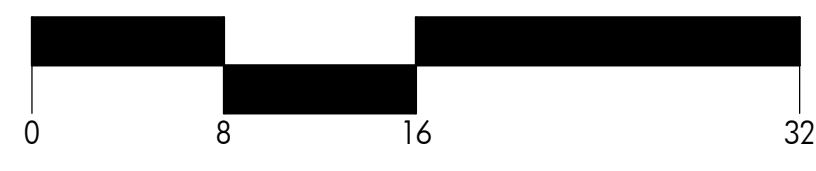
NO.	NOTE
1	4" PARKING LOT STRIPING
2	AREA WELL
3	CHAIN LINK FENCE WITH 3' WIDE SLIDING GATE
4	STEEL BOLLARD <MET FAB-1>. EXTERIOR BOLLARDS TO HAVE CONCRETE FOUNDATION, SEE CIVIL DETAILS
5	8" HIGH CONCRETE WALKWAY WITH STRIPING, TYP
6	PAINTED STALL NUMBER, TYP
7	PAINTED ACCESSIBLE SYMBOL, TYP
8	LOADING ZONE STRIPING, TYP
9	6'-0" X 8'-0" LOUVER, SEE MECH

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	12/07/2017

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MENTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MENTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. CORRDINATE DIMENSIONS W/ ASTERISK (IE - *X-X*) W/ EQUIPMENT VENDER.
- I. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL
- J. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



SCALE 1/8" = 1'-0"



1 GARAGE FLOOR PLAN - WEST
A210A SCALE: 1/8" = 1'-0"



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.4260
facsimile 612.746.4754
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JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
12/04/2017

PHASE
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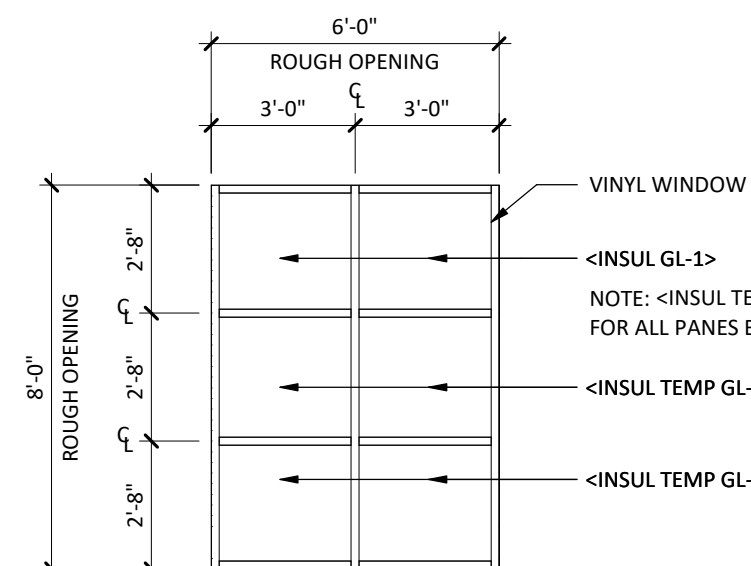
PROJECT
16098

SHEET
A210A
GARAGE PLAN - WEST

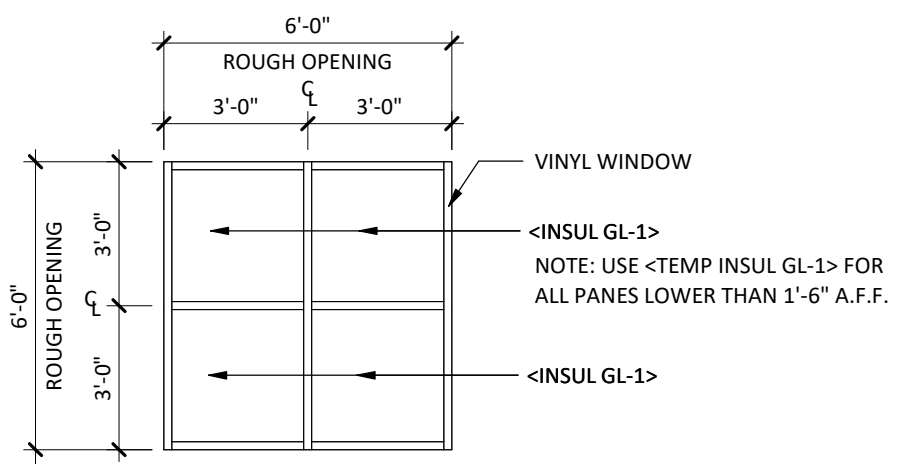
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SHEET MATERIAL ID LIST

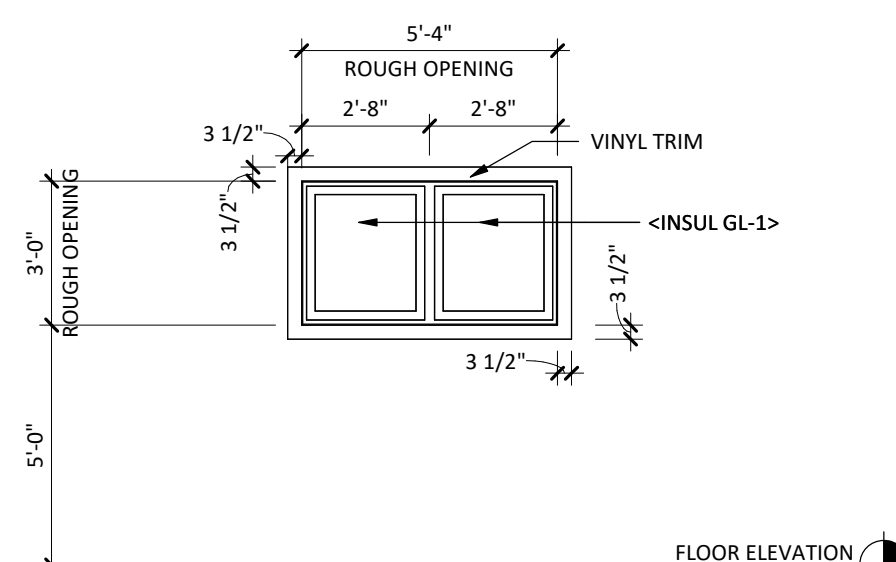
MATERIAL ID	SPEC SECTION & DESCRIPTION
ALUM STOR-1	08 4313 - ALUMINUM FRAMED STOREFRONT
INSUL GL-1	08 8000 - 1" CLEAR INSULATED GLASS
INSUL TEMP GL-1	08 8000 - 1" CLEAR INSULATED TEMPERED GLASS
SMF-1	07 6200 - PREFINISHED GALVANIZED STEEL FLASHING
TEMP GL-1	08 8000 - CLEAR TEMPERED GLASS, 1/4" THICK



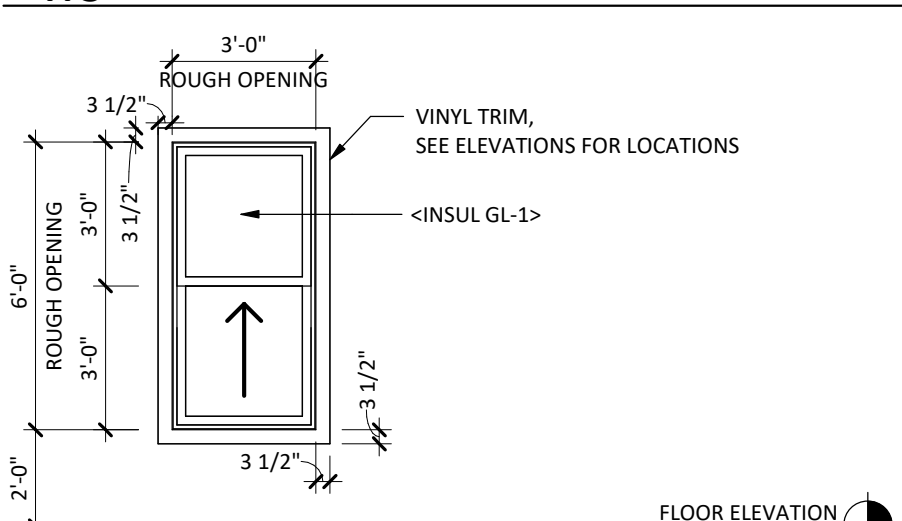
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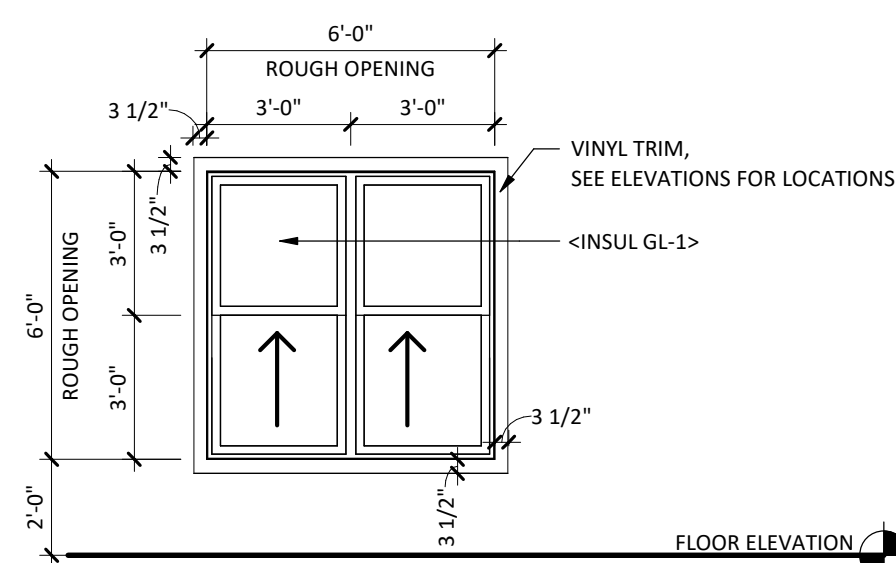
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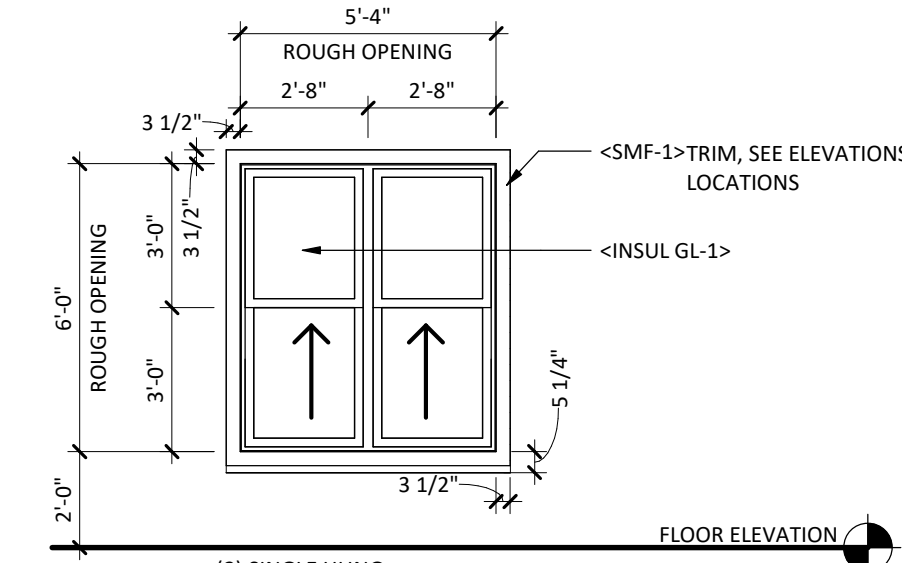
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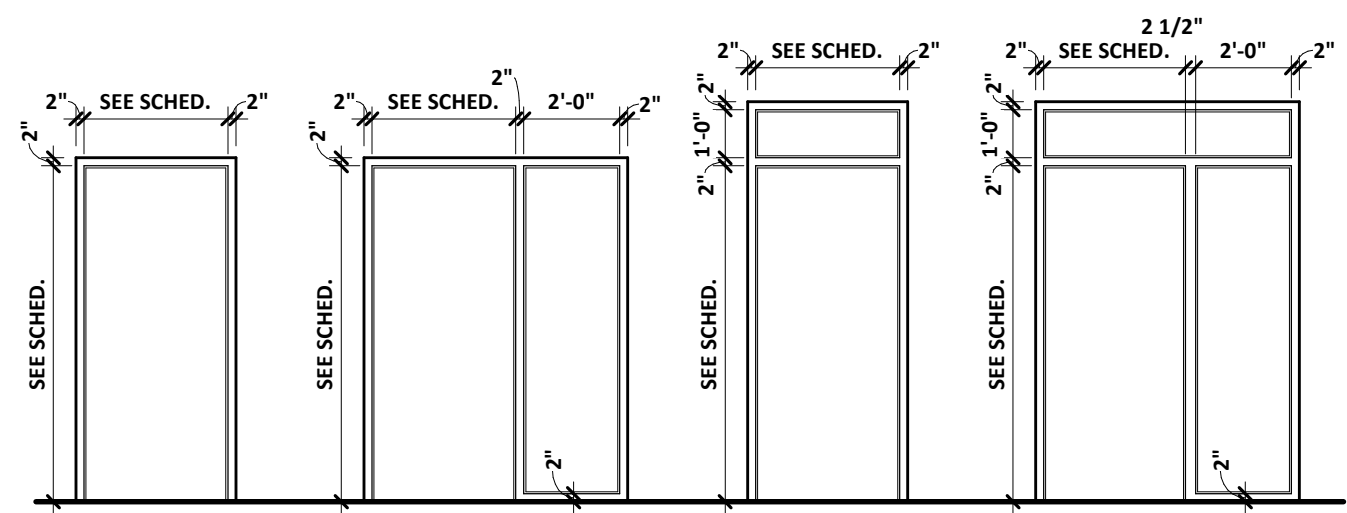


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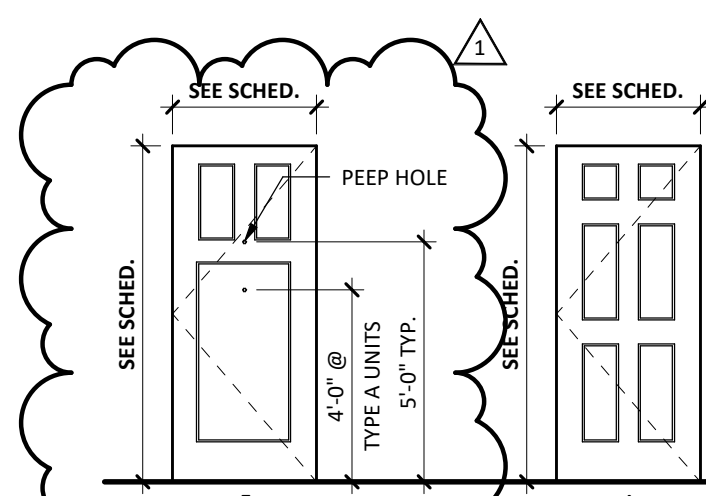


W1

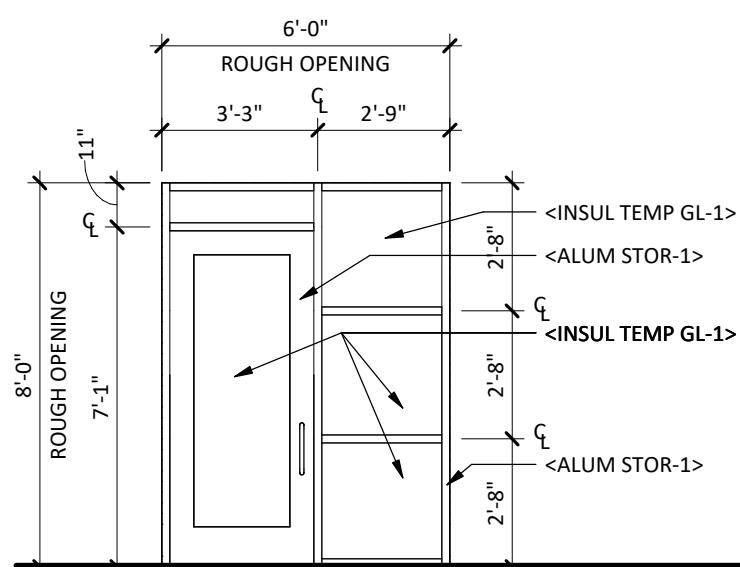
WINDOW TYPES



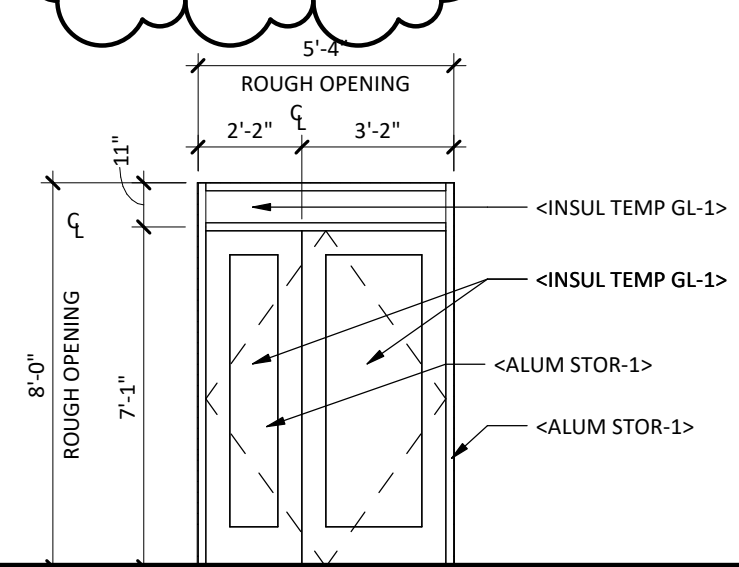
FRAME TYPES



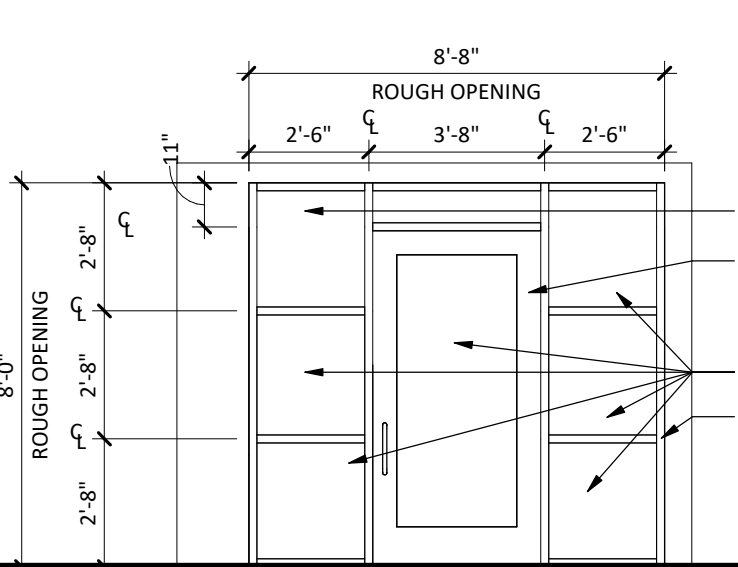
DOOR TYPES



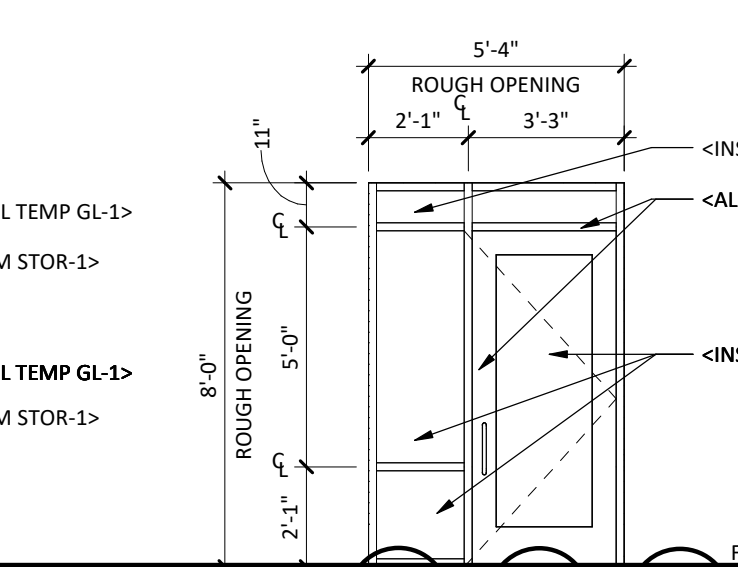
SF06



SF05



SF04



SF03

BUILDING DOOR SCHEDULE

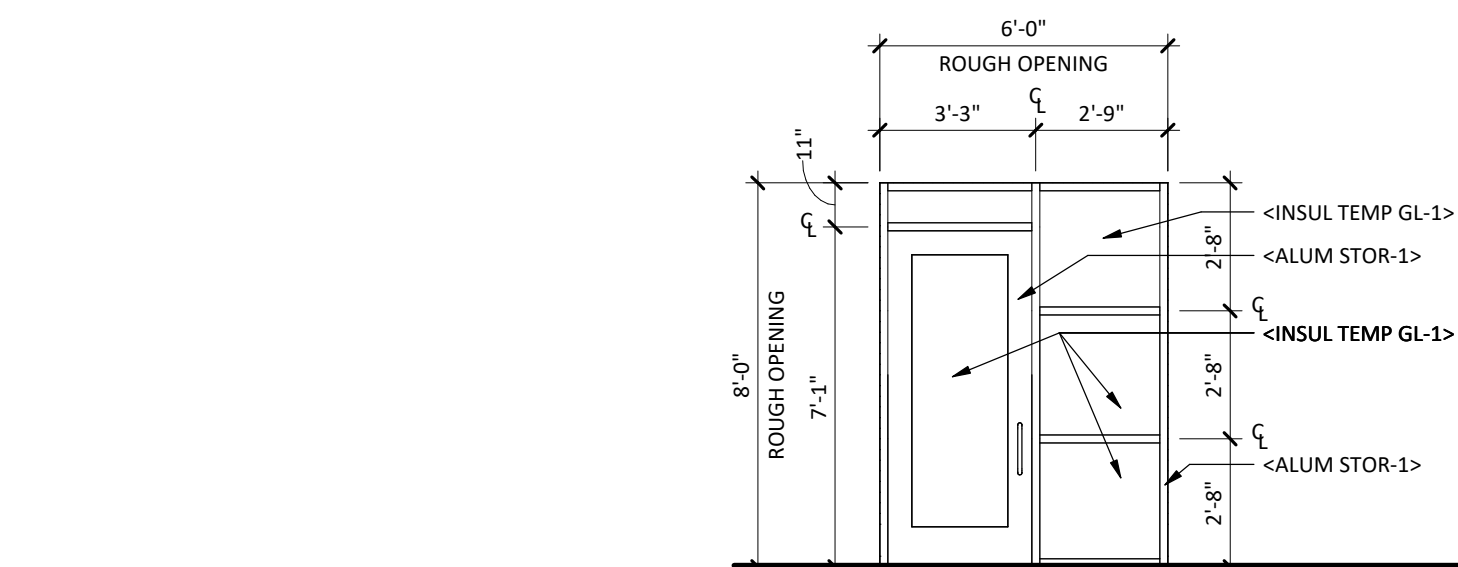
NO.	ROOM NAME	SIZE			DOORS				FRAME			DETAILS			RATING	HW SET	NOTES	
		WIDTH	HEIGHT	THK	MAT'L	TYPE	FINISH	GLZ	MAT'L	TYPE	FINISH	GLZ	JAMB	HEAD				SILL
GARAGE FLOOR																		
000A	PARKING	10'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	
000B	PARKING	10'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	
000C	RECYCLING	5'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	
003A	GARBAGE	4'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	90MIN	11.0		
003B	GARBAGE	4'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	90MIN	11.0		
004A	STORAGE	3'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	--		
004B	STORAGE	5'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--		
010	MECHANICAL	6'-0"	7'-0"	1 3/4"	HM	F-F	<PT->	--	HM	1A	<PT->	--	--	--	--	14.0		
031	STORAGE	6'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	4.2		
032	ELEV LOBBY	3'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	314.0		
036	ELEV EQUIP	3'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	90MIN	14.1		
ST1-0	STAIR 1	3'-0"	7'-0"	1 3/4"	HM	N	<PT->	<FL GL-DH90>	HM	1A	<PT->	--	--	--	90MIN	31.0		
ST2-0	STAIR 2	3'-0"	7'-0"	1 3/4"	HM	N	<PT->	<FL GL-DH90>	HM	1A	<PT->	--	--	--	90MIN	31.0		
FIRST FL T.O. CAST UNDERLAYMENT																		
101A	ELEV VEST	5'-0"	7'-0"	1 3/4"	AL	FG/AG	ANOD	<INSUL TEMP GL-1>	AL	SF03	ANOD	<INSUL TEMP GL-1>	--	--	--	--	324.0	
102A	VESTIBULE	3'-6"	7'-0"	1 3/4"	AL	SF-0	ANOD	<INSUL TEMP GL-1>	AL	SF04	ANOD	<INSUL TEMP GL-1>	--	--	--	--	351.0	
102B	LOBBY	3'-6"	7'-0"	1 3/4"	AL	FG/AG	ANOD	<INSUL TEMP GL-1>	AL	SF04	ANOD	<INSUL TEMP GL-1>	--	--	--	--	254.0	
103	ELEV VEST	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	--	11.0		
106	TOILET	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	12.0		
107A	CLUB ROOM	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<TEMP GL-1>	HM	2	<PT->	--	--	--	20MIN	13.1		
107B	CLUB ROOM	3'-0"	7'-0"	1 3/4"	AL	G	ANOD	<INSUL TEMP GL-1>	AL	SF03	ANOD	<INSUL TEMP GL-1>	--	--	--	334.0		
109	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	45MIN	11.1		
111	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
124	BUSINESS CENTER	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<FL GL-DH45>	HM	2	<PT->	--	--	--	20MIN	13.1		
125	OFFICE	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<FL GL-DH45>	HM	2	<PT->	--	--	--	20MIN	13.2		
127	ELECTRICAL	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	11.1		
129	STORAGE	3'-0"	7'-0"	1 3/4"	WD	A	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
ST1-1A	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
ST1-1B	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	334.0			
ST2-1A	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
ST2-1B	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	334.0			
SECOND FLOOR																		
202	FITNESS	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	11.1		
203	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
209	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	45MIN	11.1		
211	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
228	MECH	6'-0"	7'-0"	1 3/4"	WD	F-F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
ST1-2	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
ST1-2	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
THIRD FLOOR																		
309	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	45MIN	11.1		
311	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
327	ELECTRICAL	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	11.1		
ST1-3	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
ST2-3	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
FOURTH FLOOR																		
409	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	45MIN	11.1		
411	MECH	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
427	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	<TEMP GL-1>	HM	1	<PT->	--	--	--	20MIN	14.1		
ST1-4	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		
ST2-4	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	90MIN	34.0		

UNIT DOOR SCHEDULE

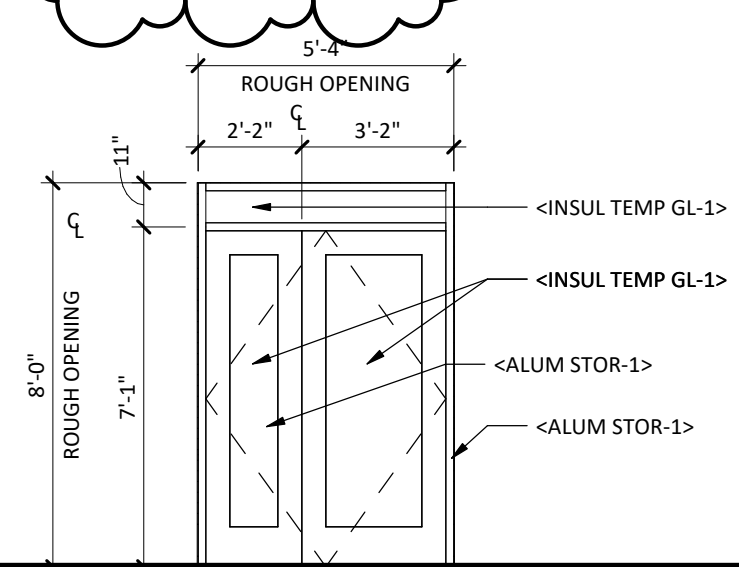
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	WIDTH	HEIGHT	THK	MAT'L	TYPE	FINISH	GLZ	MAT'L	TYPE	FINISH	GLZ	JAMB	HEAD			
A3	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	92.0	PREHUNG
A4	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	92.0	PREHUNG
A5	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.0	PREHUNG
A6	2'-6"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.0	PREHUNG
D1	5'-0"	6'-8"	1 3/4"	WD	A-A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.1	PREHUNG
D2	6'-0"	6'-8"	1 3/4"	WD	A-A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.1	PREHUNG
E	3'-0"	7'-0"	1 3/4"	WD	E	PREFIN	--	HM	1	<PT->	--	2/A251	--	--	20MIN	93.0
VS	6'-0"	8'-0"	2"	VINYL	VS	PREFIN	<INSUL TEMP GL-1>	VINYL	1	PREFIN	<INSUL TEMP GL-1>	--	--	--	--	97

FRAME TYPES

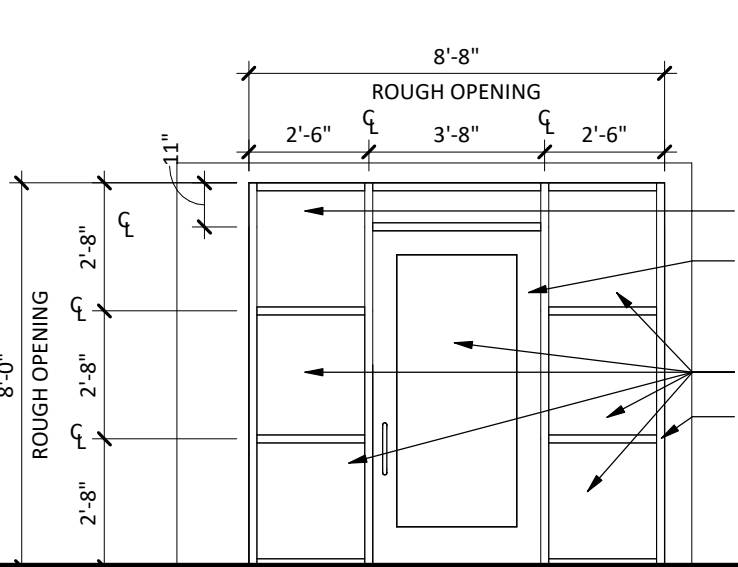
DOOR TYPES



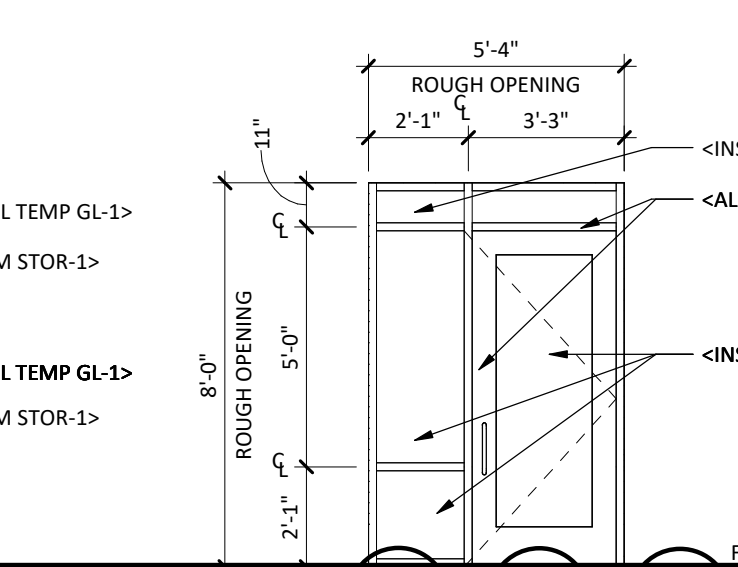
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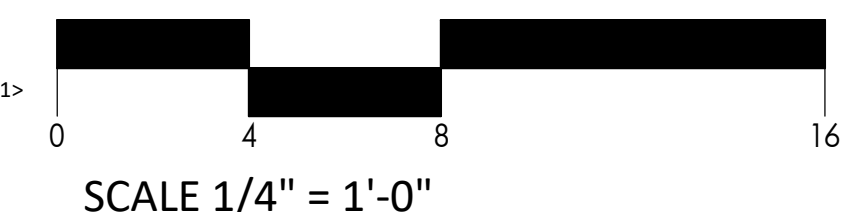
SF05



SF04



SF03



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 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
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NO.	DESCRIPTION	DATE
1	ADDENDUM #1	12/07/2017

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE: 12/04/2017
 PHASE: 100% CDs
 PROJECT: 16098
 SHEET: **A250**
 DOOR SCHEDULE & GLAZING ELEVATIONS

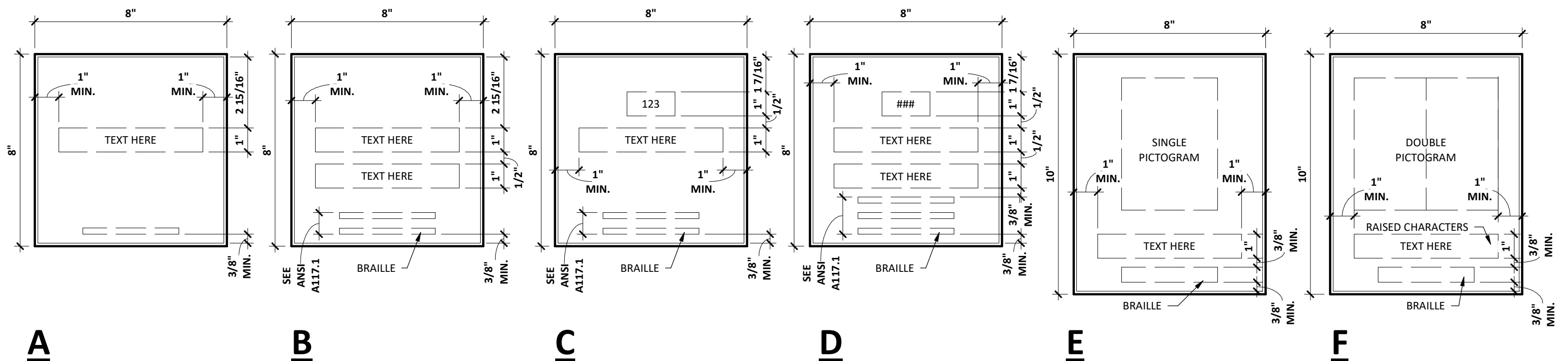
ROOM FINISH SCHEDULE GENERAL NOTES

- A. PROVIDE BLINDS-10 AT ALL UNIT WINDOWS.
- B. PROVIDE BLINDS-20 AT ALL UNIT SLIDING DOORS, AND LOBBY, OFFICE AND CLUBROOM WINDOWS.

ROOM NUMBER	ROOM NAME	BASE	FLOOR	WALLS				REMARKS
				NORTH	EAST	SOUTH	WEST	
000	PARKING	-	CONC	--	--	--	--	
000C	RECYCLING	-	CONC	--	--	--	--	
003	GARBAGE	-	CONC	--	--	--	--	
004	STORAGE	-	CONC	--	--	--	--	
010	MECHANICAL	-	CONC	--	--	--	--	
029	ELEC	-	CONC	--	--	--	--	
030	FIRE/WATER	-	CONC	--	--	--	--	
031	STORAGE	-	CONC	--	--	--	--	
032	ELEV LOBBY	CER TILE-11	CER TILE-21	EPXY PT-1	EPXY PT-1	EPXY PT-1	EPXY PT-1	
036	ELEV EQUIP	-	CONC	--	--	--	--	
EL-0	ELEV	--	CER TILE-21	--	--	--	--	SEE SPEC SECTION 14 2400 FOR ELEVATOR WALL FINISHES
ST1-0	STAIR 1	RB BASE 2	CPT-2*	PT-2	PT-2	PT-2	PT-2	* ADD ALT. #4 - RB FLR-10 AT LANDINGS AND STAIRS
ST2-0	STAIR 2	RB BASE 2	CPT-2*	PT-2	PT-2	PT-2	PT-2	* ADD ALT. #4 - RB FLR-10 AT LANDINGS AND STAIRS
101	CLUB ROOM	WD BASE-2	CPT-1	PT-2/PT-4*	PT-2/PT-4*	PT-2/PT-4*	PT-2/PT-4*	
103	LOBBY	WD BASE-2	CPT-1	PT-2	PT-2	PT-2	PT-2	
109	GARBAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
111	STORAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
120	VESTIBULE	CER TILE-11	CER TILE-21/FLR MAT-1	PT-2	PT-2	PT-2	PT-2	
121	ELEV VEST	CER TILE-11	CER TILE-21/FLR MAT-1	PT-2	PT-2	PT-2	PT-2	
122	MAIL	WD BASE-2	CPT-1	PT-2	PT-2	PT-2	PT-2	
123	TOILET	CER TILE-10	CER TILE-20	CER TILE-10/PT-2	CER TILE-10/PT-2	CER TILE-10/PT-2	CER TILE-10/PT-2	SEE INTERIOR ELEVATIONS FOR TERMINATION HEIGHTS
124	BUSINESS CENTER	WD BASE-2	CPT-1	PT-2	PT-2	PT-2	PT-2	
125	OFFICE	WD BASE-2	CPT-1	PT-2	PT-2	PT-2	PT-2	
126	HALL	WD BASE-2/RB BASE 2	CPT-1/CPT-2	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	* PROVIDE 1X4 WOOD TRIM, STAINED AT 36" AFF
127	ELECTRICAL	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
129	STORAGE	--	CONC	--	--	--	--	
EL-1	ELEV	--	CER TILE-21	--	--	--	--	SEE SPEC SECTION 14 2400 FOR ELEVATOR WALL FINISHES
ST1-1	STAIR 1	RB BASE 2	CER TILE-21/CPT-2*	PT-2	PT-2	PT-2	PT-2	* ADD ALT. #4 - RB FLR-10 AT LANDING ONLY
ST2-1	STAIR 2	RB BASE 2	CER TILE-21/CPT-2*	PT-2	PT-2	PT-2	PT-2	* ADD ALT. #4 - RB FLR-10 AT LANDING ONLY
203	STORAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
205	FITNESS	WD BASE-2	CPT-3	PT-3	PT-3	PT-3	PT-3	
209	GARBAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
211	STORAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
226	HALL	WD BASE-2/RB BASE 2	CPT-1/CPT-2	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	* PROVIDE 1X4 WOOD TRIM, STAINED AT 36" AFF
228	MECH	RB BASE 2	VCT-1	PT-2	PT-2	PT-2	PT-2	
EL-2	ELEV	--	CER TILE-21	--	--	--	--	SEE SPEC SECTION 14 2400 FOR ELEVATOR WALL FINISHES
ST1-2	STAIR 1	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	
ST2-2	STAIR 2	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	
309	GARBAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
311	STORAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
326	HALL	RB BASE 2	CPT-1/CPT-2	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	* PROVIDE 1X4 WOOD TRIM, STAINED AT 36" AFF
327	ELECTRICAL	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
EL-3	ELEV	--	CER TILE-21	--	--	--	--	SEE SPEC SECTION 14 2400 FOR ELEVATOR WALL FINISHES
ST1-3	STAIR 1	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	
ST2-3	STAIR 2	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	
409	GARBAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
411	MECH	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
426	HALL	RB BASE 2	CPT-1/CPT-2	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	PT-2/PT-3*	* PROVIDE 1X4 WOOD TRIM, STAINED AT 36" AFF
427	STORAGE	RB BASE-1	VCT-1	PT-2	PT-2	PT-2	PT-2	
EL-4	ELEV	--	CER TILE-21	--	--	--	--	SEE SPEC SECTION 14 2400 FOR ELEVATOR WALL FINISHES
ST1-4	STAIR 1	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	
ST2-4	STAIR 2	RB BASE 2	CPT-2	PT-2	PT-2	PT-2	PT-2	

ROOM NAME	BAS	FLOOR	CEILIN	WALL				REMARK
				NORTH	EAS	SOUT	WES	
KITCHEN	WD BASE-1	RES PLNK-1	PT-1	PT-2	PT-2	PT-2	PT-2	
LIVING	WD BASE-1	RES PLNK-1	PT-1	PT-2	PT-2	PT-2	PT-2	
DINING	WD BASE-1	RES PLNK-1	PT-1	PT-2	PT-2	PT-2	PT-2	
CORRIDOR	WD BASE-1	RES PLNK-1	PT-1	PT-2	PT-2	PT-2	PT-2	
BEDROOM	WD BASE-1	CPT-4	PT-1	PT-2	PT-2	PT-2	PT-2	
CLOSET	WD BASE-1	CPT-4*	PT-1	PT-2	PT-2	PT-2	PT-2	*VNL SHT-1 AT UNIT 1A & UNIT 1A-TYPE A
BATH	WD BASE-1	VNL SHT-1	PT-1	PT-2	PT-2	PT-2	PT-2	
UTILITY	WD BASE-1	VNL SHT-1	PT-1	PT-2	PT-2	PT-2	PT-2	

- NOTES:
- ALL TACTILE SIGNS SHALL MEET THE REQUIREMENTS OF ANSI A117.1 AND IBC 2012
 - ALL TEXT TO BE UPPERCASE RAISED CHARACTERS
 - ALL BRAILLE TEXT TO BE UPPER AND LOWER CASE



1
A610 TACTILE SIGN TYPES
SCALE: 3" = 1'-0"



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DATE
12/04/2017
PHASE
100% CDs

PROJECT
16098

SHEET
A610
ROOM FINISH SCHEDULES