



POST TENDER ADDENDUM

JLG 16098 Bottineau Ridge II Apts

RE: post tender addendum 01 Revised

Issued: February 28, 2018 Revised March 28, 2018

POST TENDER ADDENDUM #: 01 Revised

NOTICE TO CONTRACTORS

This Addendum is prepared to supplement information presented in the Drawings and Project Manual dated Month Day, Year for the above referenced project. All additions, changes, omissions and conditions listed herein shall become an integral part of the Contract Documents.

DRAWINGS

1. G100 COVER – See attachment. Revised - added seal and signature
 - o INDEX OF DRAWINGS. Add Sheet S208 – Shear Wall Sections
2. G106 TYPICAL ASSEMBLIES – See attachment. Revised - added seal and signature
 - o Detail 6B/G106, Type WFL2.0. Omitted <MET FURG-4>..
3. G111 LIFE SAFETY PLANS – See attachment. Revised - added seal and signature
 - o Details 1, 2, 3 & 4/G111. Added travel distance
4. C201 SITE PLAN – See attachment
 - o Sheet C201, added building and site signage placement dimensions.
5. A210B GARAGE PLAN – EAST. See attachment. Revised - added seal and signature
 - o Detail 1/A210B, revised drawing title.
6. A212B SECOND FLOOR PLAN – EAST. See attachment. Revised - added seal and signature
 - o Detail 1/A212B, revised window tag at Fitness – 205.
7. A224 TYPE-A UNIT PLANS – See attachment. Revised - added seal and signature
 - o Detail 2/A224, revised Bedroom 2 door location.
 - o Unit Plan General Notes, added General Note N.
8. A250 DOOR SCHEDULE & GLAZING ELEVATIONS. See attachment. Revised - added seal and signature
 - o Window Types, added Type W7.
9. A420 VERTICAL CIRCULATION – STAIR 1 – See attachment. Revised - added seal and signature
 - o Detail 1/A420, Added note “6'-8” min. clear headroom at Stair.”
10. A421 VERTICAL CIRCULATION – STAIR 2 – See attachment. Revised - added seal and signature
 - o Detail 1/A421, Added note “6'-8” min. clear headroom at Stair.”
11. A423 VERTICAL CIRCULATION – LOBBY – See attachment
 - o Details 2, 14 & 15/A423. Revised length of handrail at top and bottom stair landing.
12. A600 REFLECTED CEILING PLAN – See attachment. Revised - added seal and signature
 - o Detail 1/A600. Add Detail 6/A600 call-out.
 - o Detail 6/A600. Added detail.

END OF ADDENDUM

JLG Architects | Dave Morck

322 North First Avenue, Ste. 600 | Minneapolis, MN | p 612.436.0096 | dmorck@jlgarchitects.com

120507_207 CHANGE RESPONSE

z:\16098 maple grove bottineau ridge apts ii\5 - bid permit & supplementary docs\5a-1 bid pack 1\post tender add #1\content\post tender addendum 01 180228 16098 bottineau ridge ii apts.docx



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Nicole Wierzbun, AIA LEED AP REG. NO. 48546 DATE

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

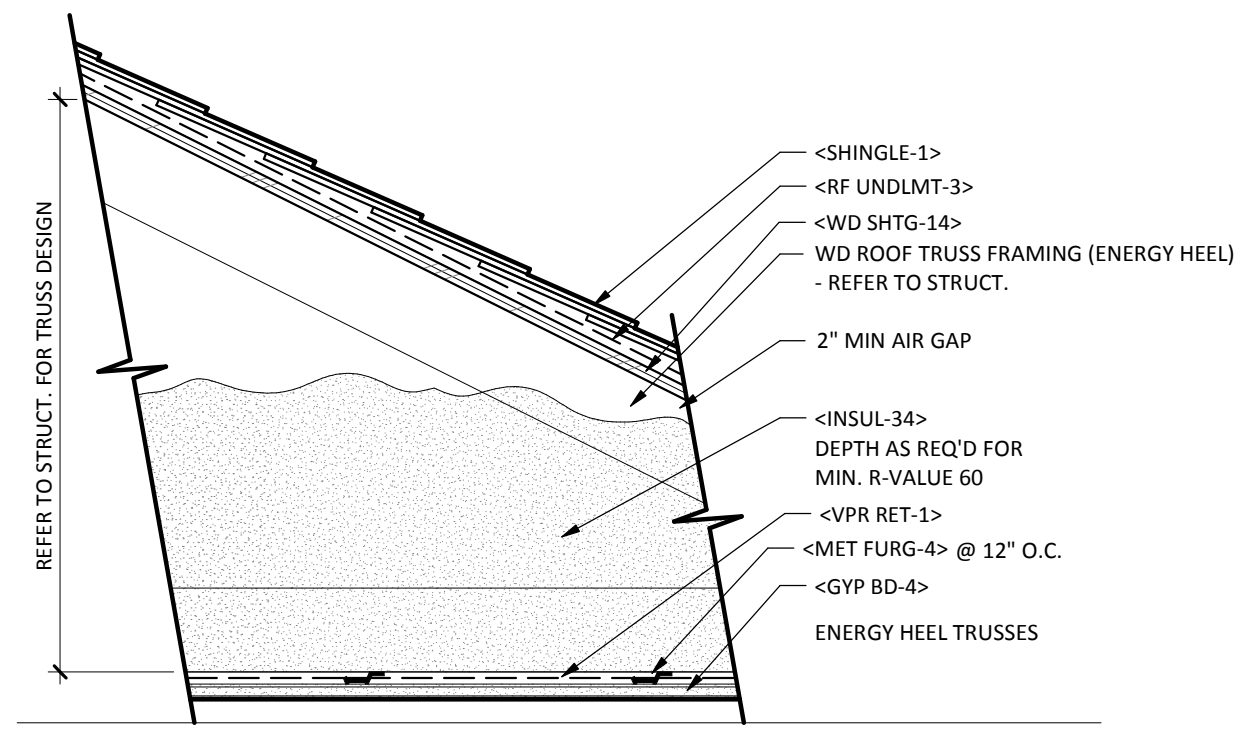
UNIT MATRIX						
	SF	1ST FLR	2ND FLR	3RD FLR	4TH FLR	TOTAL
UNIT 1A	734		1	1	3	5
UNIT 1A, TYPE A	734	1				1
UNIT 2A	1033	3	1	2	2	8
UNIT 2A, TYPE A	1033		1			1
UNIT 2A*	1101		1	1	1	3
UNIT 2A**	1085	1	1	1	1	4
UNIT 2B	994	1	1	1	1	4
UNIT 2C	1124	1	1	1	1	4
UNIT 3A	1364	1	1		1	3
UNIT 3A, TYPE A	1364			1		1
UNIT 3B	1271	2	3	3	3	11
UNIT 3C	1474			1		1
UNIT 4A	1633	1	1	1	1	4
TOTAL UNIT COUNT		11	12	13	14	50

INDEX OF DRAWINGS		INDEX OF DRAWINGS		INDEX OF DRAWINGS		INDEX OF DRAWINGS		INDEX OF DRAWINGS	
SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
GENERAL		S205A	ROOF FRAMING PLAN "WEST"	A421	VERTICAL CIRCULATION - STAIR 2	P201	WASTE & VENT RISER DIAGRAMS	E107	THIRD FLOOR PLAN - EAST - LIGHTING
G100	COVER SHEET	S205B	ROOF FRAMING PLAN "EAST"	A422	ROOF FRAMING PLAN "EAST"	P202	DOMESTIC WATER RISER DIAGRAMS	E108	FOURTH FLOOR PLAN - WEST - LIGHTING
G101	TITLE SHEET	S206	SHEAR WALL PLAN, & DETAILS	A423	VERTICAL CIRCULATION - LOBBY STAIR	P203	DOMESTIC WATER RISER DIAGRAMS	E109	FOURTH FLOOR PLAN - EAST - LIGHTING
G106	TYPICAL ASSEMBLIES	S207	SHEAR WALL SECTIONS, & SCHEDULES	A501	EXTERIOR WALL SECTIONS			E200	GARAGE FLOOR PLAN - WEST - POWER/SYSTEMS
G107	TYPICAL ASSEMBLIES	S208	SHEAR WALL SECTIONS	A510	PLAN DETAILS	MECHANICAL		E201	GARAGE FLOOR PLAN - EAST - POWER/SYSTEMS
G110	LIFE SAFETY PLANS	S301	FOUNDATION DETAILS	A511	SECTION DETAILS	M100A	GARGAGE FLOOR PLAN - WEST - HVAC PIPING	E202	FIRST FLOOR PLAN - WEST - POWER/SYSTEMS
G111	LIFE SAFETY PLANS	S302	FOUNDATION DETAILS	A512	SECTION DETAILS	M100B	GARGAGE FLOOR PLAN - EAST - HVAC PIPING	E203	FIRST FLOOR PLAN - EAST - POWER/SYSTEMS
G120	MOUNTING HEIGHTS	S401	FRAMING DETAILS	A600	REFLECTED CEILING PLAN	M101A	FIRST FLOOR PLAN - WEST - HVAC PIPING	E204	SECOND FLOOR PLAN - WEST - POWER/SYSTEMS
CIVIL		S402	FRAMING DETAILS	A601	INTERIOR ELEVATIONS	M101B	FIRST FLOOR PLAN - EAST - HVAC PIPING	E205	SECOND FLOOR PLAN - EAST - POWER/SYSTEMS
C101	EXISTING CONDITIONS	S403	FRAMING DETAILS	A610	ROOM FINISH SCHEDULES	M102A	SECOND FLOOR PLAN - WEST - HVAC PIPING	E206	THIRD FLOOR PLAN - WEST - POWER/SYSTEMS
C201	SITE PLAN	S404	FRAMING DETAILS	A621	CASEWORK SCHEDULE	M102B	SECOND FLOOR PLAN - EAST - HVAC PIPING	E207	THIRD FLOOR PLAN - EAST - POWER/SYSTEMS
C301	GRADING PLAN	S405	FRAMING DETAILS	MECHANICAL		M103A	THIRD FLOOR PLAN - WEST - HVAC PIPING	E208	FOURTH FLOOR PLAN - WEST - POWER/SYSTEMS
C401	UTILITY PLAN	ARCHITECTURE		M000	MECHANICAL TITLE SHEET	M103B	THIRD FLOOR PLAN - EAST - HVAC PIPING	E209	FOURTH FLOOR PLAN - EAST - POWER/SYSTEMS
C501	EROSION CONTROL PLAN	A200	OVERALL GARAGE & FIRST FLOOR PLANS	FIRE PROTECTION		M104A	FOURTH FLOOR PLAN - WEST - HVAC PIPING	E300	LARGE SCALE UNIT PLANS - ELECTRICAL
C601	CIVIL DETAILS	A201	OVERALL SECOND & THIRD FLOOR PLANS	F100A	GARAGE FLOOR PLAN - WEST - FIRE PROTECTION	M104B	FOURTH FLOOR PLAN - EAST - HVAC PIPING	E301	LARGE SCALE UNIT PLANS - ELECTRICAL
C602	CIVIL DETAILS	A202	OVERALL FOURTH FLOOR & ROOF PLAN	F100B	GARAGE FLOOR PLAN - EAST - FIRE PROTECTION	M200A	GARAGE FLOOR PLAN - WEST - VENTILATION	E302	LARGE SCALE UNIT PLANS - ELECTRICAL
C603	CIVIL DETAILS	A210A	GARAGE PLAN - WEST	F101A	FIRST FLOOR PLAN - WEST - FIRE PROTECTION	M200B	GARAGE FLOOR PLAN - EAST - VENTILATION	E303	LARGE SCALE UNIT PLANS - ELECTRICAL
C604	EROSION CONTROL DETAILS	A210B	GARAGE PLAN - EAST	F101B	FIRST FLOOR PLAN - EAST - FIRE PROTECTION	M201A	FIRST FLOOR PLAN - WEST - VENTILATION	E401	ELECTRICAL RISER AND DETAILS
C605	SWPPP NARRATIVE	A211A	FIRST FLOOR PLAN - WEST	F101B	FIRST FLOOR PLAN - WEST - FIRE PROTECTION	M201B	FIRST FLOOR PLAN - EAST - VENTILATION	E402	POWER DETAILS
LANDSCAPE		A211B	FIRST FLOOR PLAN - EAST	F102A	SECOND FLOOR PLAN - WEST - FIRE PROTECTION	M202A	SECOND FLOOR PLAN - WEST - VENTILATION	E510	LIGHTING SCHEDULE
C-1	SURVEY	A212A	SECOND FLOOR PLAN - WEST	F102B	SECOND FLOOR PLAN - EAST - FIRE PROTECTION	M202B	SECOND FLOOR PLAN - EAST - VENTILATION	E520	MOTOR AND EQUIPMENT SCHEDULE
C-3	VIEWS	A212B	SECOND FLOOR PLAN - EAST	F103A	THIRD FLOOR PLAN - WEST - FIRE PROTECTION	M203A	THIRD FLOOR PLAN - WEST - VENTILATION	E521	PANEL SCHEDULES
L-1	LANDSCAPE PLAN	A213A	THIRD FLOOR PLAN - WEST	F103B	THIRD FLOOR PLAN - EAST - FIRE PROTECTION	M203B	THIRD FLOOR PLAN - EAST - VENTILATION	E522	PANEL SCHEDULES
L-2	LANDSCAPE PLAN	A213B	THIRD FLOOR PLAN - EAST	F104A	FOURTH FLOOR PLAN - WEST - FIRE PROTECTION	M204A	FOURTH FLOOR PLAN - WEST - VENTILATION		
L-3	LANDSCAPE NOTES & DETAILS	A214A	FOURTH FLOOR PLAN - WEST	F104B	FOURTH FLOOR PLAN - EAST - FIRE PROTECTION	M204B	FOURTH FLOOR PLAN - EAST - VENTILATION		
STRUCTURAL		A214B	FOURTH FLOOR PLAN - EAST	PLUMBING		M205	ROOF PLAN - MECHANICAL		
S001	STRUCTURAL NOTES	A216A	ROOF PLAN - WEST	P100A	FOUNDATION PLAN - WEST - PLUMBING	M400	MECHANICAL DETAILS		
S002	SPECIAL INSPECTIONS	A216B	ROOF PLAN - EAST	P100B	FOUNDATION PLAN - EAST - PLUMBING	M401	MECHANICAL DETAILS		
S101A	FOUNDATION PLAN "WEST"	A220	UNIT PLANS	P101A	GARAGE FLOOR PLAN - WEST - PLUMBING	M500	MECHANICAL SCHEDULES		
S101B	FOUNDATION PLAN "EAST"	A221	UNIT PLANS	P101B	GARAGE FLOOR PLAN - EAST - PLUMBING	M501	MECHANICAL SCHEDULES		
S201A	FIRST FLOOR FRAMING PLAN "WEST"	A222	UNIT PLANS	P102A	FIRST FLOOR PLAN - WEST - PLUMBING	M502	MECHANICAL SCHEDULES		
S201B	FIRST FLOOR FRAMING PLAN "EAST"	A223	UNIT PLANS	P102B	FIRST FLOOR PLAN - EAST - PLUMBING	ELECTRICAL			
S202A	SECOND FLOOR FRAMING PLAN "WEST"	A224	TYPE-A UNIT PLANS	P103A	SECOND FLOOR PLAN - WEST - PLUMBING	E000	ELECTRICAL TITLE SHEET		
S202B	SECOND FLOOR FRAMING PLAN "EAST"	A250	DOOR SCHEDULE & GLAZING ELEVATIONS	P103B	SECOND FLOOR PLAN - EAST - PLUMBING	E001	SITE PLAN - ELECTRICAL		
S203A	THIRD FLOOR FRAMING PLAN "WEST"	A251	DOOR DETAILS	P104A	THIRD FLOOR PLAN - WEST - PLUMBING	E100	GARAGE FLOOR PLAN - WEST - LIGHTING		
S203B	THIRD FLOOR FRAMING PLAN "EAST"	A301	EXTERIOR ELEVATIONS	P104B	THIRD FLOOR PLAN - EAST - PLUMBING	E101	GARAGE FLOOR PLAN - EAST - LIGHTING		
S204A	FOURTH FLOOR FRAMING PLAN "WEST"	A302	EXTERIOR ELEVATIONS	P105A	FOURTH FLOOR PLAN - WEST - PLUMBING	E102	FIRST FLOOR PLAN - WEST - LIGHTING		
S204B	FOURTH FLOOR FRAMING PLAN "EAST"	A303	EXTERIOR ELEVATIONS	P105B	FOURTH FLOOR PLAN - EAST - PLUMBING	E103	FIRST FLOOR PLAN - EAST - LIGHTING		
		A401	BUILDING SECTIONS	P200	WASTE & VENT RISER DIAGRAMS	E104	SECOND FLOOR PLAN - WEST - LIGHTING		
		A402	BUILDING SECTIONS			E105	SECOND FLOOR PLAN - EAST - LIGHTING		
		A420	VERTICAL CIRCULATION - STAIR 1			E106	THIRD FLOOR PLAN - WEST - LIGHTING		

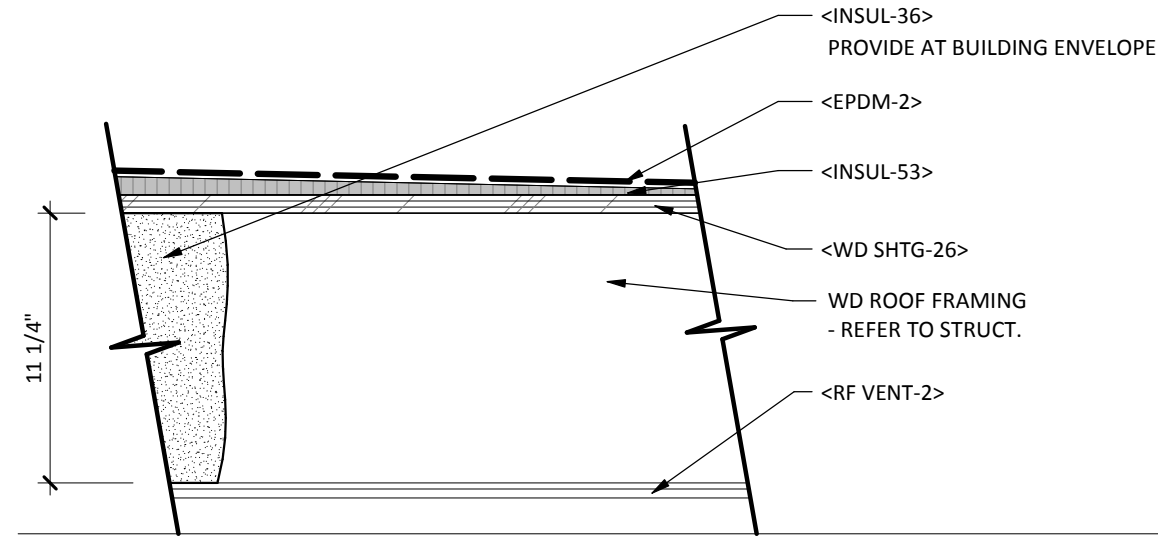
BOTTINEAU RIDGE II APARTMENTS
11800 80TH AVE N.
MAPLE GROVE MN



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TYPE WR1.1
RATING: 1HR UL NO: P533



TYPE WR2.0

ROOF TYPE 'WR1.1'					
TYPE	INSUL THICK.	G.B. THICK	RATING	UL NO.	COMMENTS

SHEET MATERIAL ID LIST

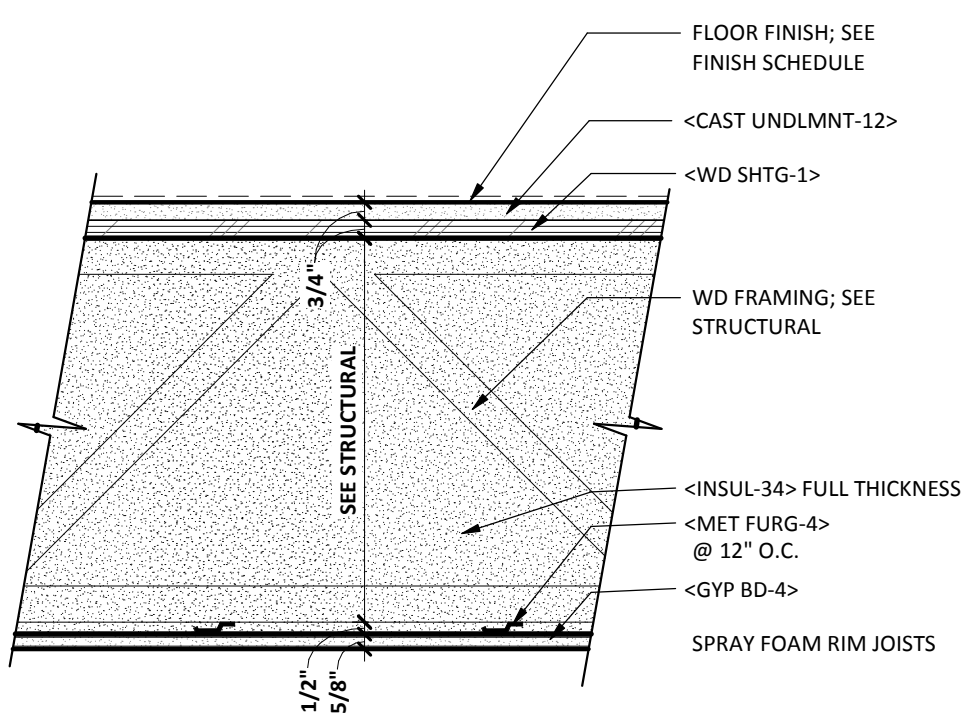
MATERIAL ID	SPEC SECTION & DESCRIPTION
AIR BAR-1	07 2500 - AIR BARRIER; MECHANICALLY FASTENED
BRICK TIE	04 2000 - BRICK TIE
BRICK-1	04 2000 - FACE BRICK
CAST UNDMNT-1	03 5400 - GYPSUM BASED UNDERLAYMENT
CAST UNDMNT-12	03 5400 - GYPSUM BASED UNDERLAYMENT W/ SOUND CONTROL MEMBRANE
CMU-1	04 2000 - NORMAL WEIGHT CMU
CONC FIN-2	03 3000 - HEAVY BROOM FINISH
EPDM-2	07 5300 - FULLY ADHERED EPDM ROOFING SYSTEM
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE 'X' GYPSUM BOARD
GYP BD-4	09 2116 - 5/8" FIRE-RATED TYPE 'C' GYPSUM BOARD
INSUL-3	07 2100 - PERIMETER BELOW GRADE EXTRUDED POLYSTYRENE INSULATION W/ DRAINAGE CHANNELS
INSUL-20	07 2100 - FIBERGLASS BATT INSULATION, UNFACED
INSUL-34	07 2126 - BULK FIBERGLASS INSULATION FOR PNEUMATIC PLACEMENT
INSUL-36	07 2119 - CLOSED CELL SPRAY FOAM INSULATION
INSUL-53	07 5300 - TAPERED OVER FLAT EXPANDED POLYSTYRENE ROOF INSULATION
MET FURG-4	09 2116 - RESILIENT FURRING CHANNELS
PRECAST-15	03 4113 - PRECAST HOLLOW CORE PLANK
RF UNDMNT-3	07 2500 - SYNTHETIC ROOFING UNDERLAYMENT
RF VENT-2	07 3113 - SOFFIT/EAUSE STRIP VENT
SHINGLE-1	07 3113 - LAMINATED FIBERGLASS SHINGLES
VINYL SIDING-1	07 4633 - VINYL LAP SIDING
VPR RET-1	07 2500 - 6 MIL POLY VAPOR RETARDER SHEET
VPR RET-2	07 2500 - 10 MIL POLY REINFORCED VAPOR RETARDER
WD SHTG-1	06 1000 - FLOOR SHEATHING, 3/4" OSB, EXPOSURE 1, T&G
WD SHTG-14	06 1000 - 1/2" CDX ROOF SHEATHING WITH H CLIPS
WD SHTG-20	06 1000 - 15/32" OSB WALL SHEATHING
WD SHTG-26	06 1000 - 3/4" PLYWOOD WALL SHEATHING
WTR PRF-2	07 1300 - SELF-ADHERING RUBBERIZED ASPHALT SHEETS



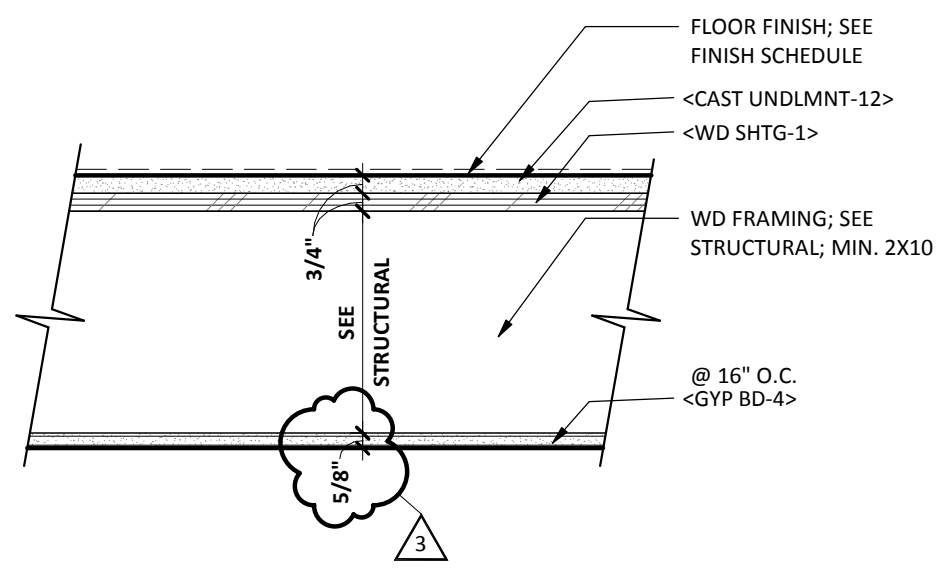
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Minneapolis, MN 55401
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
Noble/Washington, AN/LEED AP
REG. NO. 48548 DATE

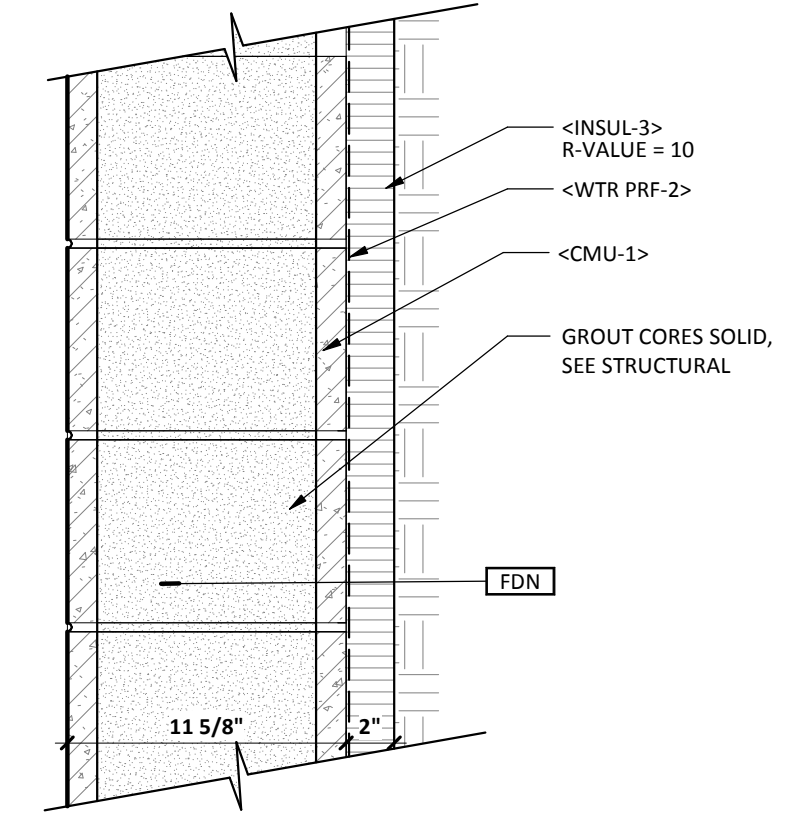
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018



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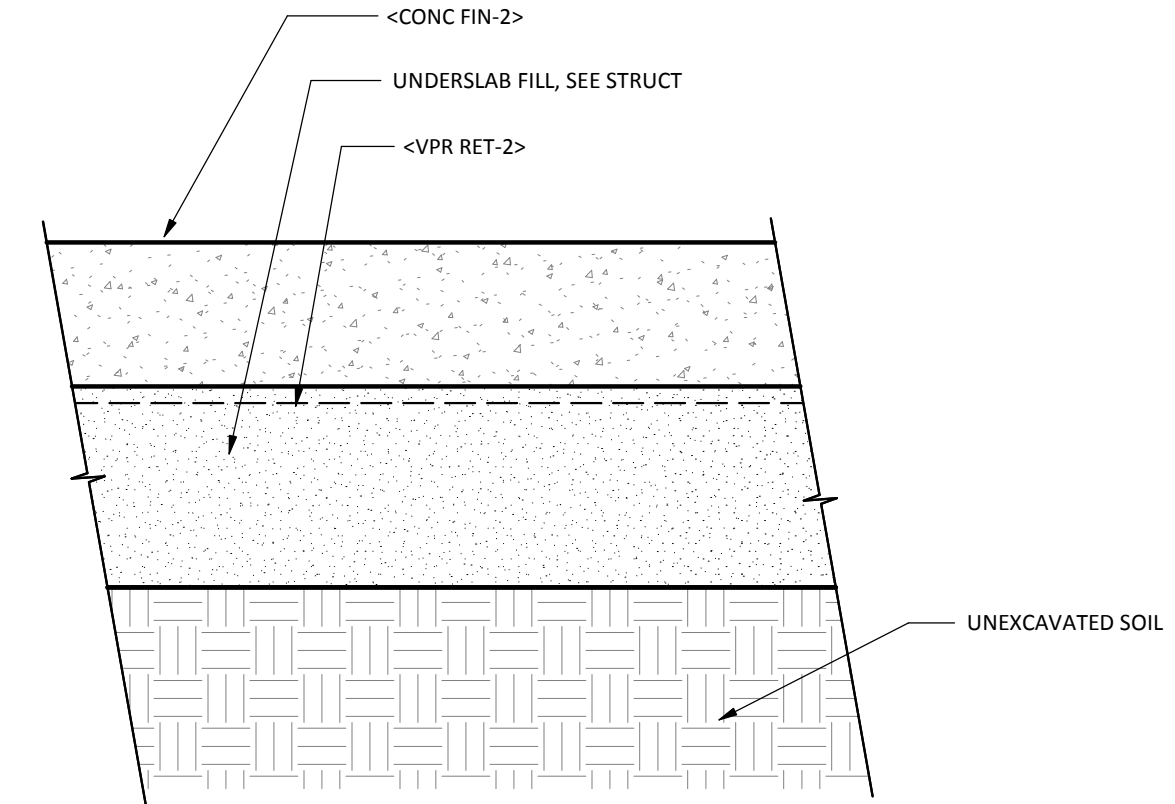
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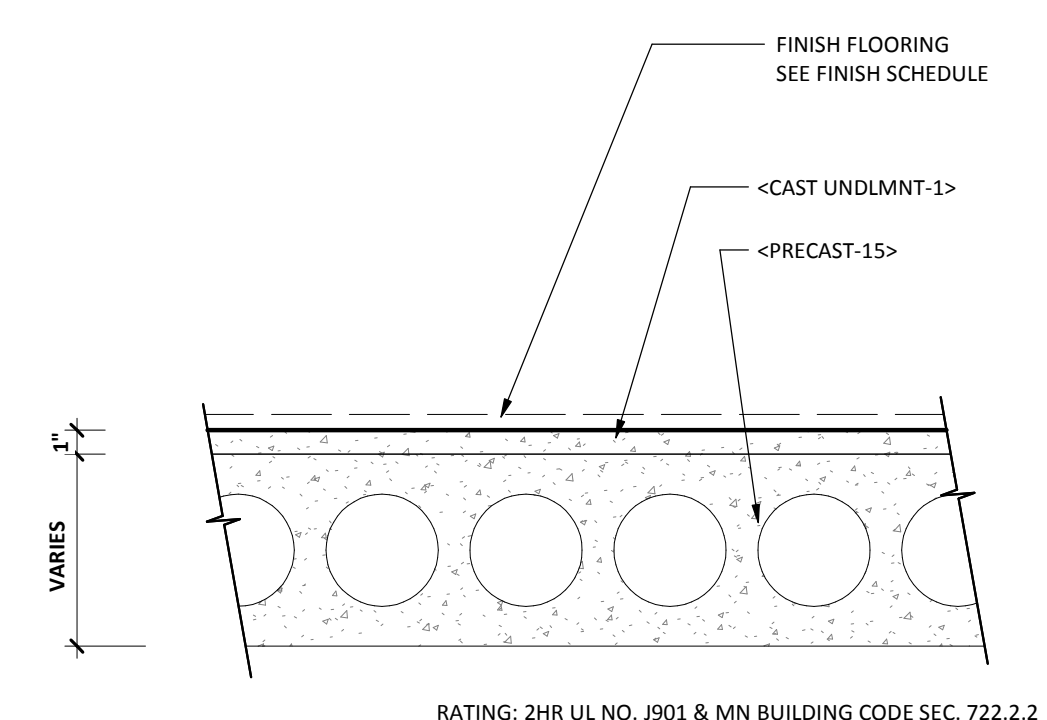
2C FOUNDATION WALL TYPE
SCALE: 1 1/2" = 1'-0"

FOUNDATION WALL TYPE							
WALL TAG	Wall structure	Insulation Thickness	U-VALUE (REQ)	U-VALUE (PROVIDED)	RATING	UL NO.	COMMENTS
FDN							

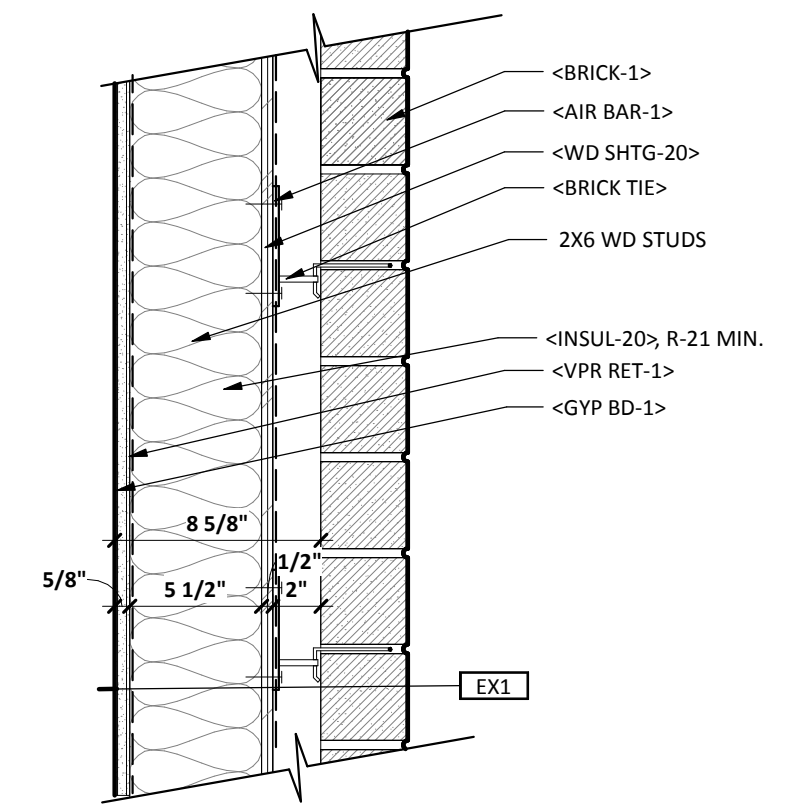
6B FLOOR TYPE WFL1.0
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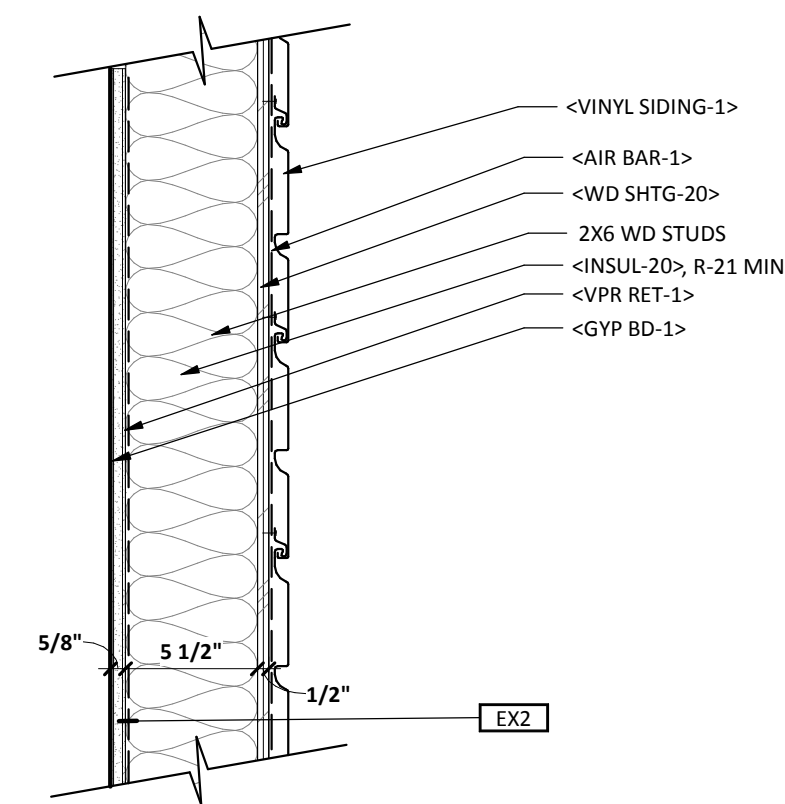
6A CONCS.O.G.
SCALE: 1 1/2" = 1'-0"



5A PRECAST CONC FLOOR
SCALE: 1 1/2" = 1'-0"



2A EX 1
SCALE: 1 1/2" = 1'-0"



3A EX 2
SCALE: 1 1/2" = 1'-0"

EXTERIOR WALL TYPES							
WALL TAG	Stud Size & Spacing	Width	U-VALUE (REQ)	U-VALUE (PROVIDED)	RATING	UL NO.	COMMENTS
EX1		1' - 0 5/8"	.044		1 HR	U356	
EX2		0' - 8 3/8"	0.45		1 HR	U356	

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
G106

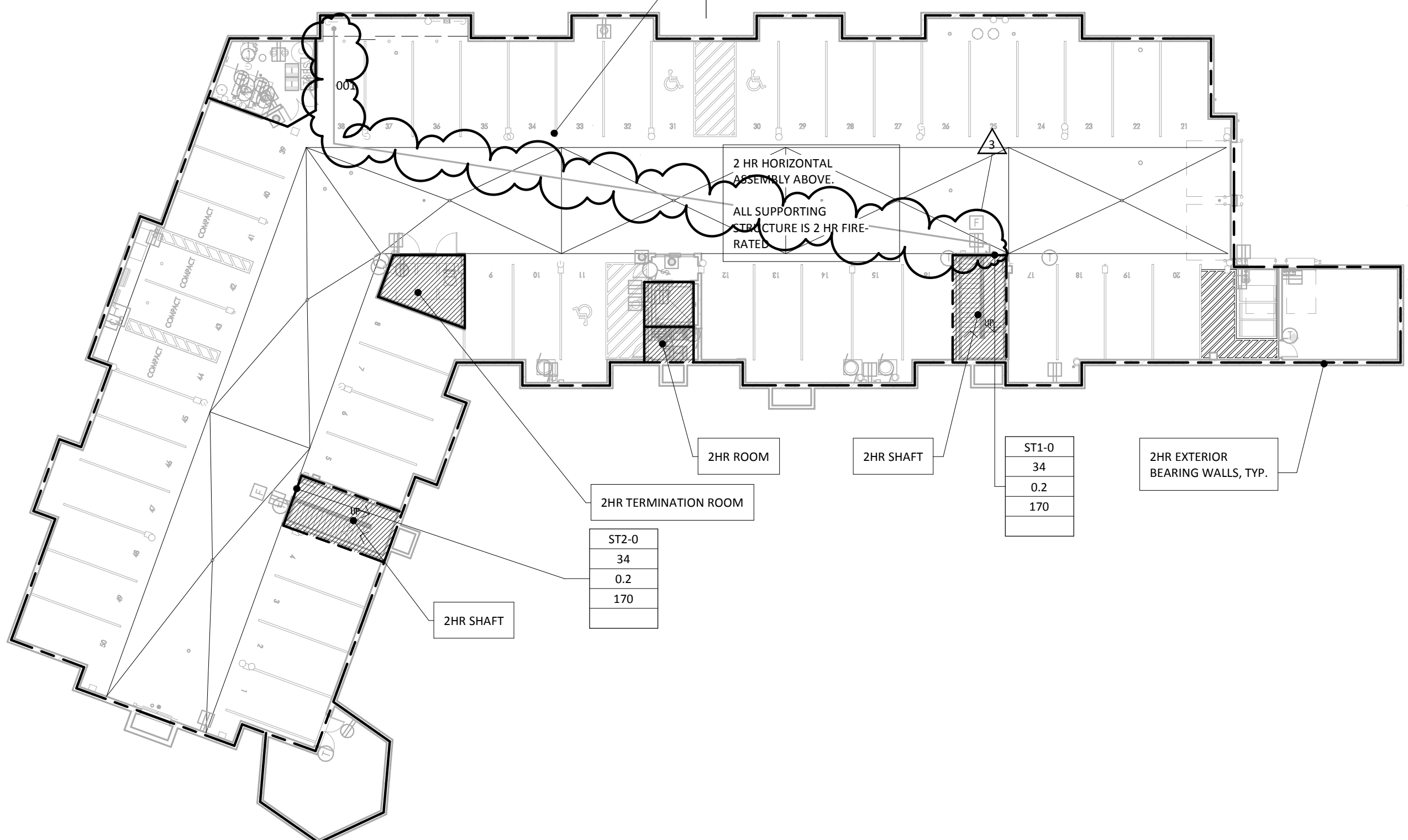
TYPICAL ASSEMBLIES

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

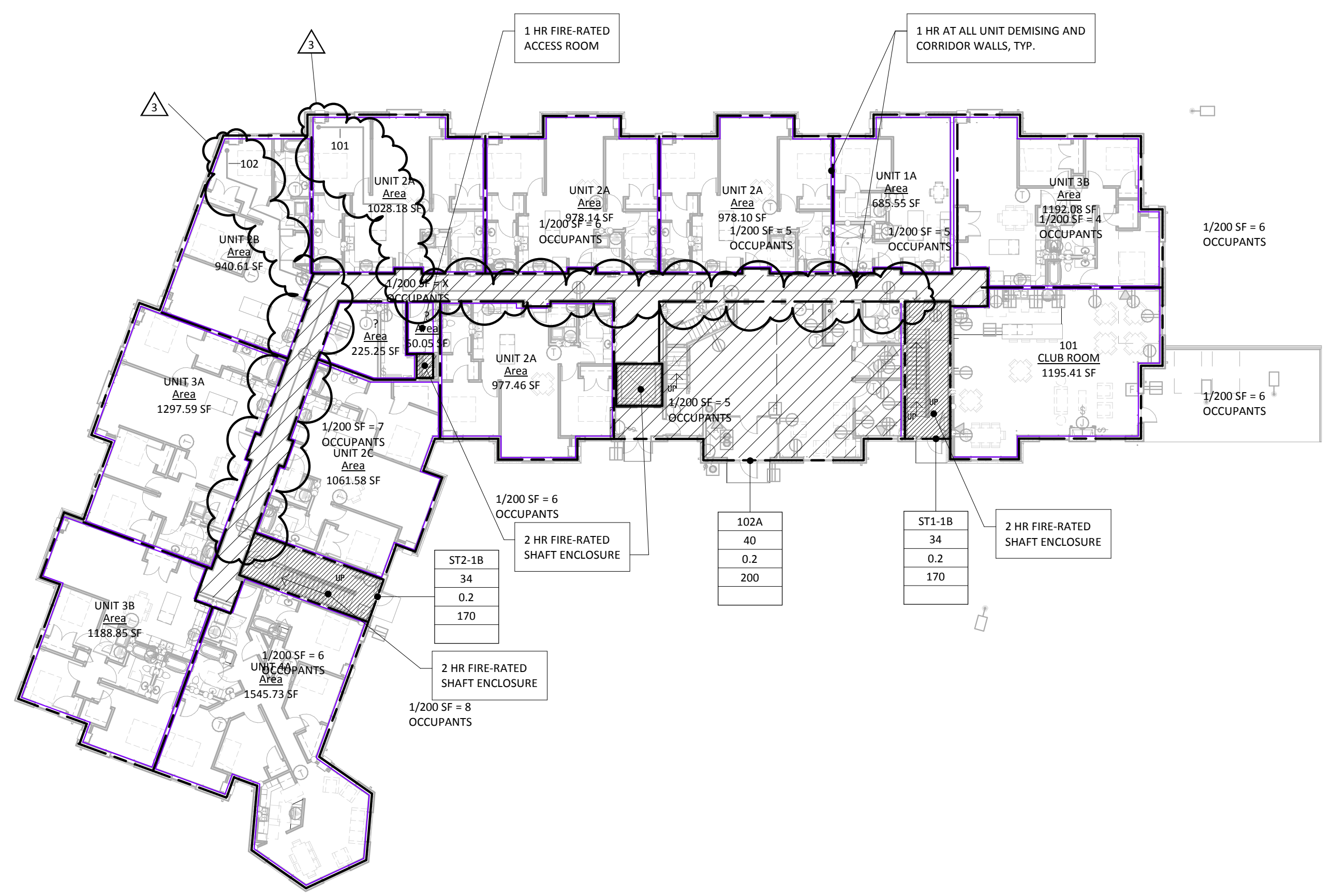
REG. NO. 48548 DATE
Noble/Washington, AIA/LEED AP

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2016

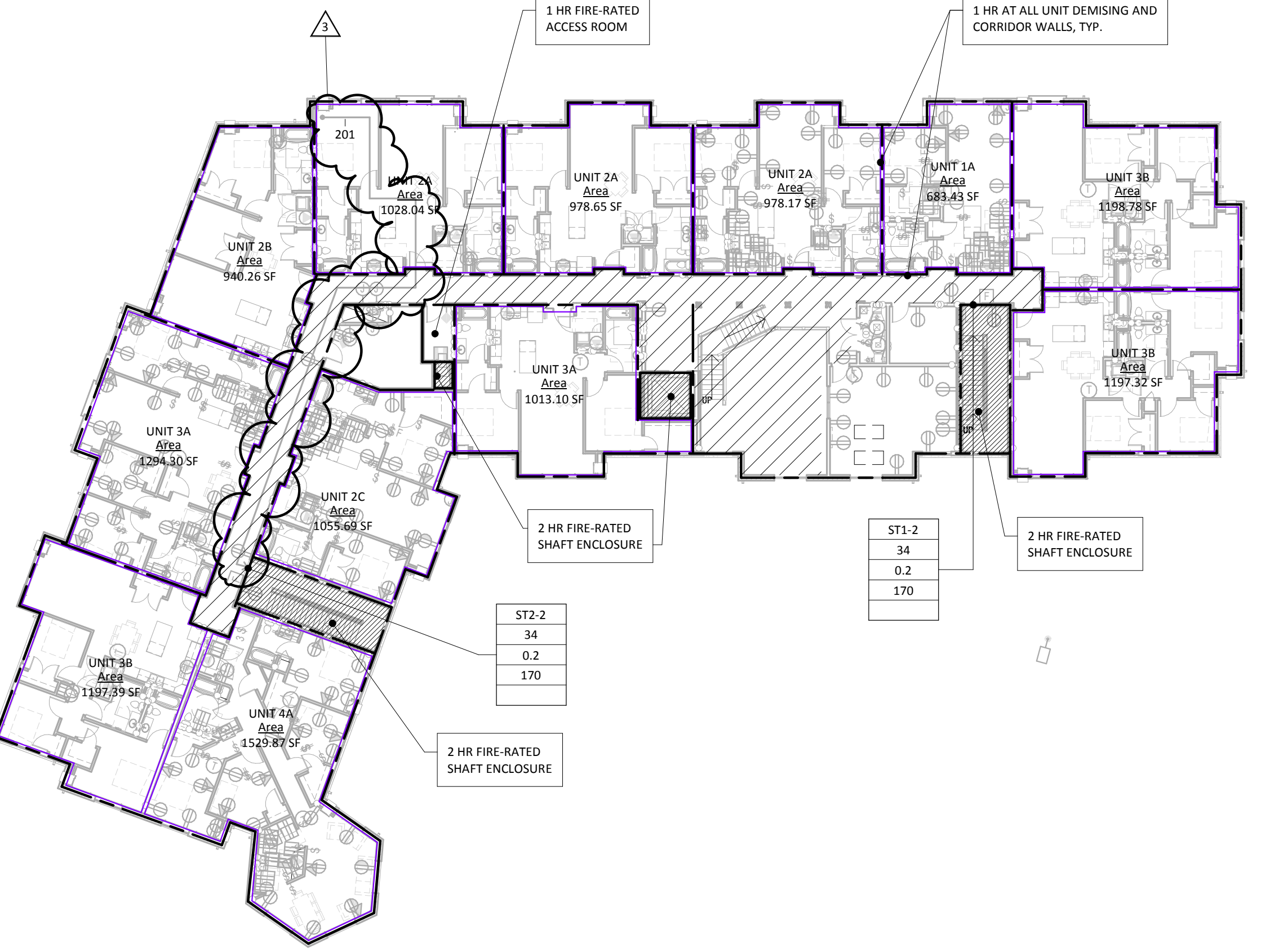
TRAVEL DISTANCE	
Travel Distance	Path ID
148'-10"	001
155'-6"	101
99'-1"	102
119'-8"	201
120'-4"	301



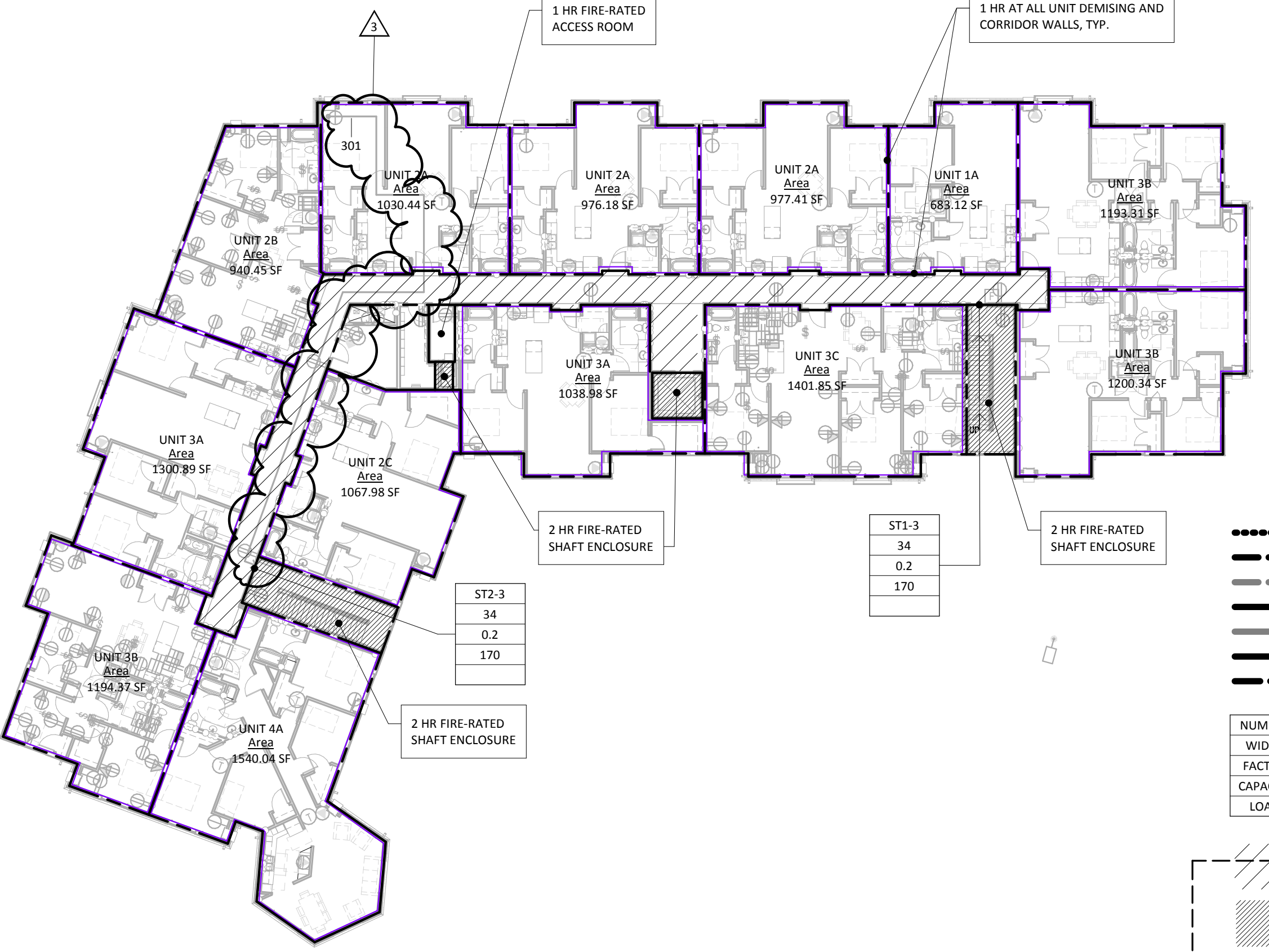
1
G111 GARAGE FLOOR LIFE SAFETY
SCALE: 1" = 20'-0"



2
G111 FIRST FLOOR LIFE SAFETY
SCALE: 1" = 20'-0"



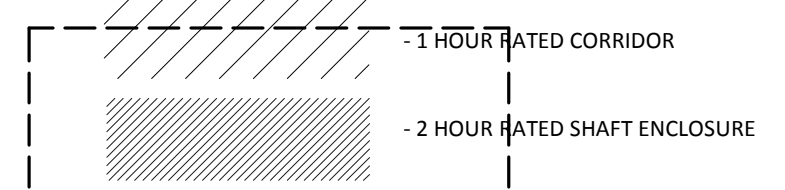
3
G111 SECOND FLOOR LIFE SAFETY
SCALE: 1" = 20'-0"



4
G111 THIRD AND FOURTH FLOOR LIFE SAFETY
SCALE: 1" = 20'-0"

- - 0.5 HOUR RATED WALL
- - 1 HOUR RATED WALL
- - EXISTING 1 HOUR RATED WALL
- - 2 HOUR RATED WALL
- - EXISTING 2 HOUR RATED WALL
- - 3 HOUR RATED WALL
- - 4 HOUR RATED WALL

NUMBER	ELEMENT ID
←	WIDTH
←	EGRESS WIDTH
←	FACTOR
←	CAPACITY
←	LOAD
←	EGRESS



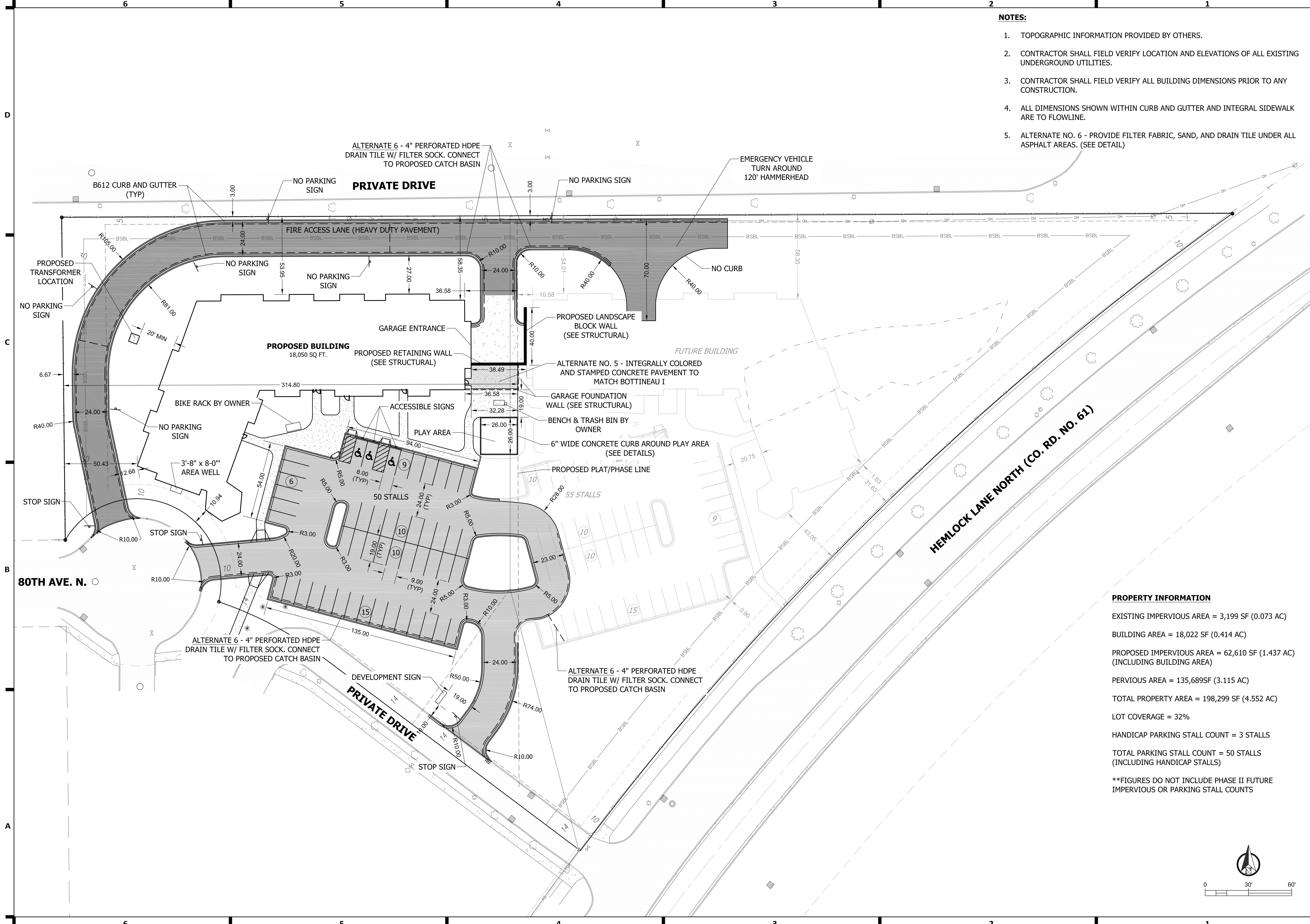
2/27/2018 5:17:56 PM

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
G111
LIFE SAFETY PLANS



- NOTES:**
1. TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS.
 2. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATIONS OF ALL EXISTING UNDERGROUND UTILITIES.
 3. CONTRACTOR SHALL FIELD VERIFY ALL BUILDING DIMENSIONS PRIOR TO ANY CONSTRUCTION.
 4. ALL DIMENSIONS SHOWN WITHIN CURB AND GUTTER AND INTEGRAL SIDEWALK ARE TO FLOWLINE.
 5. ALTERNATE NO. 6 - PROVIDE FILTER FABRIC, SAND, AND DRAIN TILE UNDER ALL ASPHALT AREAS. (SEE DETAIL)



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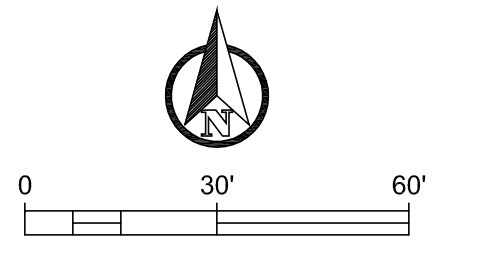
I HEREBY CERTIFY THAT THIS SURVEY PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 E. ANDERSON
 48223 12.04.2017
 L.L.C. NO. DATE

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

PROPERTY INFORMATION

EXISTING IMPERVIOUS AREA = 3,199 SF (0.073 AC)
 BUILDING AREA = 18,022 SF (0.414 AC)
 PROPOSED IMPERVIOUS AREA = 62,610 SF (1.437 AC) (INCLUDING BUILDING AREA)
 PERVIOUS AREA = 135,689SF (3.115 AC)
 TOTAL PROPERTY AREA = 198,299 SF (4.552 AC)
 LOT COVERAGE = 32%
 HANDICAP PARKING STALL COUNT = 3 STALLS
 TOTAL PARKING STALL COUNT = 50 STALLS (INCLUDING HANDICAP STALLS)
 **FIGURES DO NOT INCLUDE PHASE II FUTURE IMPERVIOUS OR PARKING STALL COUNTS



JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017
 PHASE
100% CDs
 PROJECT
16098
 SHEET
C201
 SITE PLAN

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- D. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- E. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X'-X") W/ EQUIPMENT VENDER.
- H. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- I. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
- J. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- K. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- L. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

PARKING GARAGE KEYNOTES

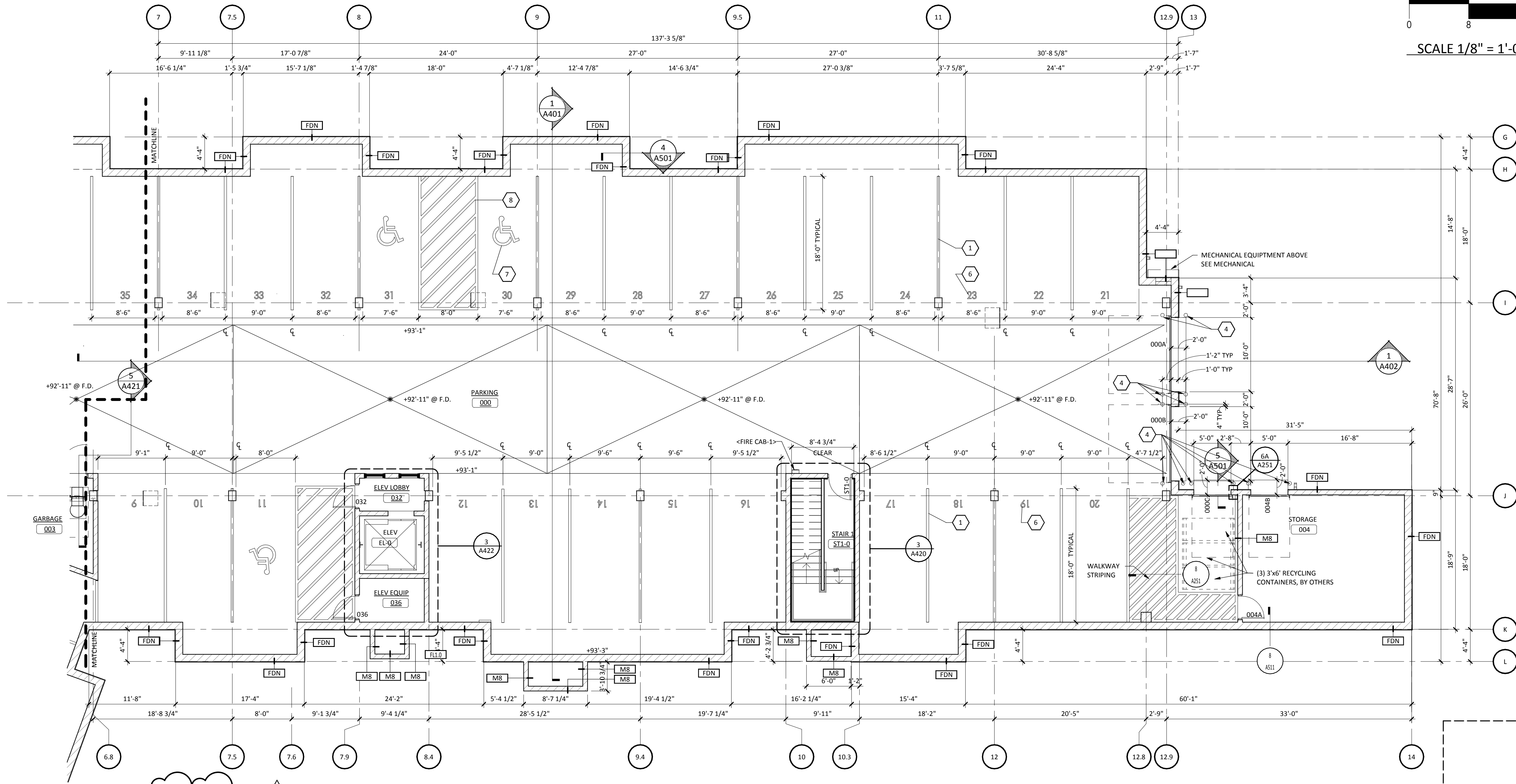
NO.	NOTE
1	4" PARKING LOT STRIPING
2	AREA WELL
3	CHAIN LINK FENCE WITH 3' WIDE SLIDING GATE
4	STEEL BOLLARD <MET FAB-1>. EXTERIOR BOLLARDS TO HAVE CONCRETE FOUNDATION, SEE CIVIL DETAILS
5	8" HIGH CONCRETE WALKWAY WITH STRIPING, TYP
6	PAINTED STALL NUMBER, TYP
7	PAINTED ACCESSIBLE SYMBOL, TYP
8	LOADING ZONE STRIPING, TYP
9	6'-0" X 8'-0" LOUVER, SEE MECH

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

REG. NO. 48548 DATE
 N. Wade Washburn, AIA/LEED AP

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/20
		18



1 GARAGE FLOOR PLAN - EAST
 SCALE: 1/8" = 1'-0"

2/27/2018 5:14:24 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A210B
 GARAGE PLAN - EAST

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.274.6475
 www.jlgarchitects.com
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

REG. NO. 48548
 EXP. DATE 12/31/2017

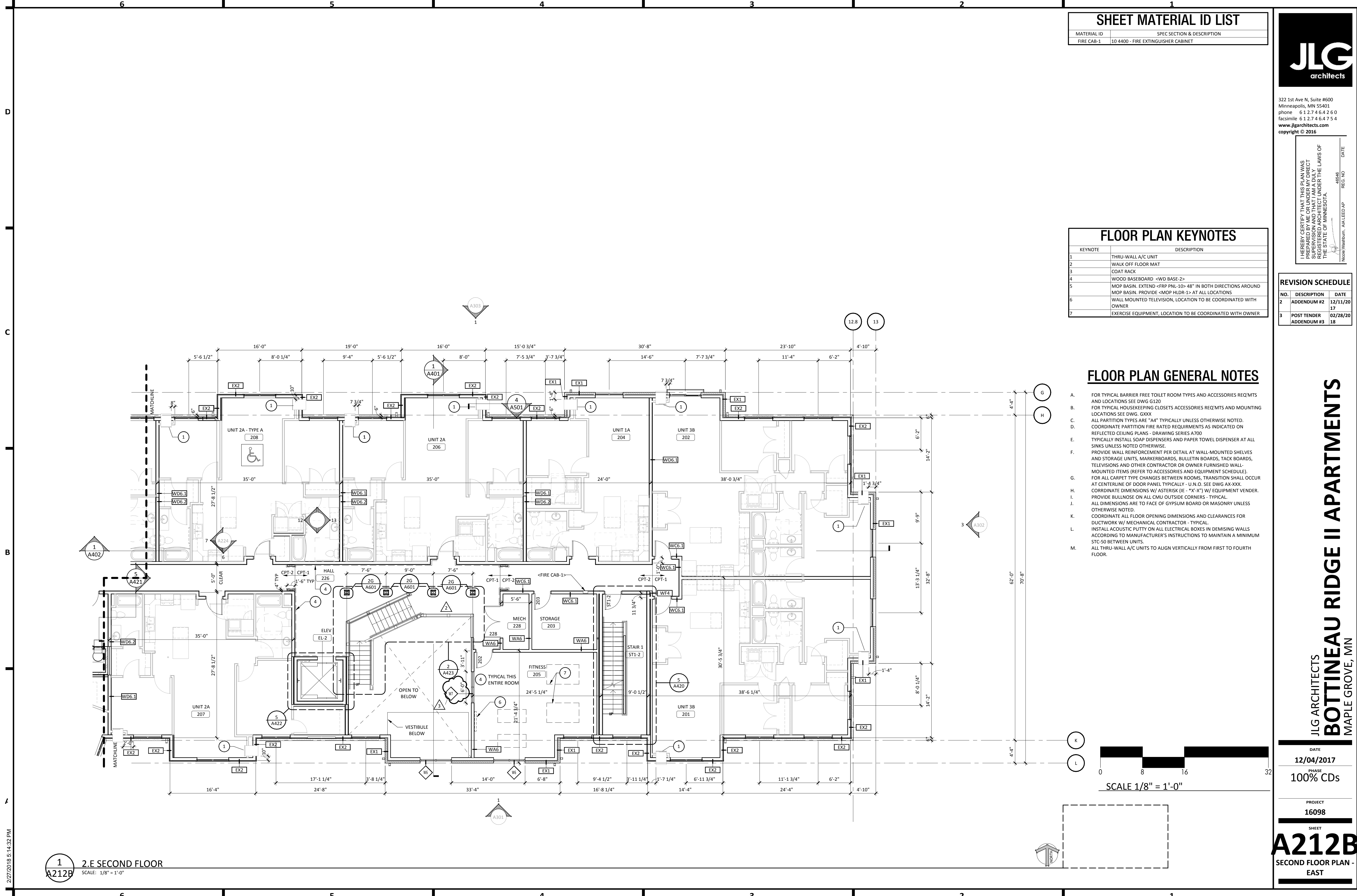
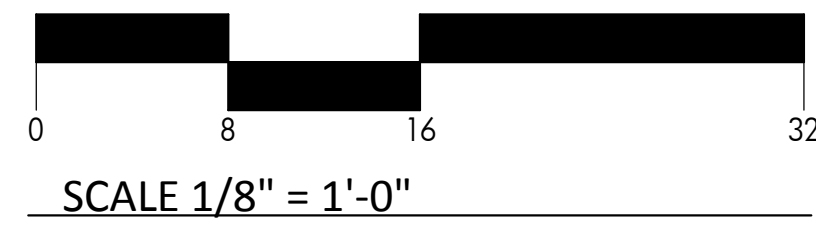
NO.	DESCRIPTION	DATE
1	ADDENDUM #2	12/11/2017
2	ADDENDUM #3	02/28/2018

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -<WD BASE-2>
5	MOP BASIN. EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN. PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'TS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'TS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "AA" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDER.
- I. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- J. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



1
A212B
 2.E SECOND FLOOR
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A212B
 SECOND FLOOR PLAN - EAST

2/27/2018 5:14:32 PM

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: Nicholas Washburn, AIA/LEED AP
REG. NO. 48548
DATE

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/20
		16

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
CRTN ROD-2	10 2800 - SHOWER CURTAIN ROD, CURVED
DISHWASHER-2	
DRYER-1	11 3100 - CLOTHES DRYER
FRIDGE-1	11 3100 - REFRIGERATOR
FRIDGE-2	11 3100 - REFRIGERATOR
GRAB BAR-18	10 2800 - STAINLESS STEEL GRAB BAR, 18"
GRAB BAR-30	10 2800 - STAINLESS STEEL GRAB BAR, 30"
GRAB BAR-36	10 2800 - STAINLESS STEEL GRAB BAR, 36"
GRAB BAR-42	10 2800 - STAINLESS STEEL GRAB BAR, 42"
MET FAB-21	05 5000 - PRE-FINISHED METAL PANEL
MIRROR-50	10 2800 - FRAMELESS MIRROR
RANGE HD-1	11 3100 - RANGE HOOD
RANGE-2	11 3100 - RANGE
ROBE HOOK-1	10 2800 - SINGLE PRONG ROBE HOOK
SSURF CTOP-21	12 3600 - 1/2" SOLID SURFACE COUNTERTOP
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TOWEL BAR-2	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
WASHER-2	11 3100 - WASHING MACHINE

UNIT PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	BEDROOM CLOSET SHELVING - SEE ELEVATION 5.1/A220
2	ENTRY CLOSET SHELVING - SEE ELEVATION 5.2/A220
3	LINEN CLOSET SHELVING - SEE ELEVATION 5.3/A220
4	LAUNDRY SHELVING - SEE ELEVATION 5.4/A220
5	THRU WALL AIR CONDITIONER, SEE MECH.
6	DISASTER PAN - SEE UNIT PLAN GENERAL NOTE 'I'

UNIT PLAN GENERAL NOTES

A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MENTS AND LOCATIONS SEE DWG G120

B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES EQ'MTS AND MOUNTING LOCATIONS SEE DWG GXXX

C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON GXXX PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).

D. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.

E. CORRDINATE DIMENSIONS W/ ASTERISK (IE - *X-X") W/ EQUIPMENT VENDER. ALL DIMENSIONS ARE TO CENTER OF WALL ASSEMBLY AT INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS AT EXTERIOR ARE TO FACE OF BRICK/FOUNDATION OR FACE OF SHEATHING.

F. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.

G. PROVIDE DISASTER PAN WITH FLOOR DRAIN UNDER ALL WASHING MACHINES AT 2ND THRU 4TH FLOORS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES AT 1ST FLOOR.

H. PROVIDE FLOOR DRAIN IN DRY OFF AREA OF TYPE-A UNIT ROLL-IN SHOWER. WALL TYPES W/ UNDERL.

I. PROVIDE CAST UNDERLAMENT-1 UNDER TUBS AND SHOWERS.

J. AT ACCESSIBLE VANITY AND SINK CABINETS EXTEND FLOOR FINISH UNDER CABINET, AND FINISH WALL AND CABINET SIDES.

16 TOILET ELEV 9-A
SCALE: 1/4" = 1'-0"

15 TOILET ELEV 8-A
SCALE: 1/4" = 1'-0"

14 TOILET ELEV 6-A
SCALE: 1/4" = 1'-0"

13 TOILET ELEV 7 - A
SCALE: 1/4" = 1'-0"

12 TOILET ELEV 8 - A
SCALE: 1/4" = 1'-0"

17 REMOVABLE BASE CABINET
SCALE: 1/2" = 1'-0"

11 TOILET ELEV 2-A
SCALE: 1/4" = 1'-0"

10 TOILET ELEV 1-A
SCALE: 1/4" = 1'-0"

9 TYPE A ISLAND ELEV. 2
SCALE: 1/4" = 1'-0"

8 TYPE-A ISLAND ELEV.
SCALE: 1/4" = 1'-0"

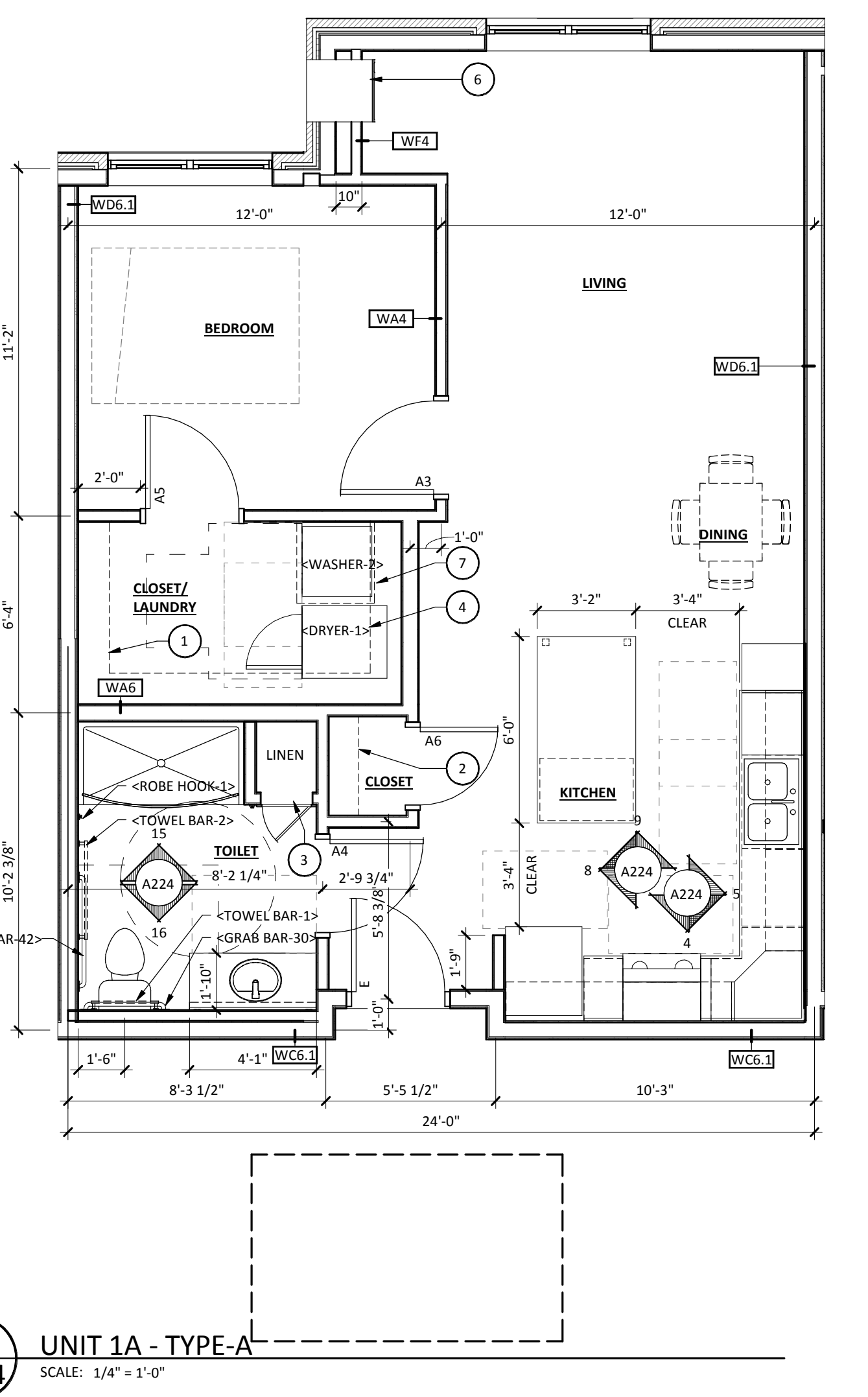
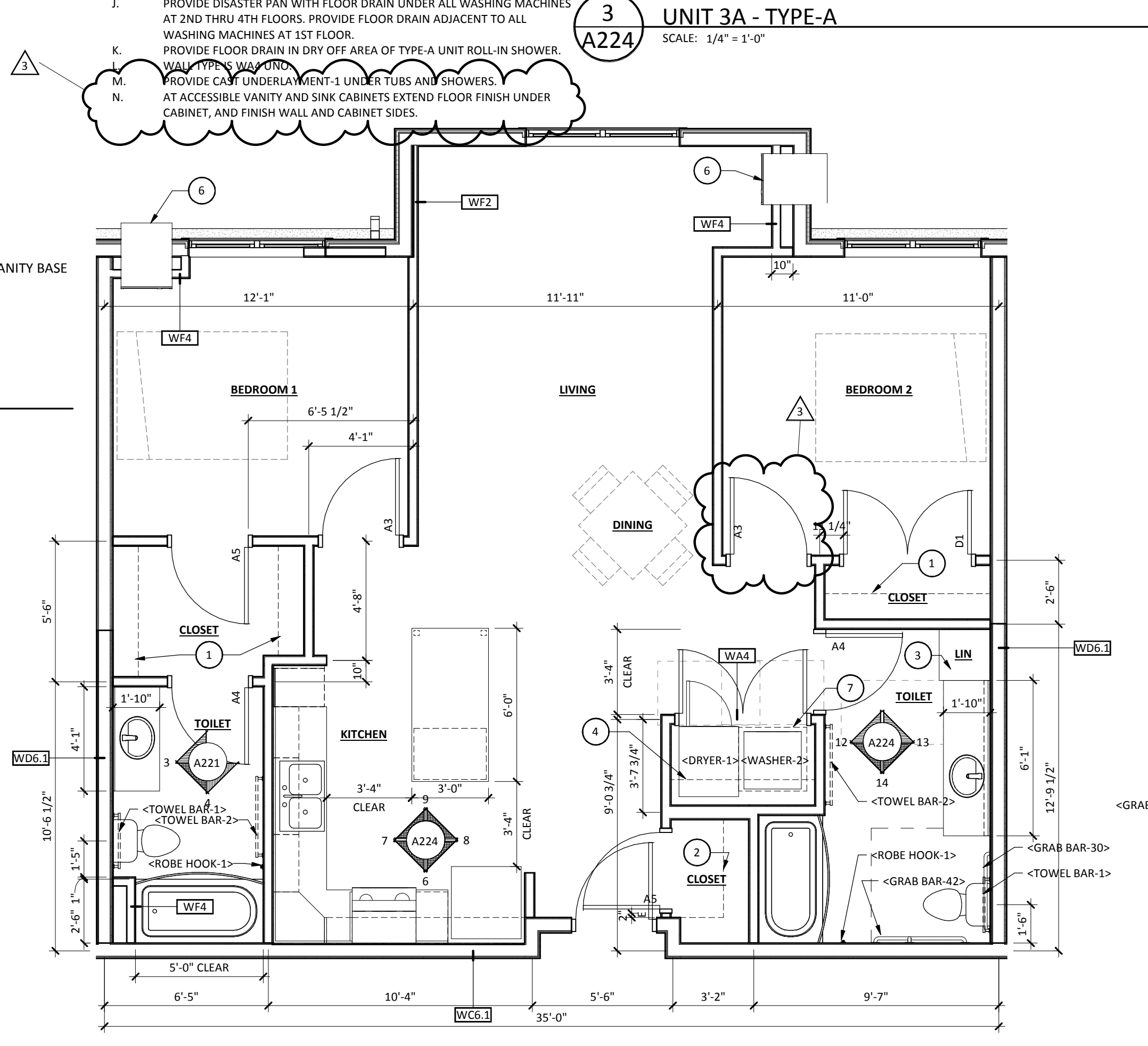
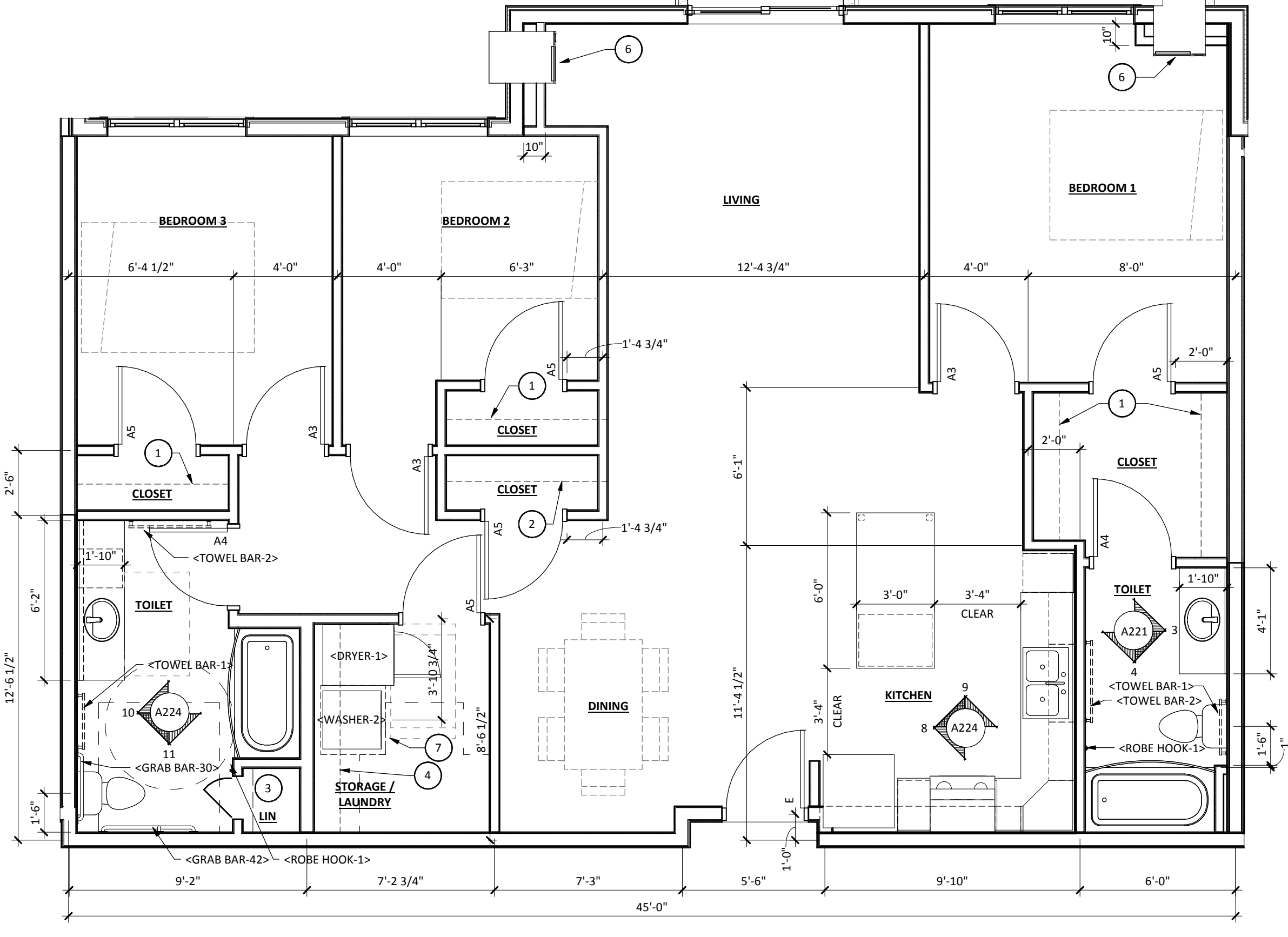
18 ACCESSIBLE VANITY BASE
SCALE: 1/2" = 1'-0"

7 KITCHEN 2A TYPE A SINK ELEV
SCALE: 1/4" = 1'-0"

6 KITCHEN 2A TYPE A RANGE ELEV
SCALE: 1/4" = 1'-0"

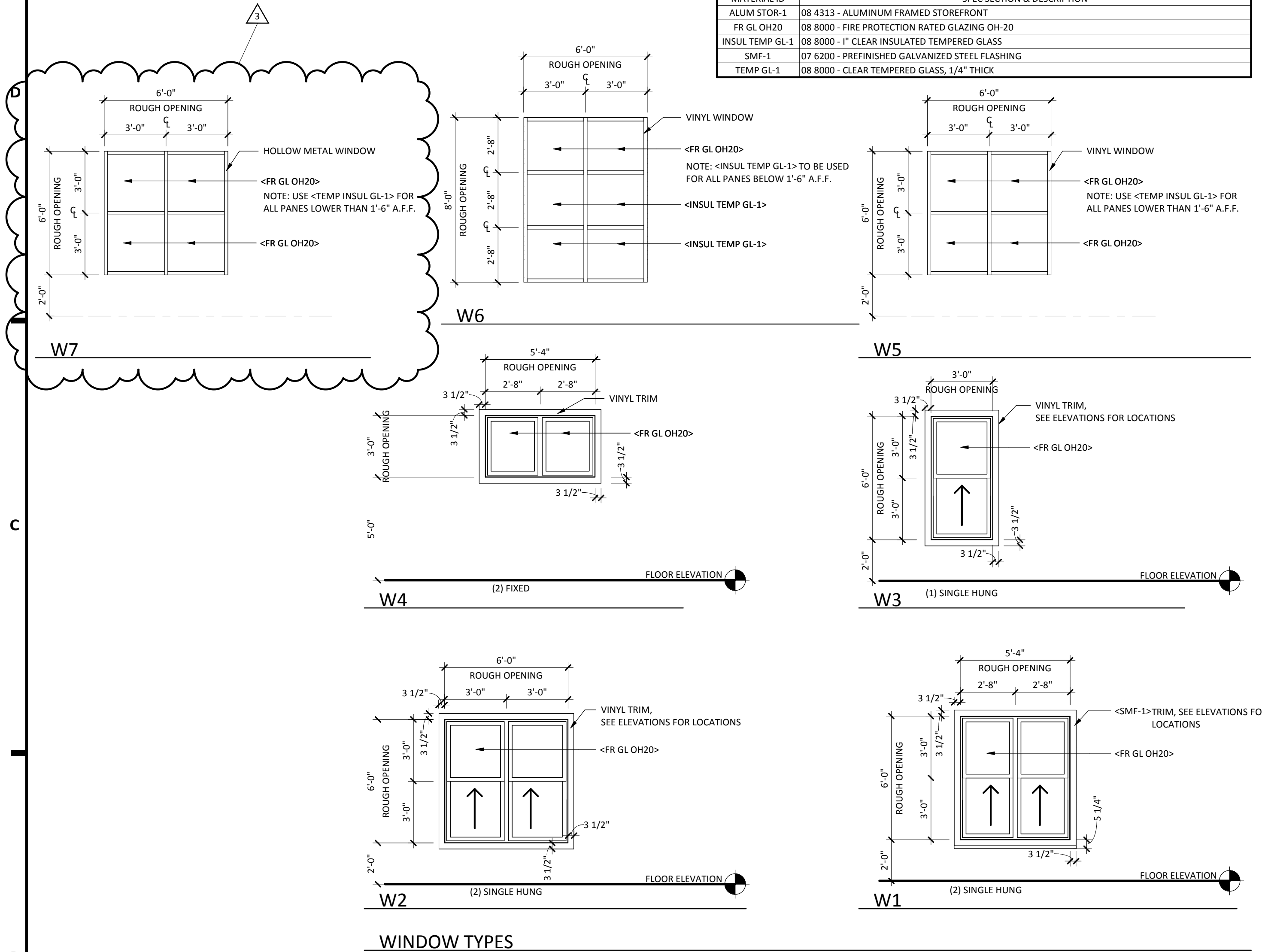
5 KITCHEN 1A TYPE A SINK ELEVATION
SCALE: 1/4" = 1'-0"

4 KITCHEN 1A TYPE A RANGE ELEVATION
SCALE: 1/4" = 1'-0"



SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
ALUM STOR-1	08 4313 - ALUMINUM FRAMED STOREFRONT
FR GL OH20	08 8000 - FIRE PROTECTION RATED GLAZING OH-20
INSUL TEMP GL-1	08 8000 - 1" CLEAR INSULATED TEMPERED GLASS
SMF-1	07 6200 - PREFINISHED GALVANIZED STEEL FLASHING
TEMP GL-1	08 8000 - CLEAR TEMPERED GLASS, 1/4" THICK



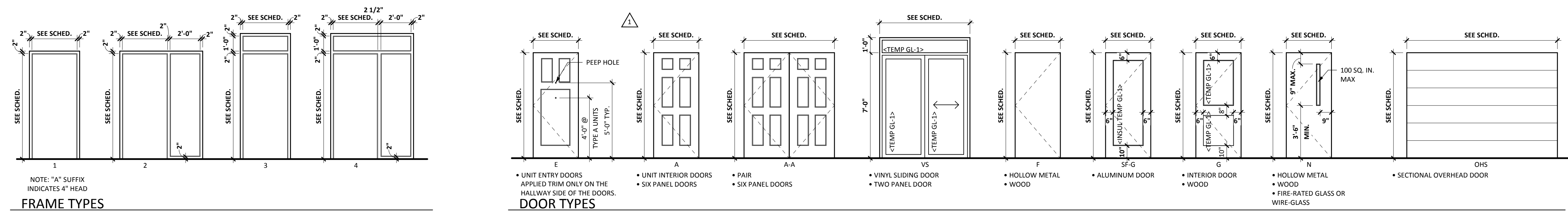
WINDOW TYPES

BUILDING DOOR SCHEDULE

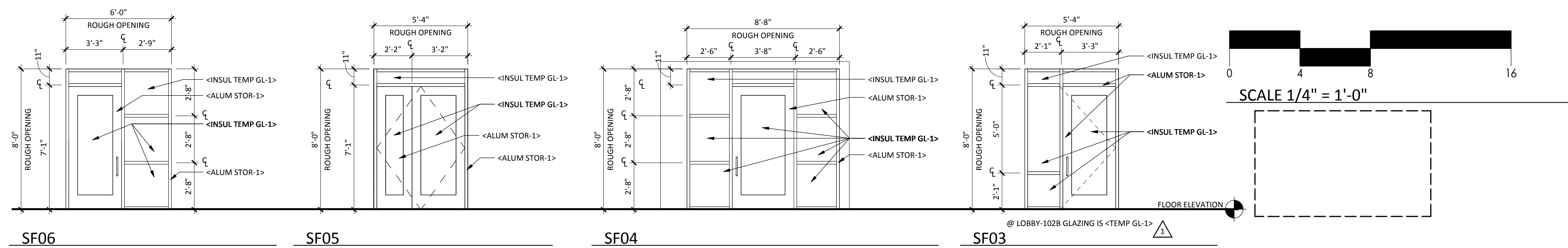
NO.	ROOM NAME	SIZE			DOORS				FRAME				DETAILS			RATING	HW SET	NOTES
		WIDTH	HEIGHT	THK	MAT'L	TYPE	FINISH	GLZ	MAT'L	TYPE	FINISH	GLZ	JAMB	HEAD	SILL			
GARAGE FLOOR																		
000A	PARKING	10'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	--
000B	PARKING	10'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	--
000C	RECYCLING	5'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	--
003A	GARBAGE	4'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	90MIN	11.0	
003B	GARBAGE	4'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	90MIN	11.0	
004A	STORAGE	3'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	--	--	--
004B	STORAGE	5'-0"	8'-0"	2"	STL	OHS	PREFIN	--	STL	SL	PREFIN	--	--	--	--	--	--	--
010	MECHANICAL	6'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	--	14.0	
031	STORAGE	6'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	--	14.0	
032	ELEV LOBBY	3'-0"	7'-0"	1 3/4"	HM	N	<PT->	--	HM	1A	<PT->	--	--	--	--	--	314.0	
036	ELEV EQUIP	3'-0"	7'-0"	1 3/4"	HM	F	<PT->	--	HM	1A	<PT->	--	--	--	--	90MIN	14.1	
ST1-0	STAIR 1	3'-0"	7'-0"	1 3/4"	HM	N	<PT->	--	HM	1A	<PT->	--	--	--	--	90MIN	31.0	
ST2-0	STAIR 2	3'-0"	7'-0"	1 3/4"	HM	N	<PT->	--	HM	1A	<PT->	--	--	--	--	90MIN	31.0	
FIRST FL T.O. CAST UNDERLAYMENT																		
101A	ELEV VEST	5'-0"	7'-0"	1 3/4"	AL	FG	ANOD	<INSUL TEMP GL-1>	AL	SF05	ANOD	<INSUL TEMP GL-1>	--	--	--	--	324.0	
102A	VESTIBULE	3'-6"	7'-0"	1 3/4"	AL	SF-G	ANOD	<INSUL TEMP GL-1>	AL	SF04	ANOD	<INSUL TEMP GL-1>	--	--	--	--	351.0	
102B	LOBBY	3'-6"	7'-0"	1 3/4"	AL	SF-G	ANOD	TEMP GL-1	AL	SF04	ANOD	TEMP GL-1	--	--	--	--	254.0	
103	ELEV VEST	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	TEMP GL-1	HM	1	<PT->	--	--	--	--	--	11.0	
106	TOILET	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	12.0	
107A	CLUB ROOM	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<FL GL-DH45>	HM	2	<PT->	--	--	--	--	20MIN	13.1	
107B	CLUB ROOM	3'-0"	7'-0"	1 3/4"	AL	G	ANOD	<INSUL TEMP GL-1>	AL	SF05	ANOD	<INSUL TEMP GL-1>	--	--	--	--	334.0	
109	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	45MIN	11.1	
111	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
124	BUSINESS CENTER	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<FL GL-DH45>	HM	2	<PT->	--	--	--	--	20MIN	13.1	
125	OFFICE	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	<FL GL-DH45>	HM	2	<PT->	--	--	--	--	20MIN	13.2	
127	ELECTRICAL	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	11.1	
129	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
ST1-1A	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
ST1-1B	STAIR 1	3'-0"	7'-0"	1 3/4"	AL	SF-G	ANOD	TEMP GL-1	AL	SF03	ANOD	<INSUL TEMP GL-1>	--	--	--	--	334.0	
ST2-1A	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
ST2-1B	STAIR 2	3'-0"	7'-0"	1 3/4"	AL	SF-G	ANOD	TEMP GL-1	AL	SF03	ANOD	<INSUL TEMP GL-1>	--	--	--	--	334.0	
SECOND FLOOR																		
202	FITNESS	3'-0"	7'-0"	1 3/4"	WD	G	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	11.1	
203	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
209	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	45MIN	11.1	
211	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
228	MECH	6'-0"	7'-0"	1 3/4"	WD	F-F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
ST1-2	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
ST2-2	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
THIRD FLOOR																		
309	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	45MIN	11.1	
311	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
327	ELECTRICAL	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	11.1	
ST1-3	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
ST2-3	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
FOURTH FLOOR																		
409	GARBAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	45MIN	11.1	
411	MECH	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
427	STORAGE	3'-0"	7'-0"	1 3/4"	WD	F	PREFIN	--	HM	1	<PT->	--	--	--	--	20MIN	14.1	
ST1-4	STAIR 1	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	
ST2-4	STAIR 2	3'-0"	7'-0"	1 3/4"	WD	N	PREFIN	<FL GL-DH90>	HM	1	<PT->	--	--	--	--	90MIN	34.0	

UNIT DOOR SCHEDULE

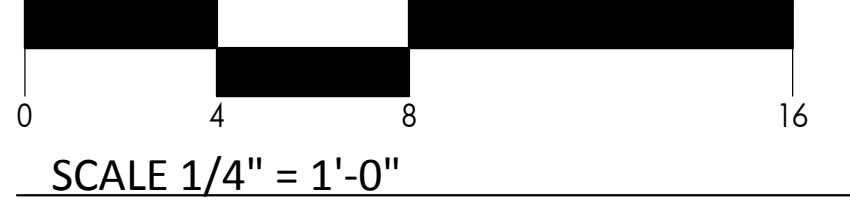
NO.	SIZE			DOORS				FRAME				DETAILS			RATING	HW SET	NOTES
	WIDTH	HEIGHT	THK	MAT'L	TYPE	FINISH	GLZ	MAT'L	TYPE	FINISH	GLZ	JAMB	HEAD	SILL			
A3	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	92.0	PREHUNG	
A4	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	92.0	PREHUNG	
A5	3'-0"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.0	PREHUNG	
A6	2'-6"	6'-8"	1 3/4"	WD	A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.0	PREHUNG	
D1	5'-0"	6'-8"	1 3/4"	WD	A-A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.1	PREHUNG	
D2	6'-0"	6'-8"	1 3/4"	WD	A-A	PREFIN	--	WD	1	PREFIN	--	--	--	--	91.1	PREHUNG	
E	3'-0"	7'-0"	1 3/4"	WD	E	PREFIN	--	HM	1	<PT->	--	--	2/A251	--	20MIN	93.0	
VS	6'-0"	8'-0"	2"	VINYL	VS	PREFIN	<INSUL TEMP GL-1>	VINYL	1	PREFIN	<INSUL TEMP GL-1>	--	--	--	--	97	



DOOR TYPES



GLAZING ELEVATIONS



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DATE
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 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 NAME: Washburn, Aukleeed AP

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	12/07/2017
2	ADDENDUM #2	02/28/2018
3	POST TENDER ADDENDUM #3	02/28/2018

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE: 12/04/2017
 PHASE: 100% CDs
 PROJECT: 16098
 SHEET: **A250**
 DOOR SCHEDULE & GLAZING ELEVATIONS

SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET
GYP BD-4	09 2116 - 5/8" FIRE RATED TYPE 'C' GYPSUM BOARD
WD BLKG	06 1000 - EXPOSED OR CONCEALED WOOD BLOCKING
WD SHTG-34	06 1000 - 3/4" PLYWOOD, GRADE C-C
WD TRIM-1	06 2000 - WOOD TRIM

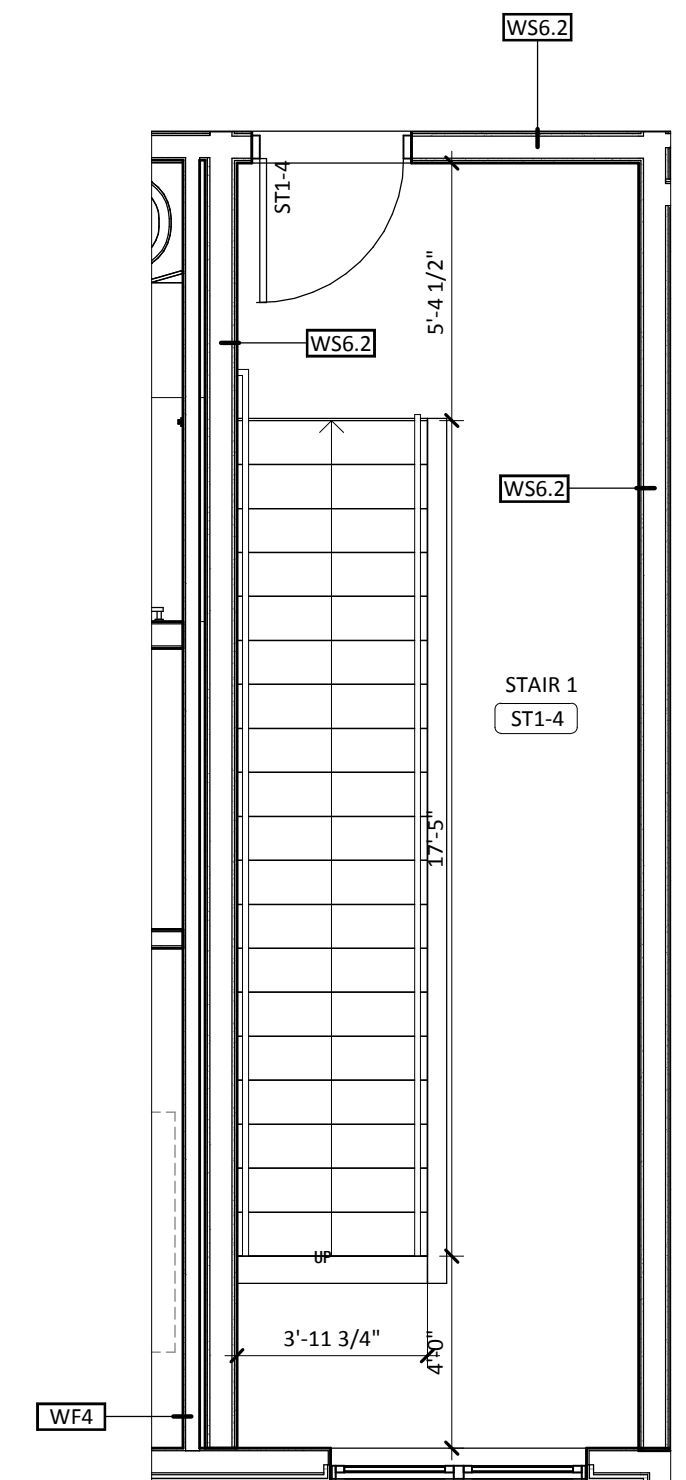
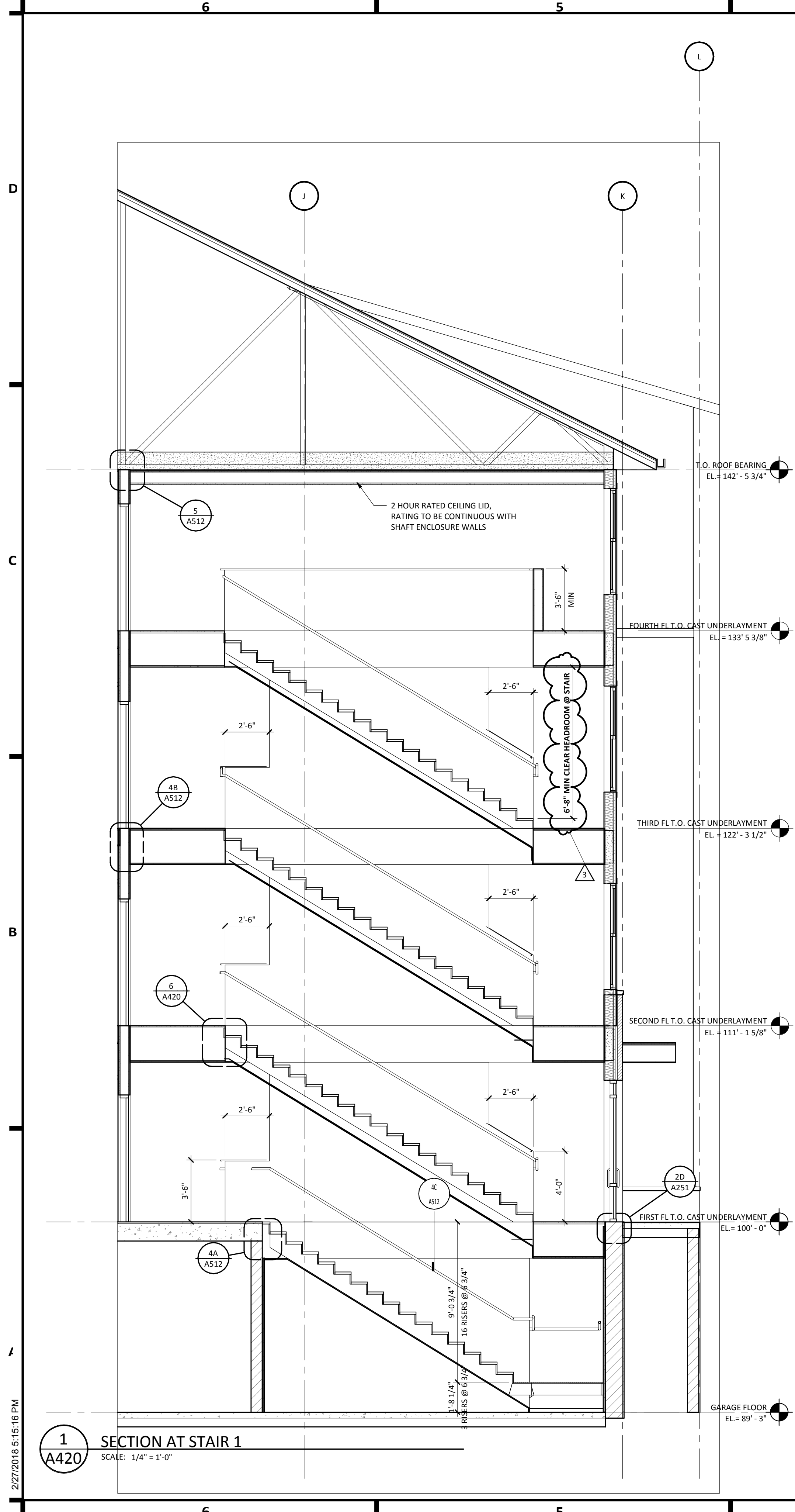


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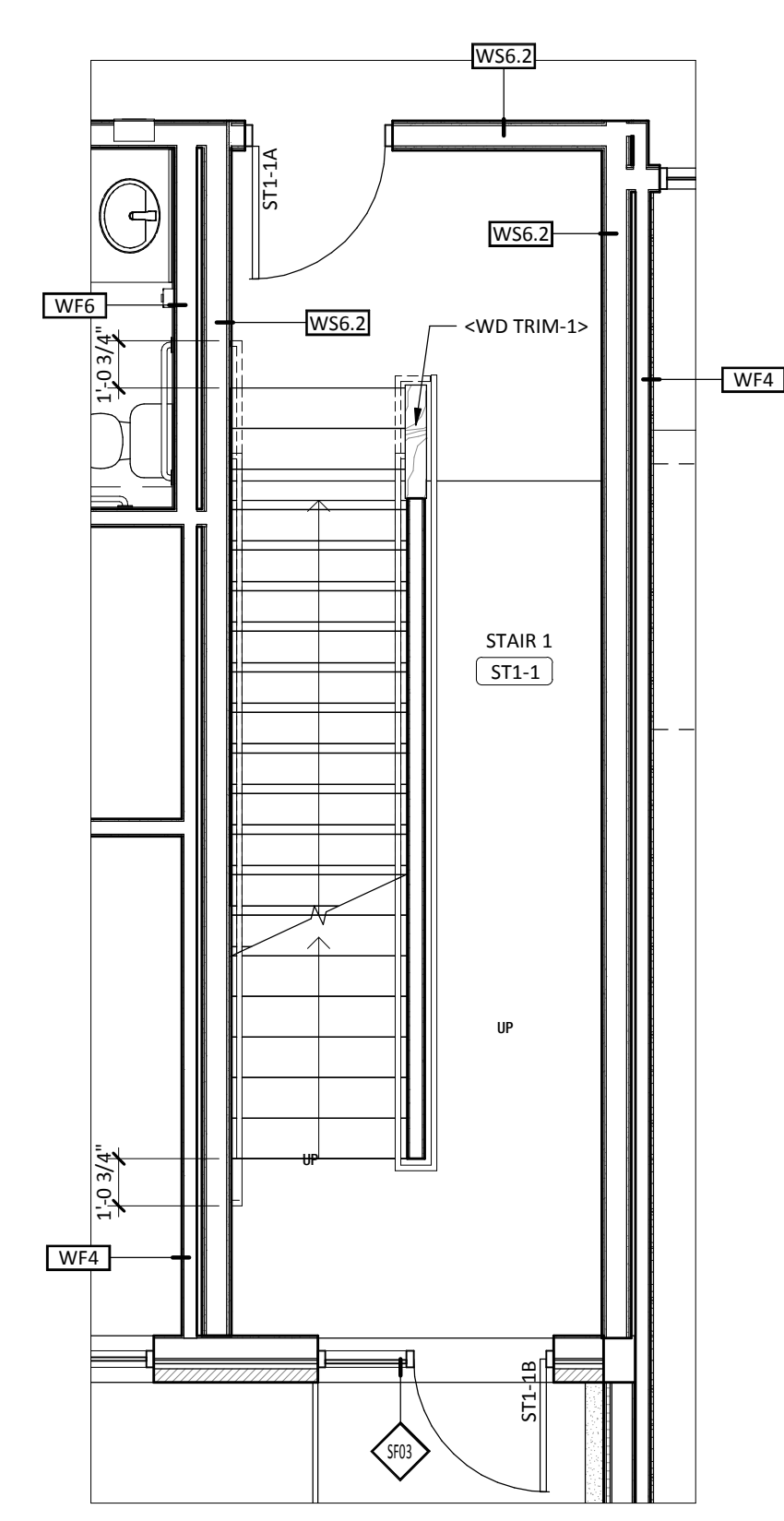
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Notch/Washington, AN/LEED AP REG. NO. 48548 DATE

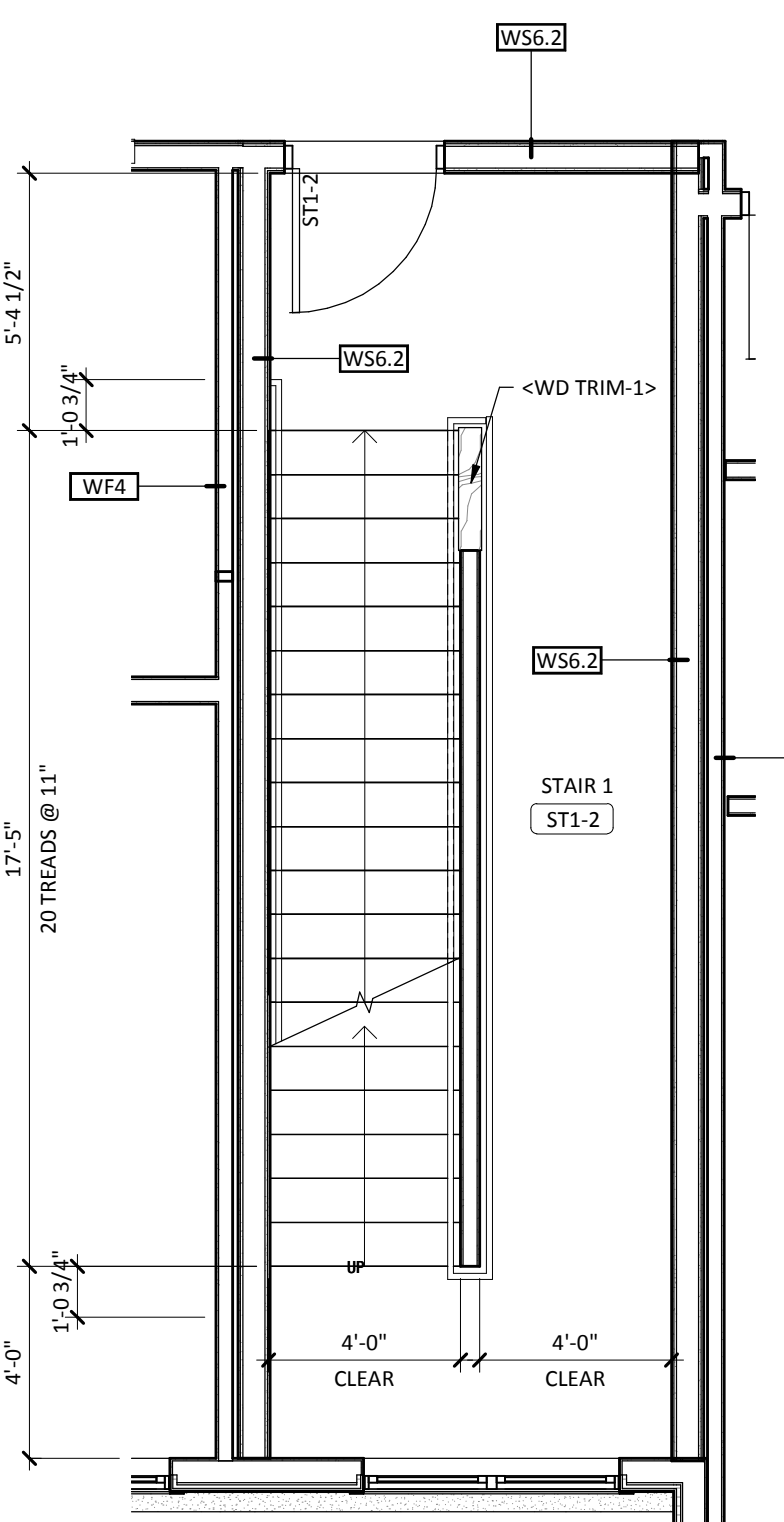
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2016



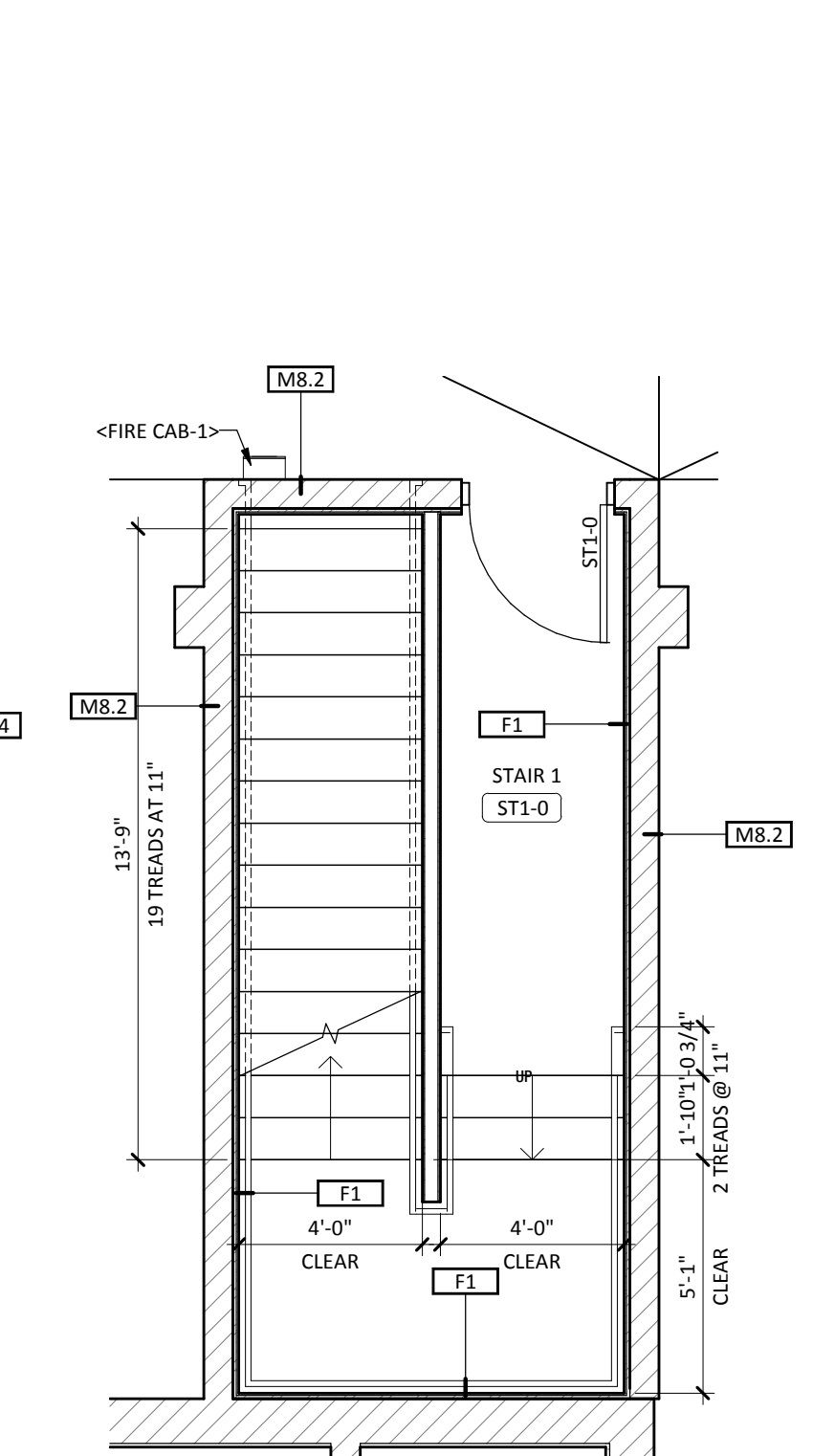
2 STAIR 1 - 4TH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



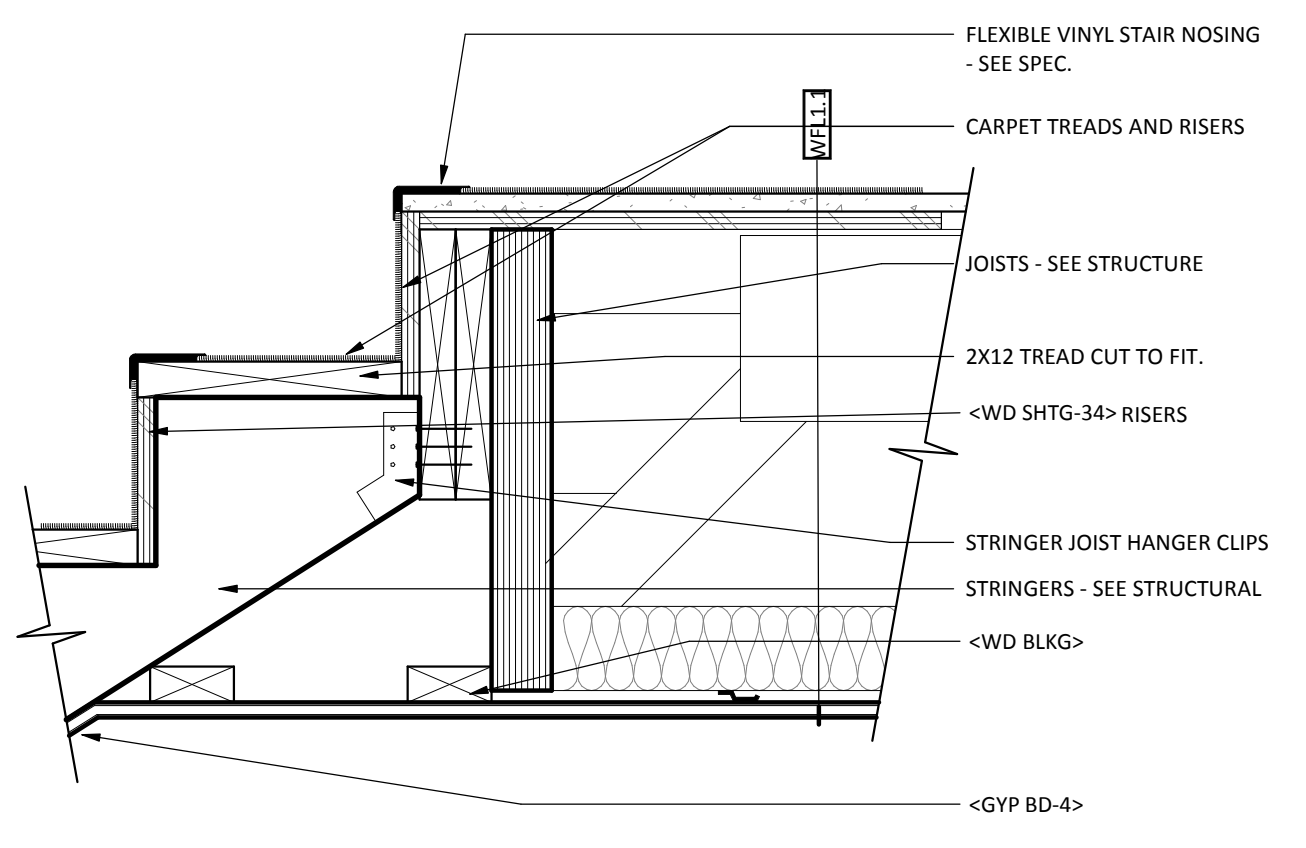
4 STAIR 1 PLAN - FIRST FLOOR
 SCALE: 1/4" = 1'-0"



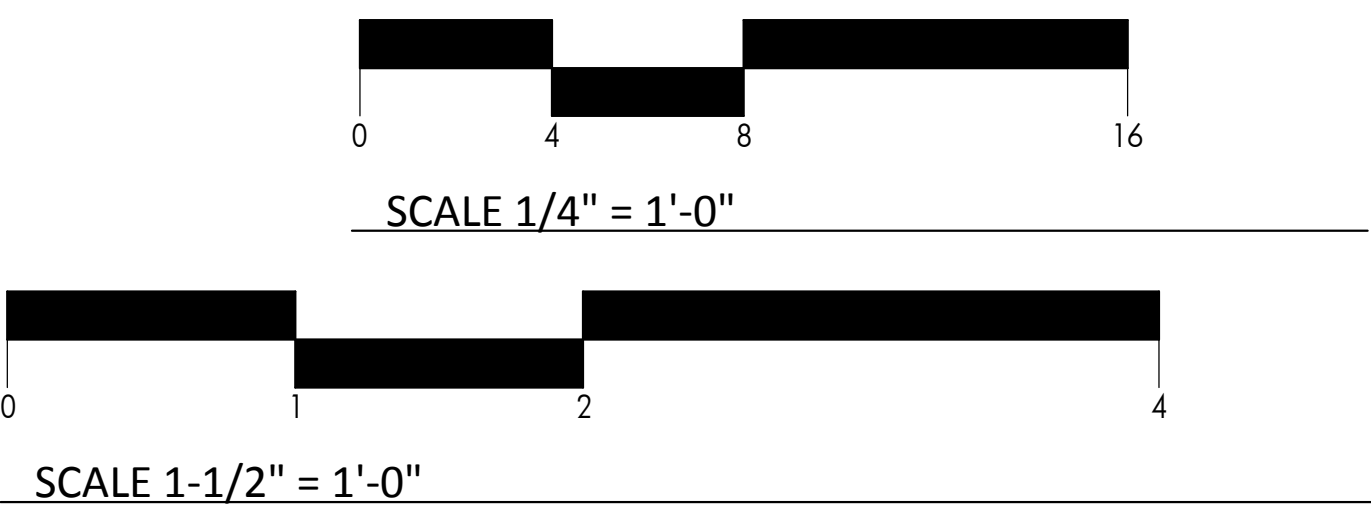
5 STAIR 1 PLAN - 2ND -3RD FLOOR
 SCALE: 1/4" = 1'-0"



3 STAIR 1 PLAN - GARAGE
 SCALE: 1/4" = 1'-0"



6 STAIR DETAIL AT UPPER LANDING
 SCALE: 1 1/2" = 1'-0"



2/27/2018 5:15:16 PM

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BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A420
 VERTICAL
 CIRCULATION - STAIR 1

SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



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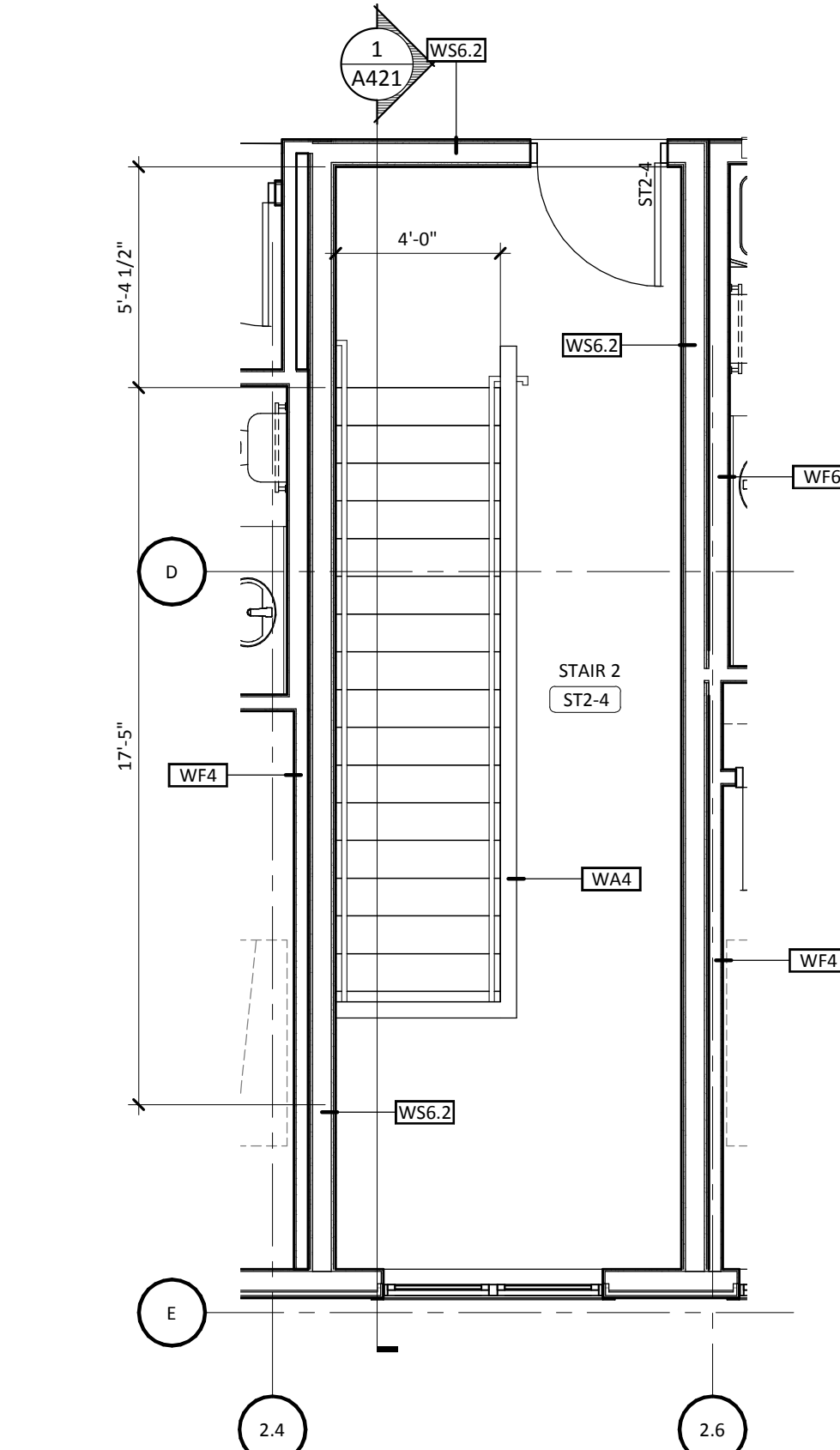
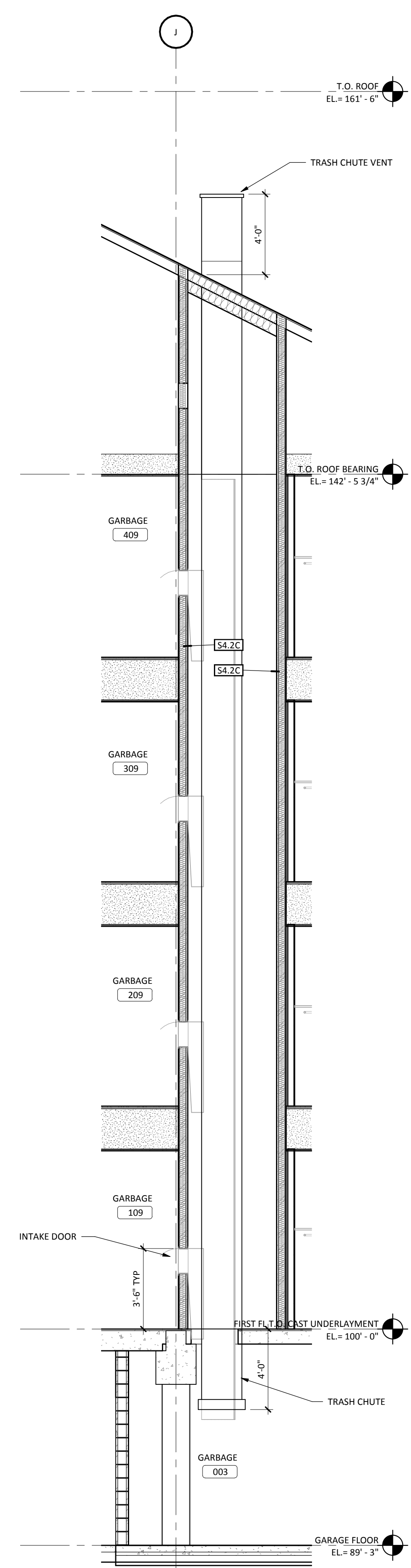
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

REG. NO. 48548 DATE
 ARCH. NAME: Nicholas Washburn, AIA/LEED AP

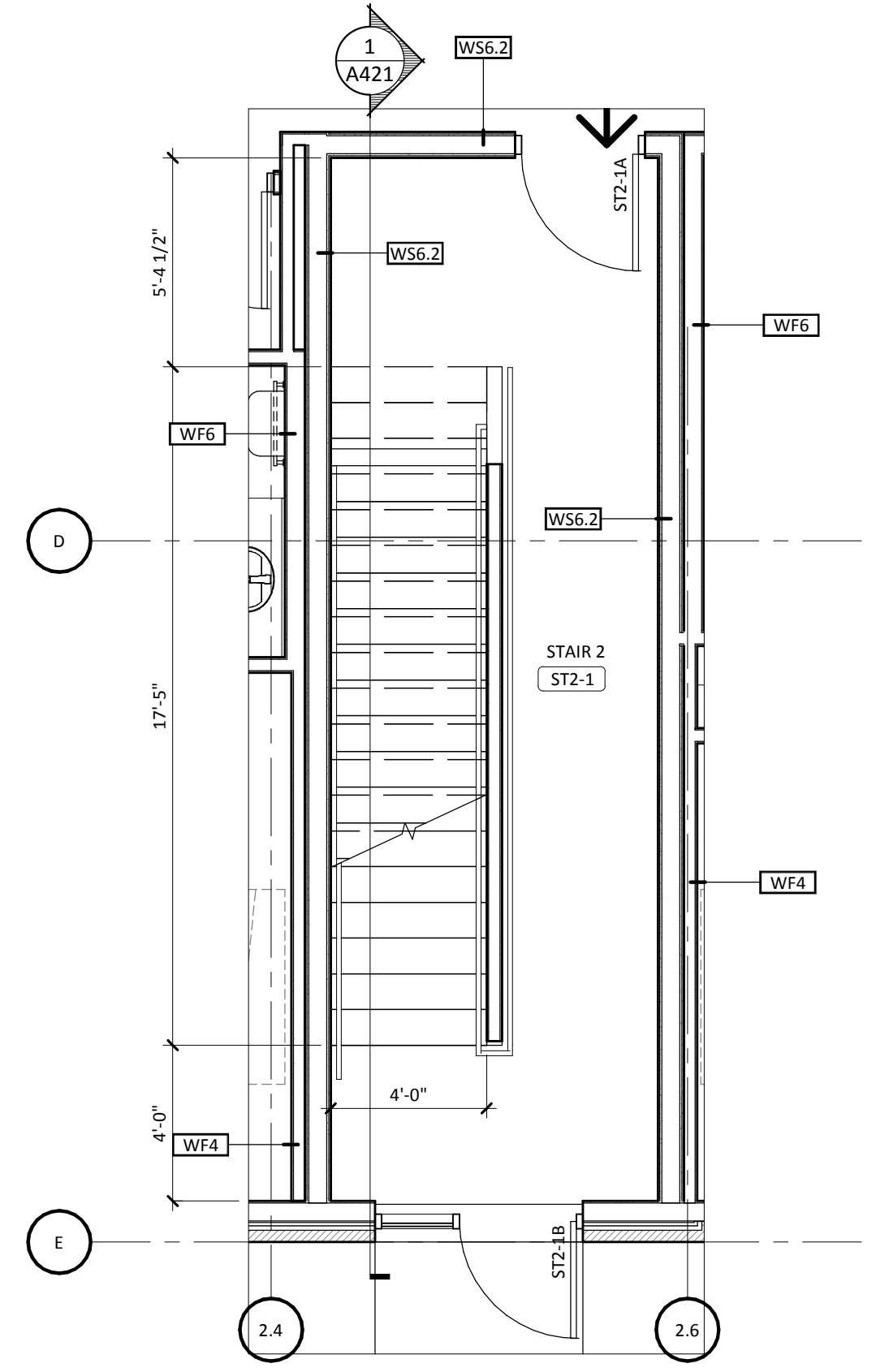
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/20
		16

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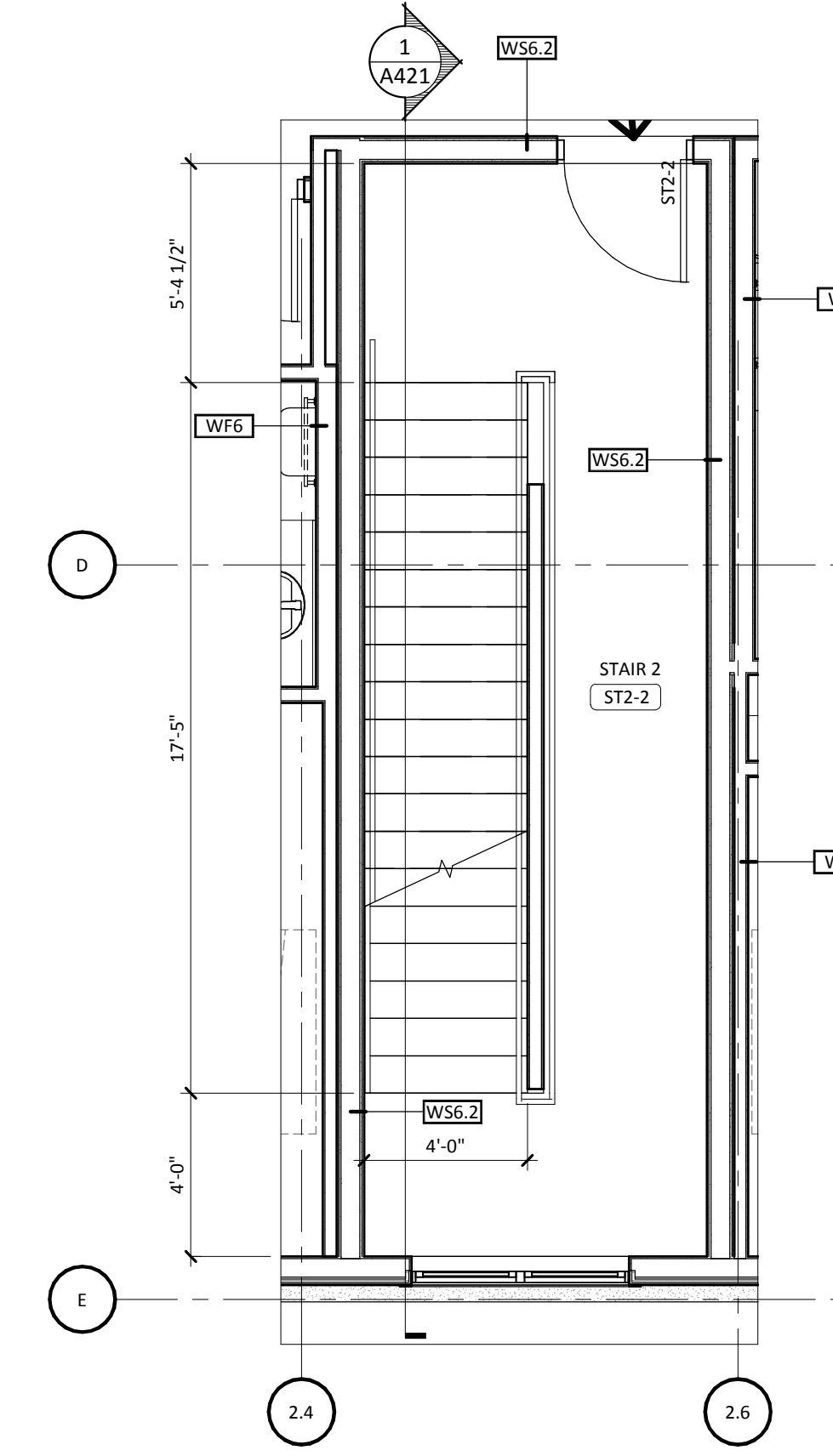
DATE: 12/04/2017
 PHASE: 100% CDs
 PROJECT: 16098
 SHEET: **A421**
 VERTICAL CIRCULATION - STAIR 2



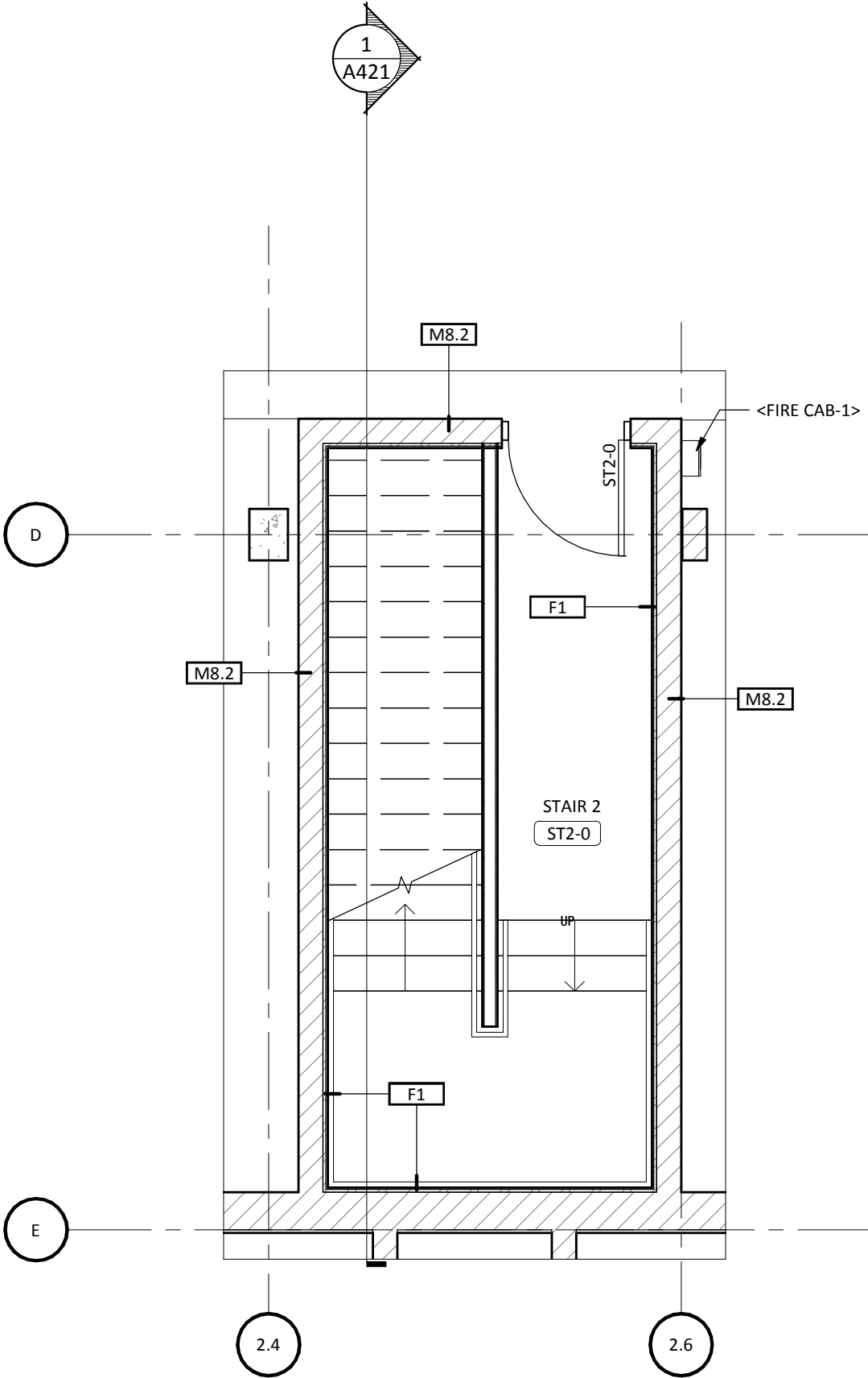
6 STAIR 2 PLAN - 4TH FLOOR
 A421 SCALE: 1/4" = 1'-0"



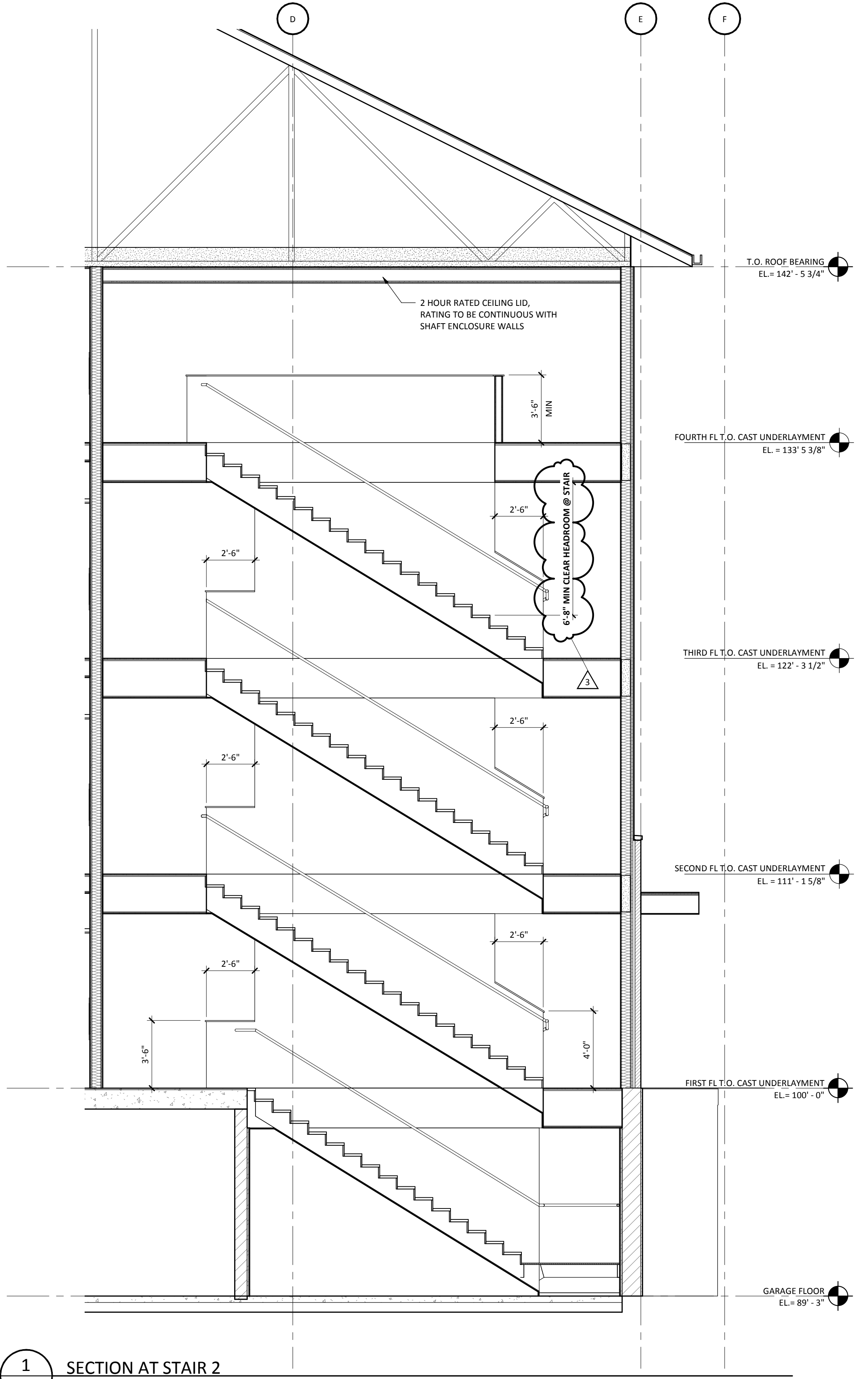
3 STAIR PLAN 2 - FIRST FLOOR
 A421 SCALE: 1/4" = 1'-0"



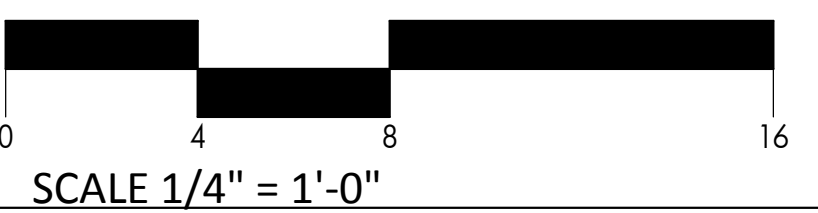
4 STAIR 2 PLAN - 2ND & 3RD FLOORS
 A421 SCALE: 1/4" = 1'-0"



2 STAIR 2 PLAN - GARAGE
 A421 SCALE: 1/4" = 1'-0"



1 SECTION AT STAIR 2
 A421 SCALE: 1/4" = 1'-0"

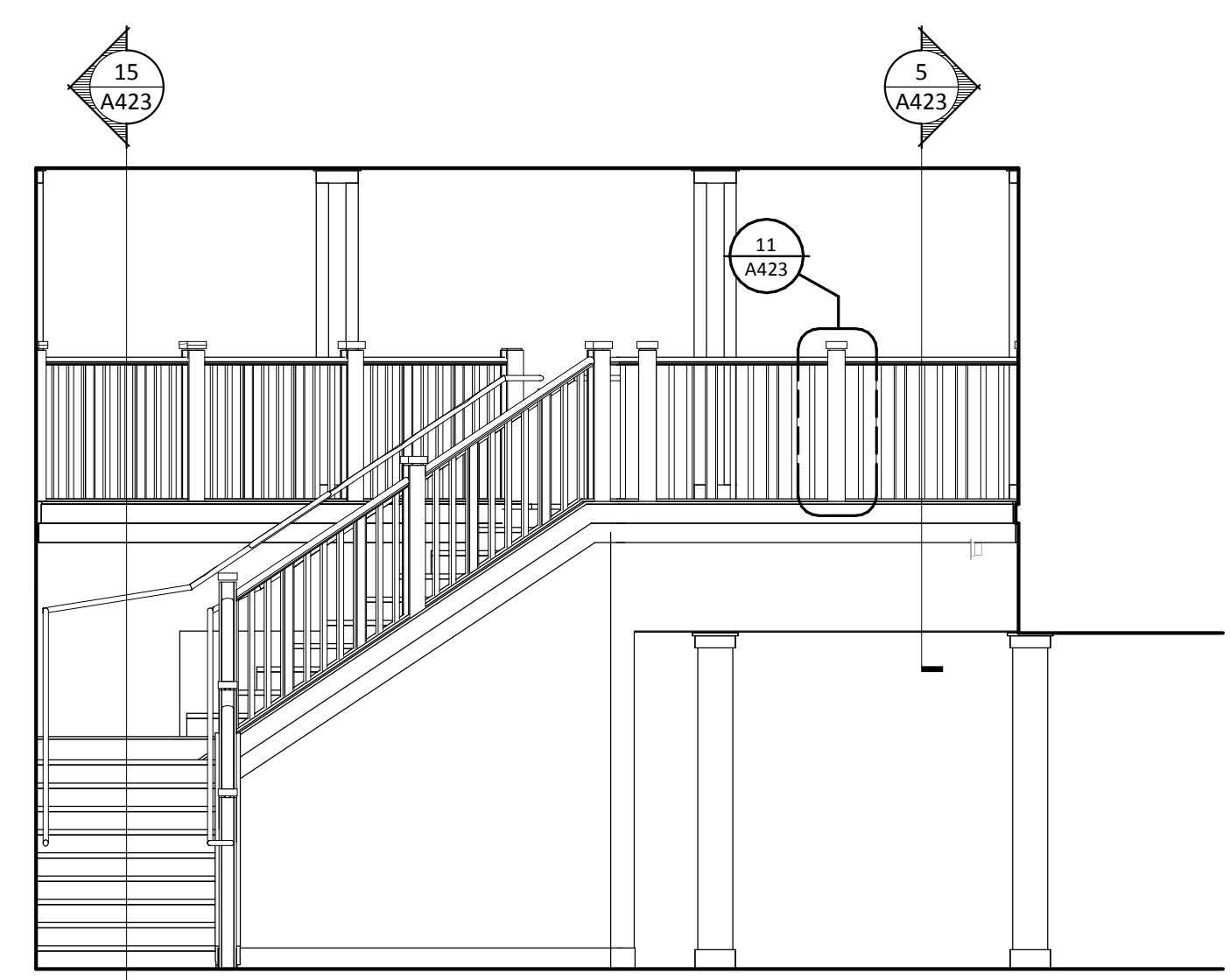


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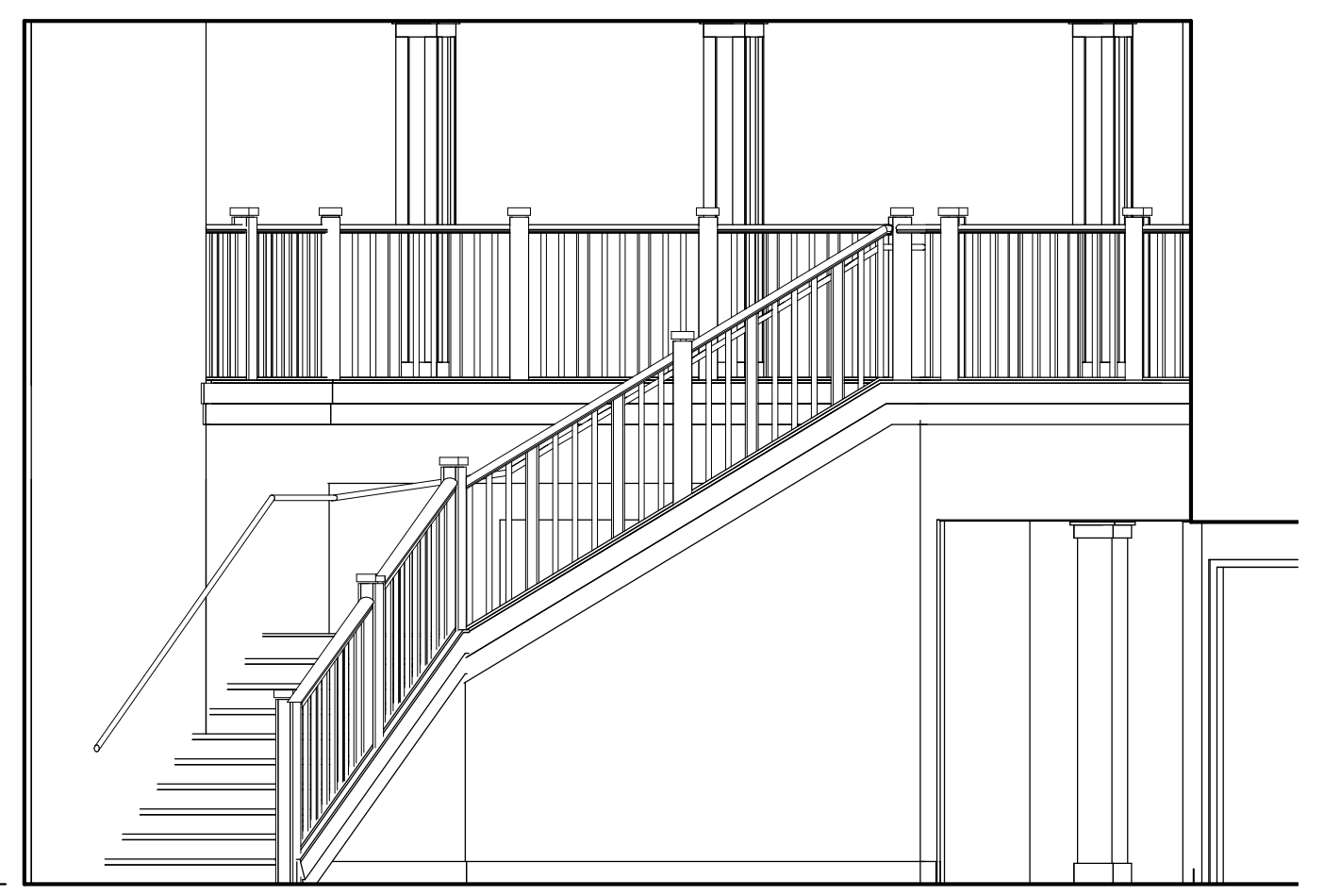
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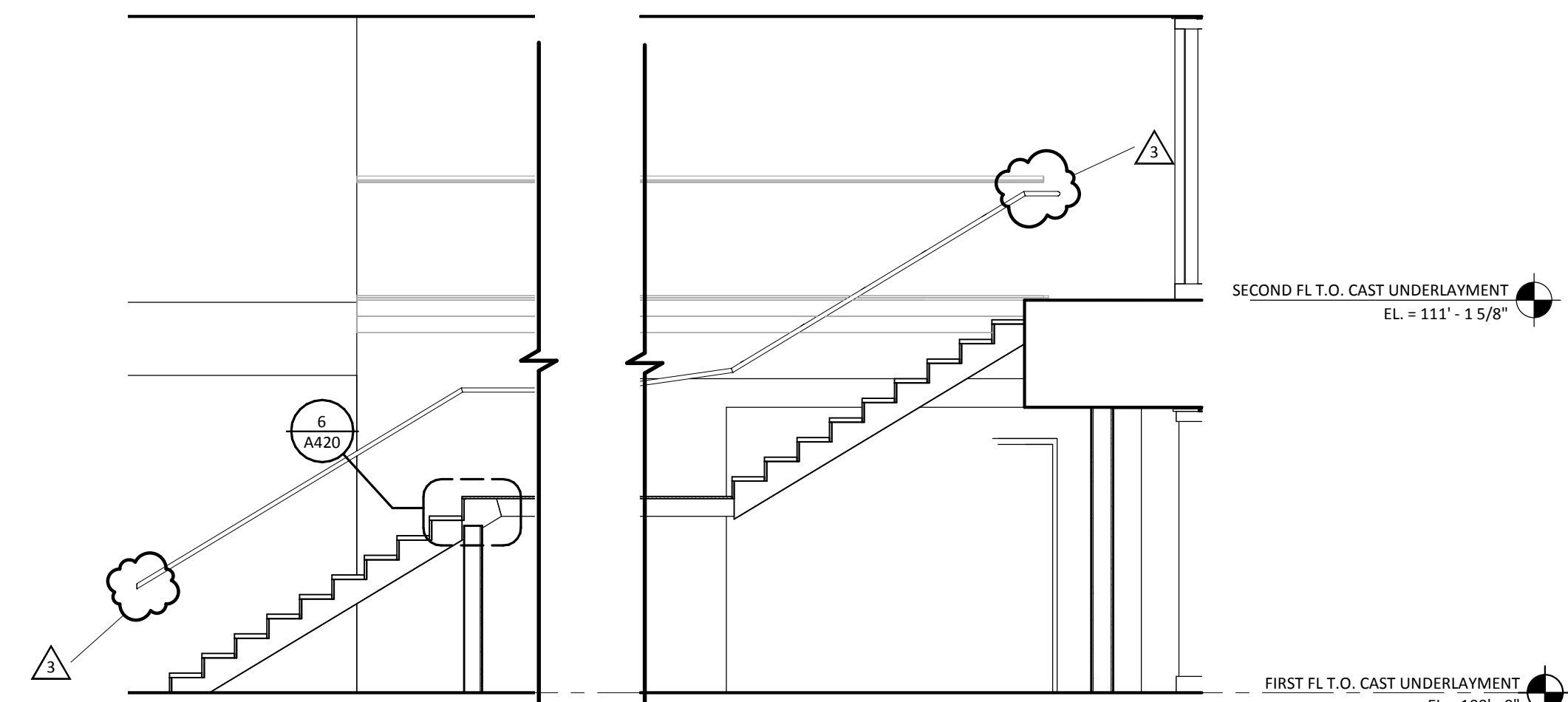
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NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2016



12
A423 LOBBY STAIR ELEV A
SCALE: 1/4" = 1'-0"

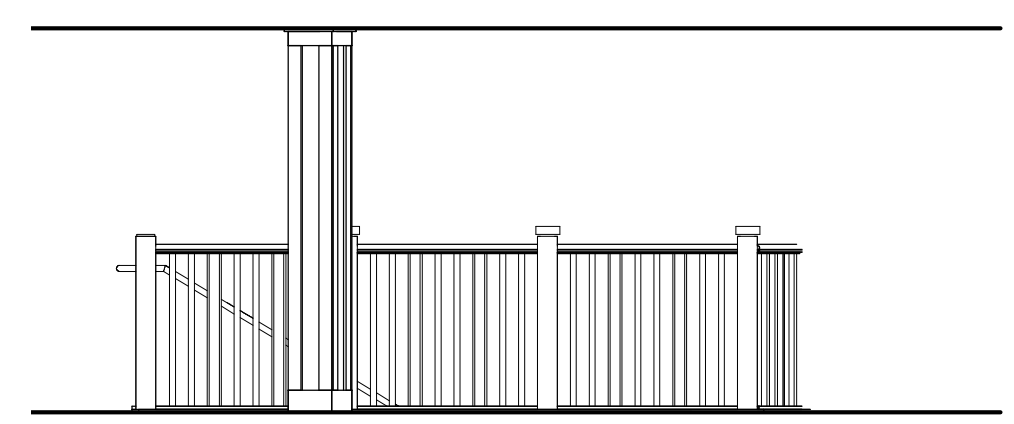


13
A423 LOBBY STAIR ELEV B
SCALE: 1/4" = 1'-0"

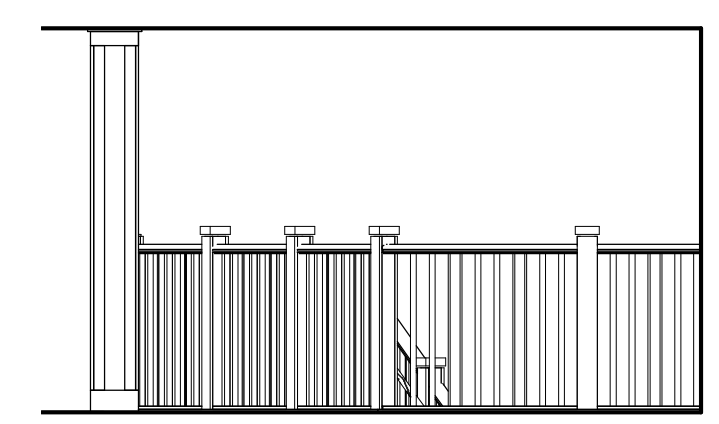


15
A423 LOBBY STAIR SECTION A
SCALE: 1/4" = 1'-0"

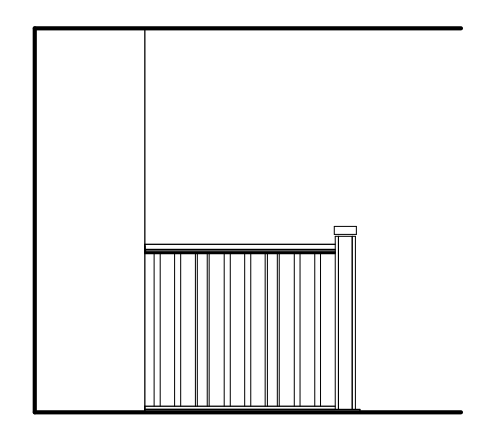
14
A423 LOBBY STAIR SECTION B
SCALE: 1/4" = 1'-0"



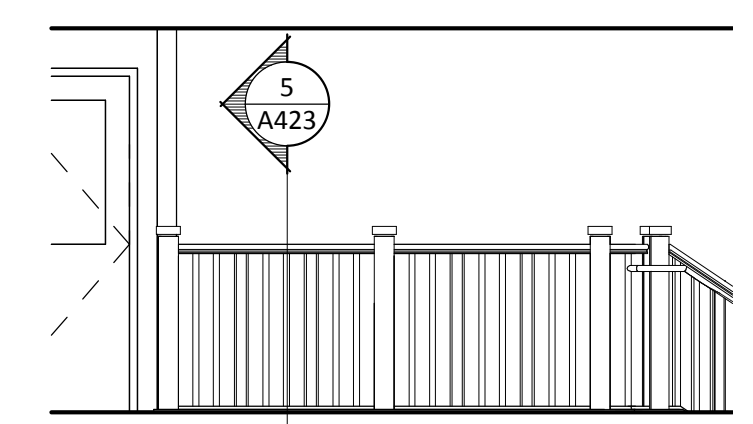
6
A423 LOBBY STAIR ELEV D
SCALE: 1/4" = 1'-0"



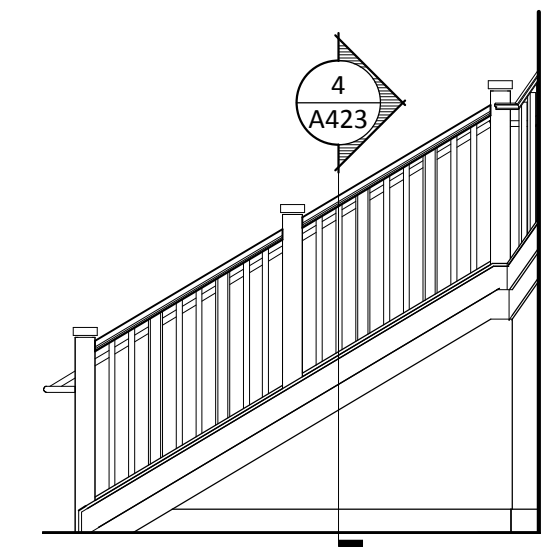
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A423 LOBBY STAIR ELEV E
SCALE: 1/4" = 1'-0"



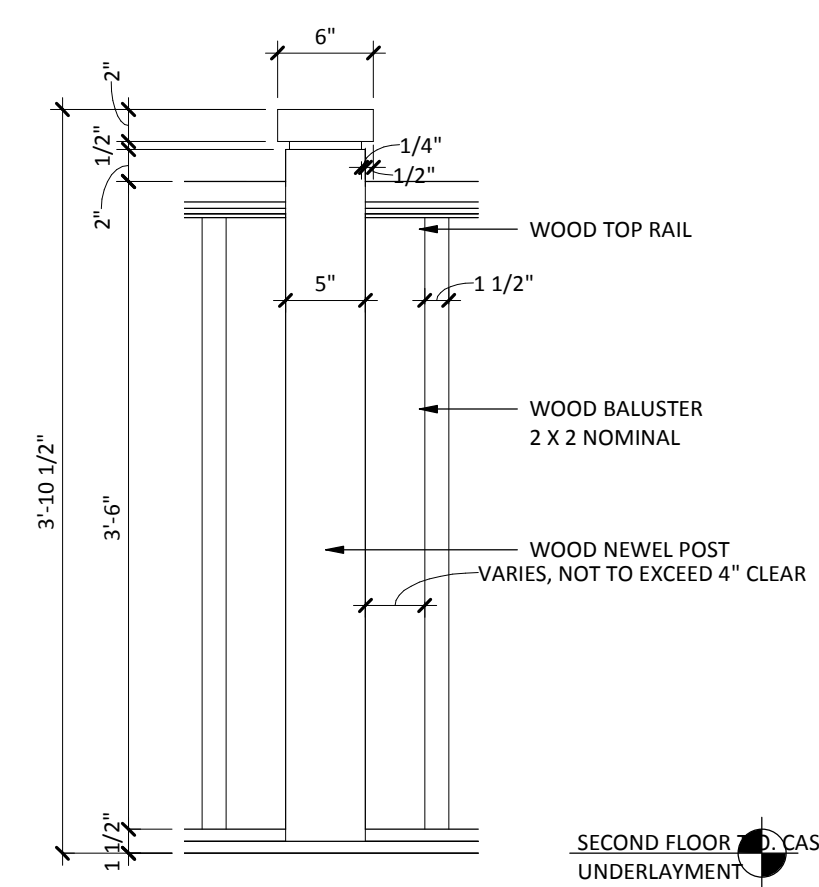
8
A423 LOBBY STAIR ELEV F
SCALE: 1/4" = 1'-0"



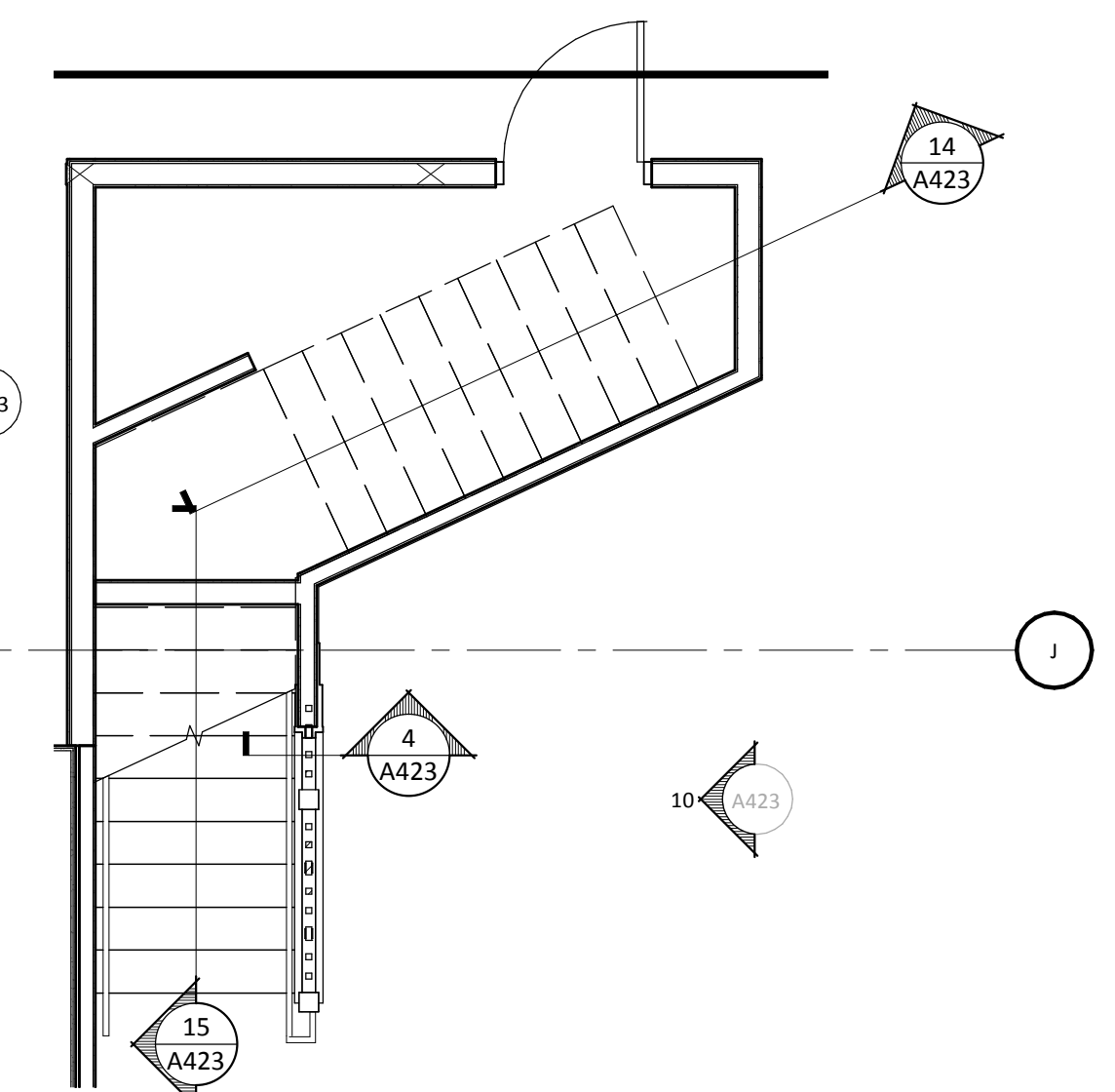
9
A423 LOBBY STAIR ELEV G
SCALE: 1/4" = 1'-0"



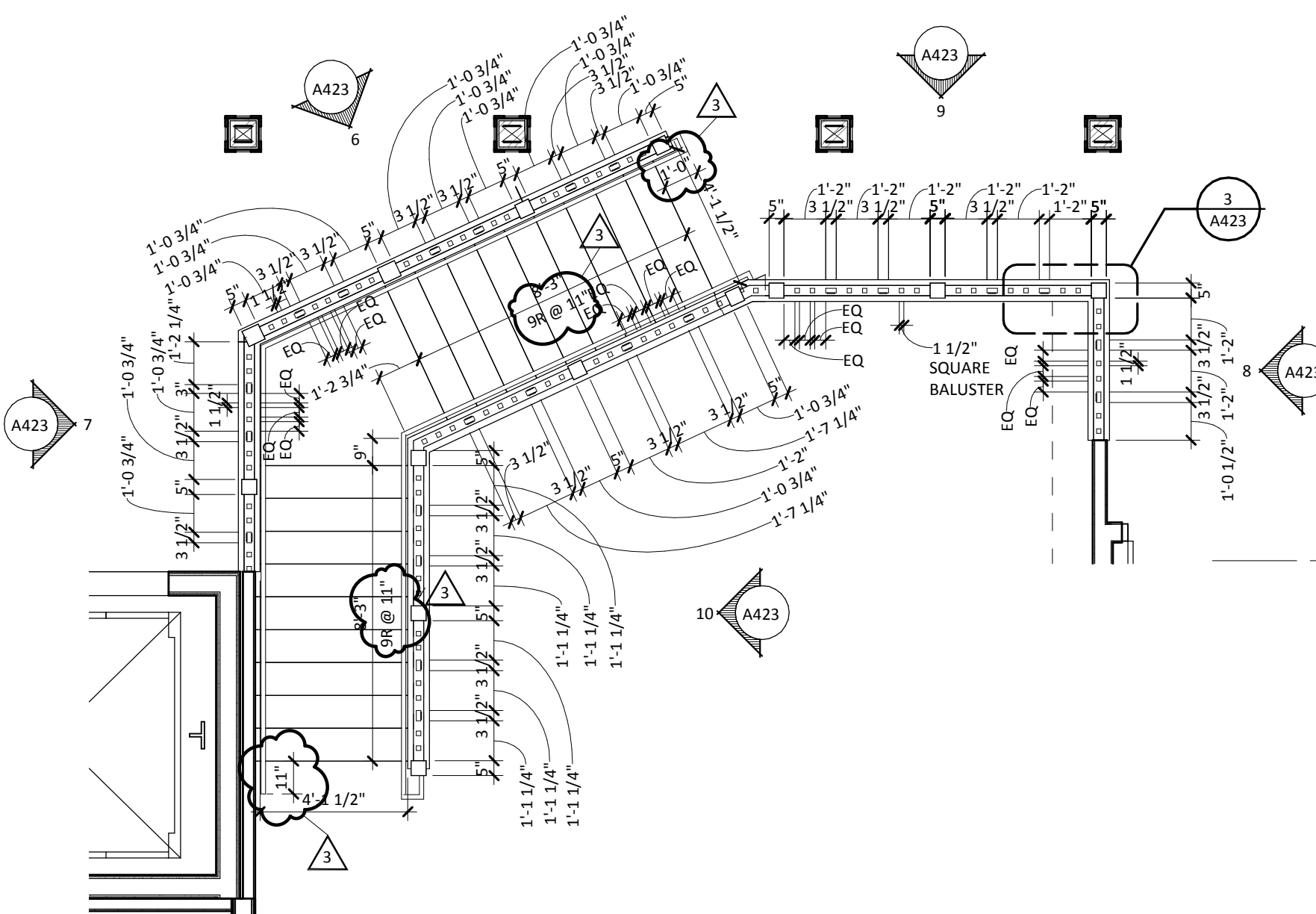
10
A423 LOBBY STAIR ELEV C
SCALE: 1/4" = 1'-0"



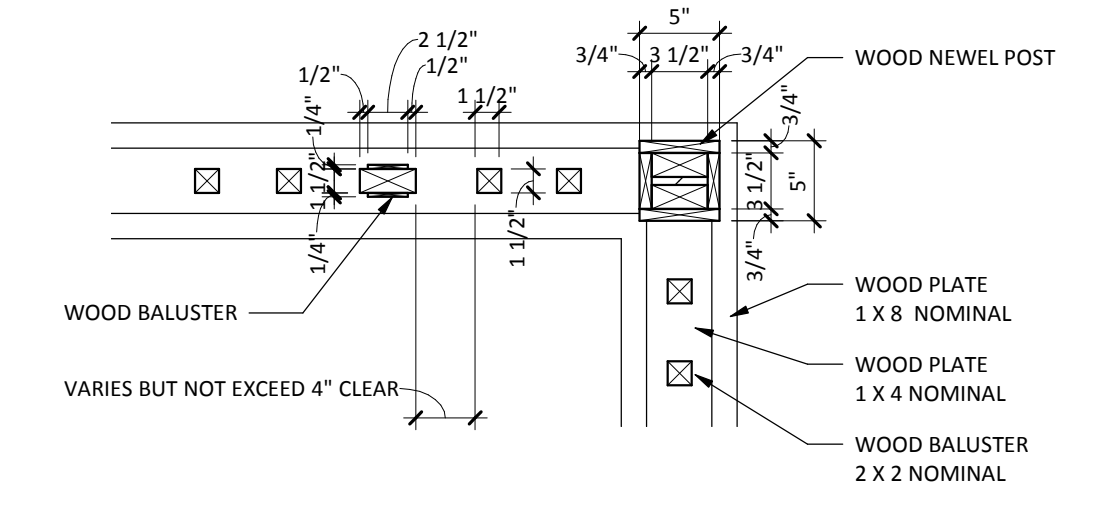
11
A423 NEWEL POST ELEV
SCALE: 1" = 1'-0"



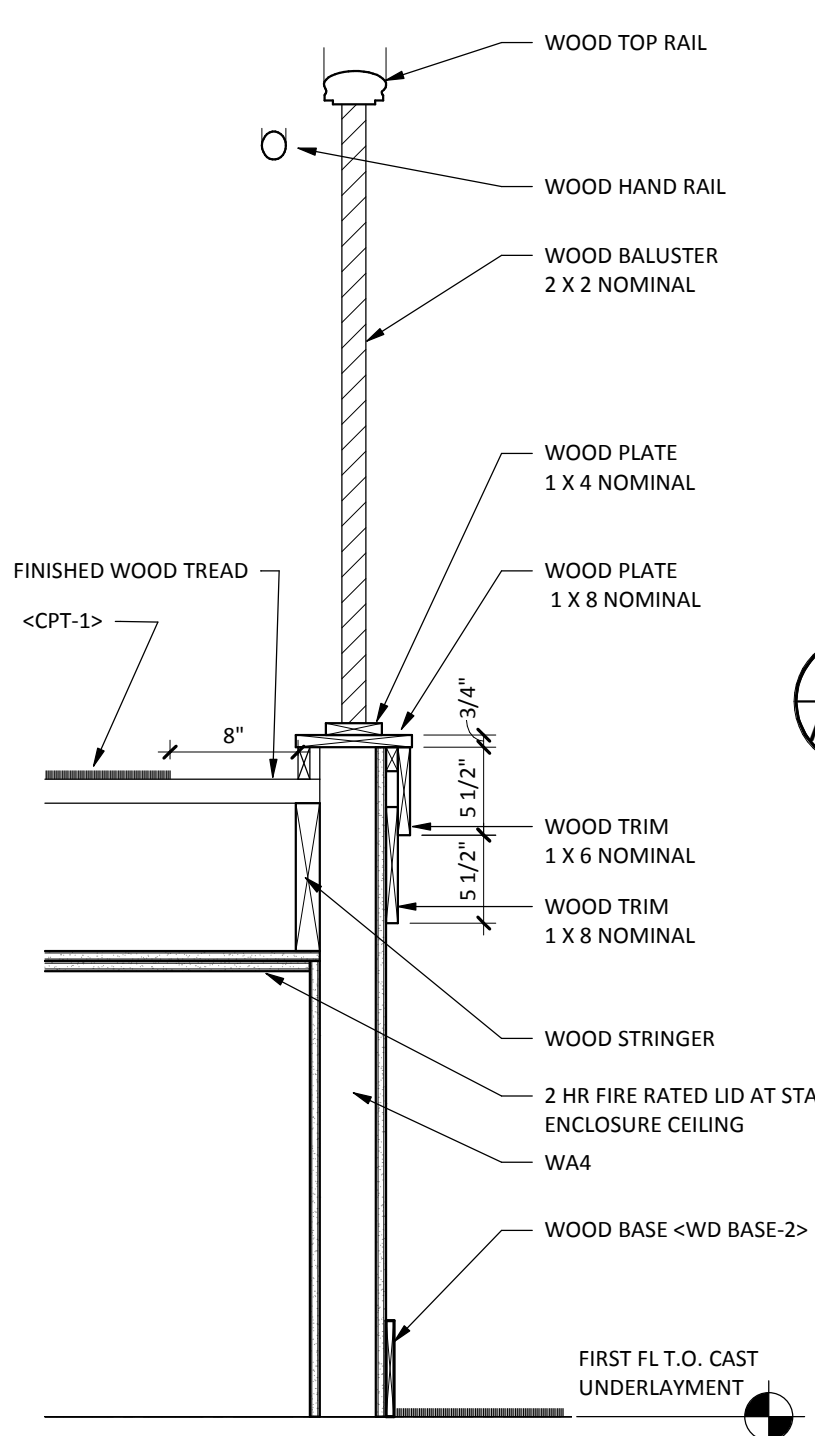
1
A423 LOBBY STAIR - FIRST FLOOR
SCALE: 1/4" = 1'-0"



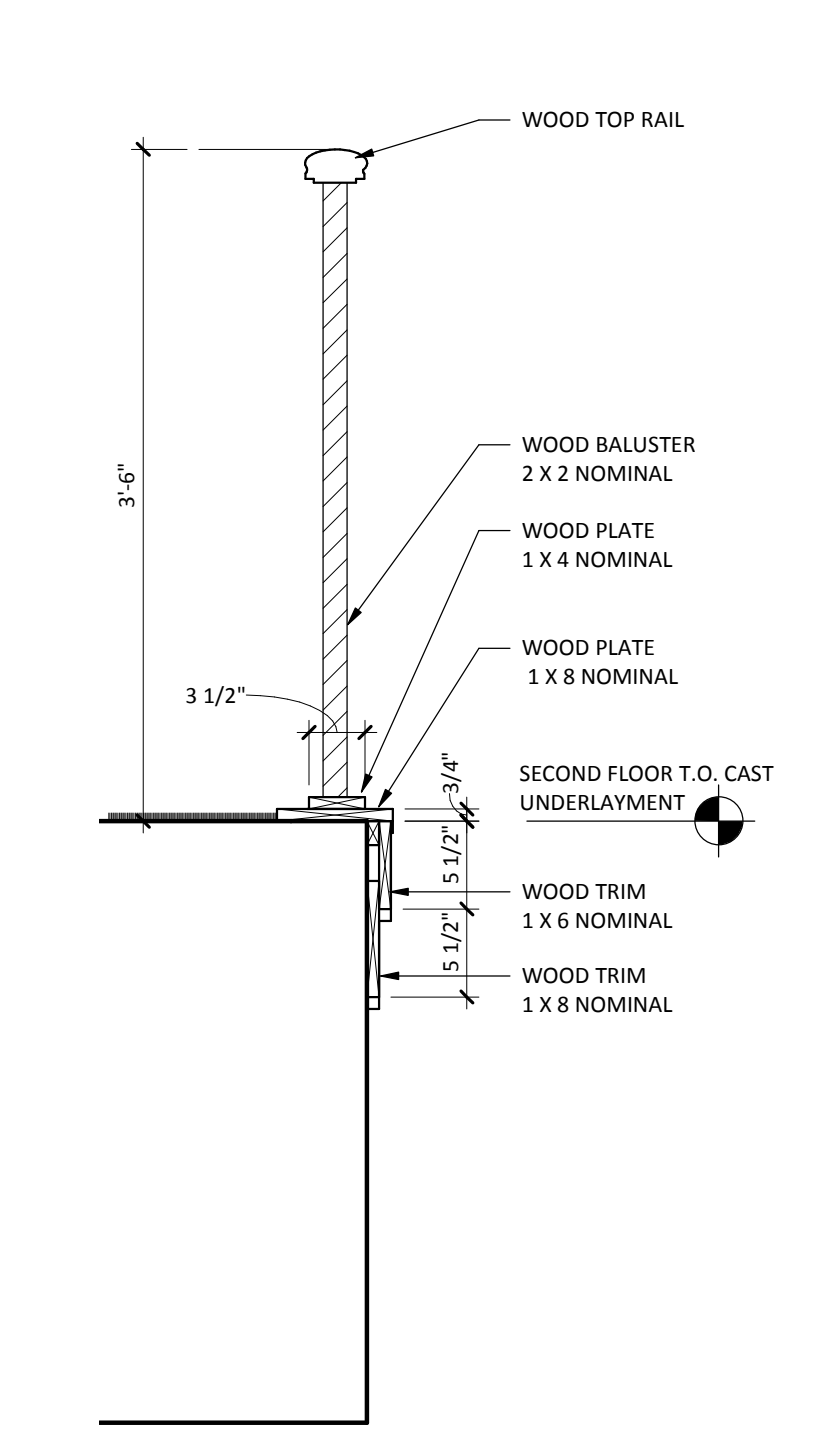
2
A423 LOBBY STAIR PLAN
SCALE: 1/4" = 1'-0"



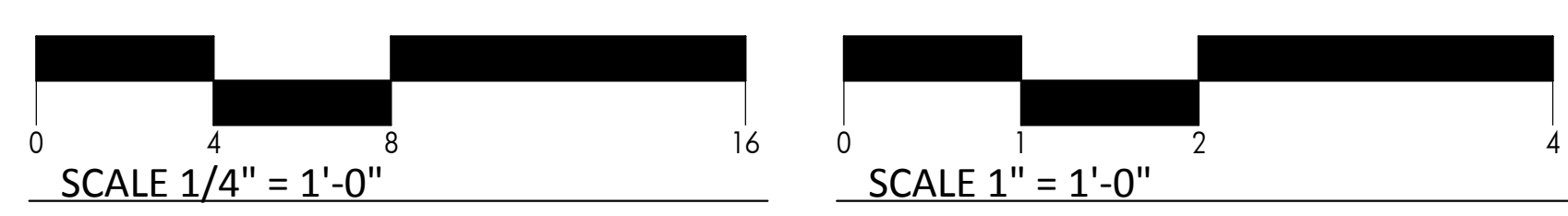
3
A423 LOBBY GUARDRAIL PLAN DETAIL
SCALE: 1" = 1'-0"

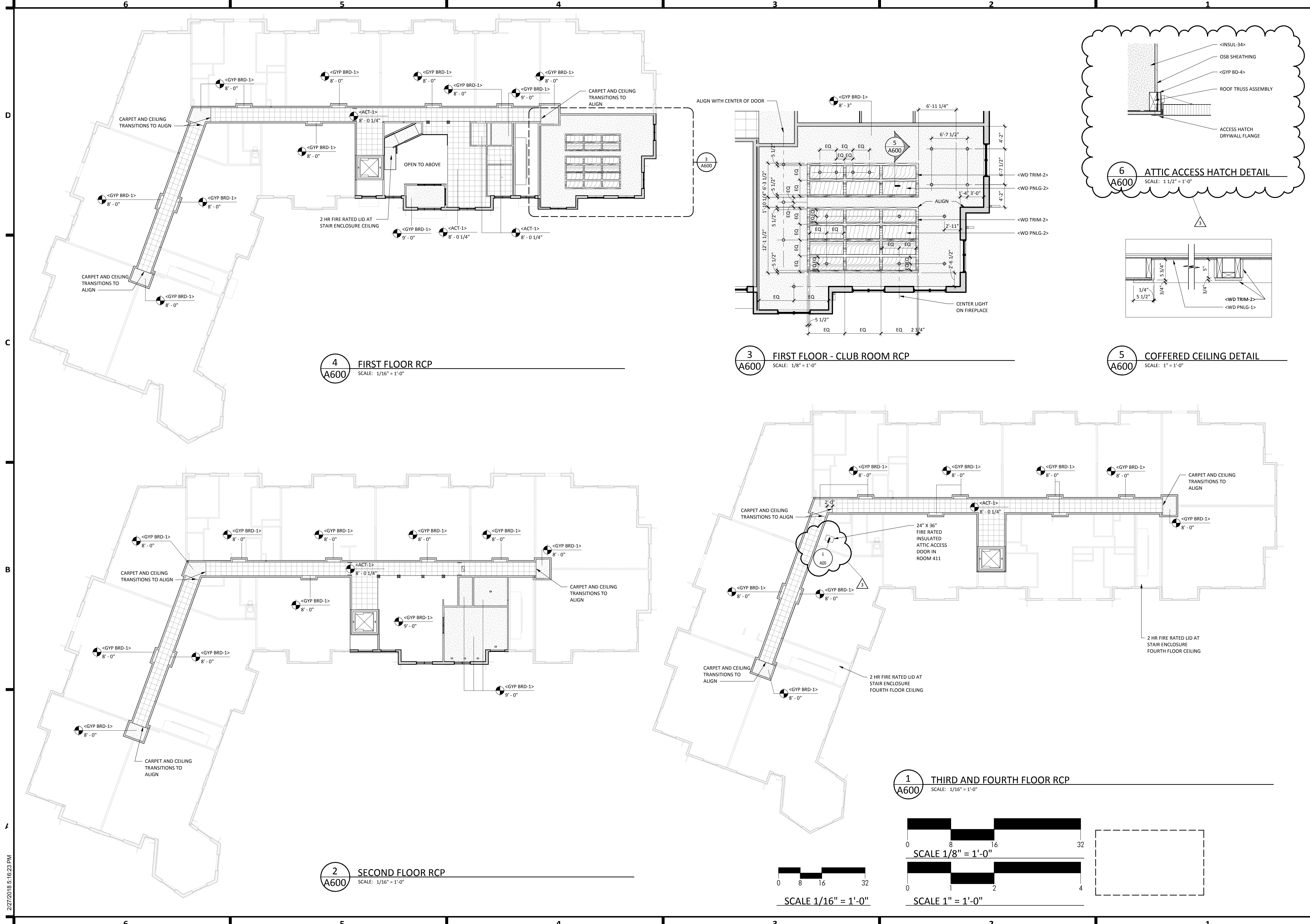


4
A423 LOBBY STAIR DETAIL
SCALE: 1" = 1'-0"



5
A423 LOBBY GUARDRAIL SECTION
SCALE: 1" = 1'-0"





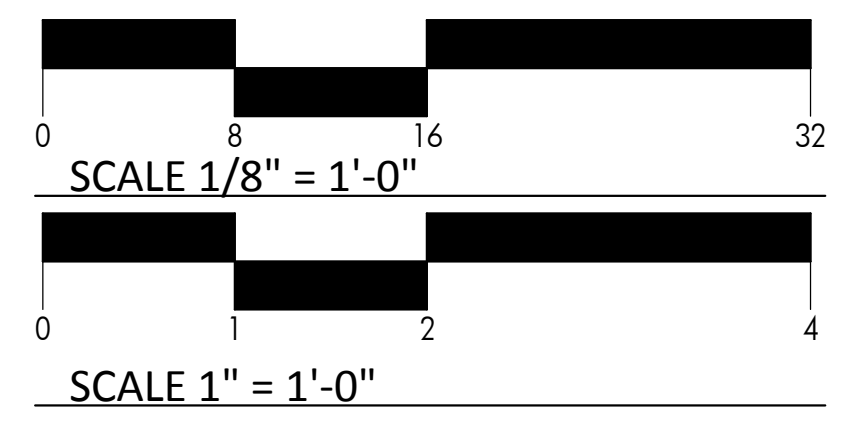
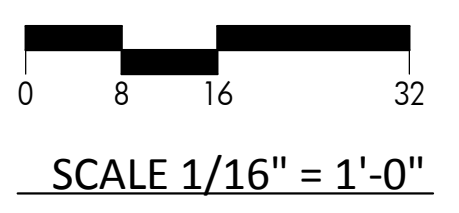
4 FIRST FLOOR RCP
A600 SCALE: 1/16" = 1'-0"

3 FIRST FLOOR - CLUB ROOM RCP
A600 SCALE: 1/8" = 1'-0"

5 COFFERED CEILING DETAIL
A600 SCALE: 1" = 1'-0"

2 SECOND FLOOR RCP
A600 SCALE: 1/16" = 1'-0"

1 THIRD AND FOURTH FLOOR RCP
A600 SCALE: 1/16" = 1'-0"



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Noble/Washington, AN/LEED AP

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2016

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A600
REFLECTED CEILING PLAN

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