

SHEET MATERIAL ID LIST

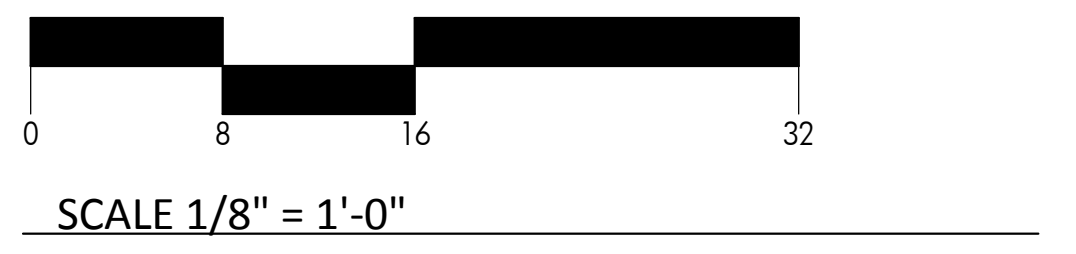
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

PARKING GARAGE KEYNOTES

NO.	NOTE
1	4" PARKING LOT STRIPING
2	AREA WELL
3	CHAIN LINK FENCE WITH 3' WIDE SLIDING GATE
4	STEEL BOLLARD <MET FAB-1>, EXTERIOR BOLLARDS TO HAVE CONCRETE FOUNDATION, SEE CIVIL DETAILS
5	8" HIGH CONCRETE WALKWAY WITH STRIPING, TYP
6	PAINTED STALL NUMBER, TYP
7	PAINTED ACCESSIBLE SYMBOL, TYP
8	LOADING ZONE STRIPING, TYP
9	6'-0" X 8'-0" LOUVER, SEE MECH

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ' MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ' MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE). FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. CORRDINATE DIMENSIONS W/ ASTERISK ([E - *X-X*) W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- H. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



1 GARAGE FLOOR PLAN - WEST
A210A SCALE: 1/8" = 1'-0"



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	12/07/2017
2	ADDENDUM #2	18
4	POST TENDER	03/15/2018
5	ADDENDUM #2	18
5	POST TENDER	04/02/2018
5	ADDENDUM #4	18
6	ASI #001	4/23/2018

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A210A
 GARAGE PLAN - WEST

4/20/2018 1:47:09 PM

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'TS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'TS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. COORDINATE DIMENSIONS W/ ASTERISK (IE - *X'-X") W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- I. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- J. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- K. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- L. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.
- M.

SHEET MATERIAL ID LIST

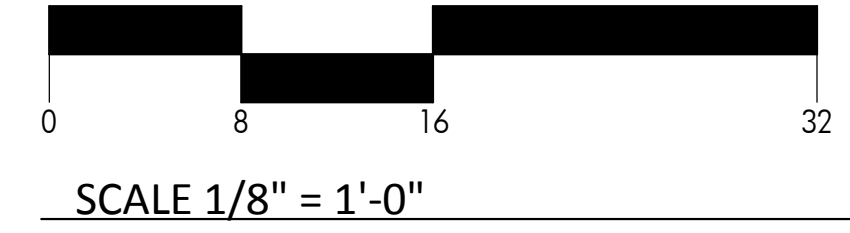
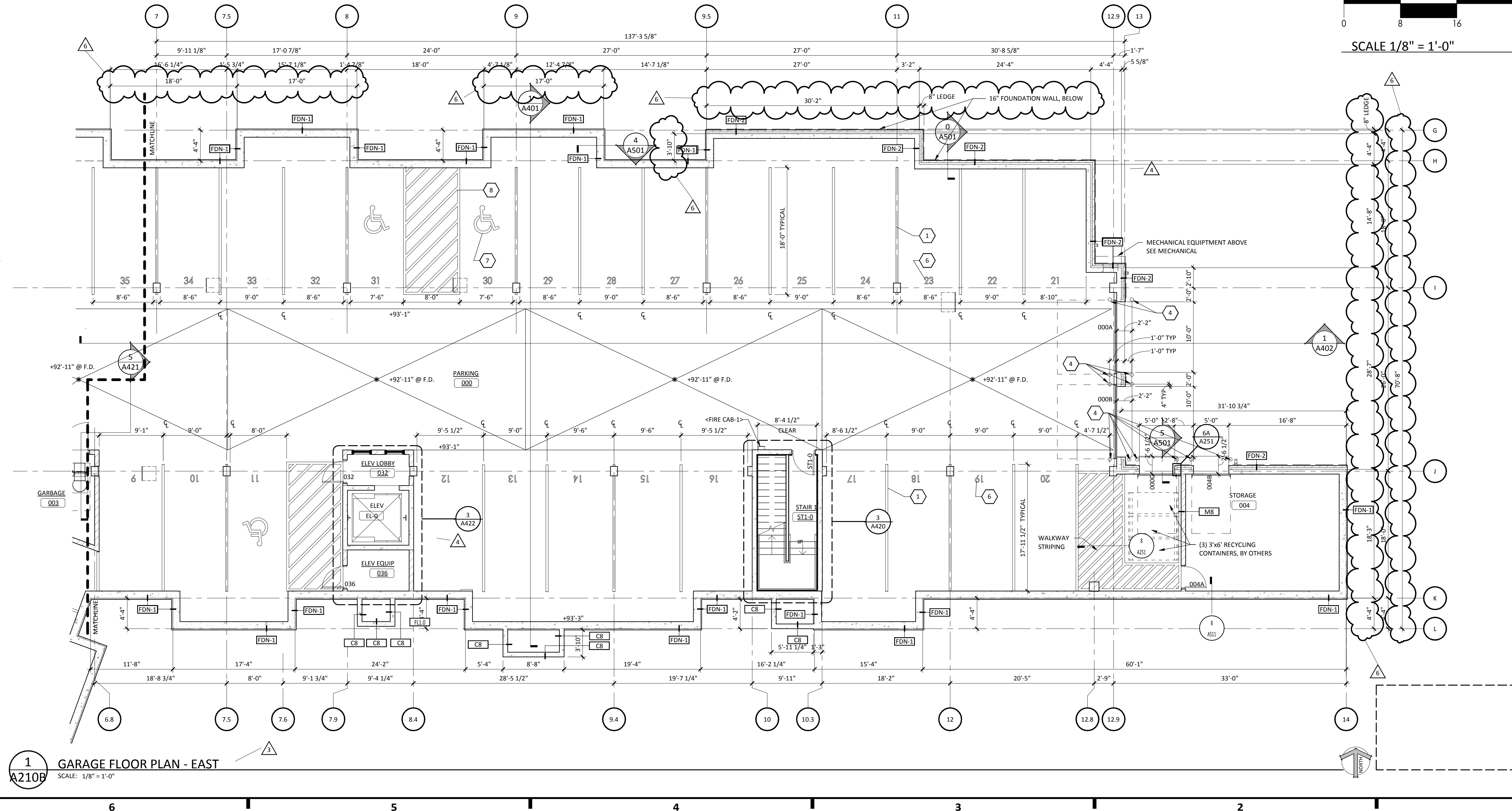
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

PARKING GARAGE KEYNOTES

NO.	NOTE
1	4" PARKING LOT STRIPING
2	AREA WELL
3	CHAIN LINK FENCE WITH 3' WIDE SLIDING GATE
4	STEEL BOLLARD <MET FAB-1>. EXTERIOR BOLLARDS TO HAVE CONCRETE FOUNDATION, SEE CIVIL DETAILS
5	8" HIGH CONCRETE WALKWAY WITH STRIPING, TYP
6	PAINTED STALL NUMBER, TYP
7	PAINTED ACCESSIBLE SYMBOL, TYP
8	LOADING ZONE STRIPING, TYP
9	6'-0" X 8'-0" LOUVER, SEE MECH

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018



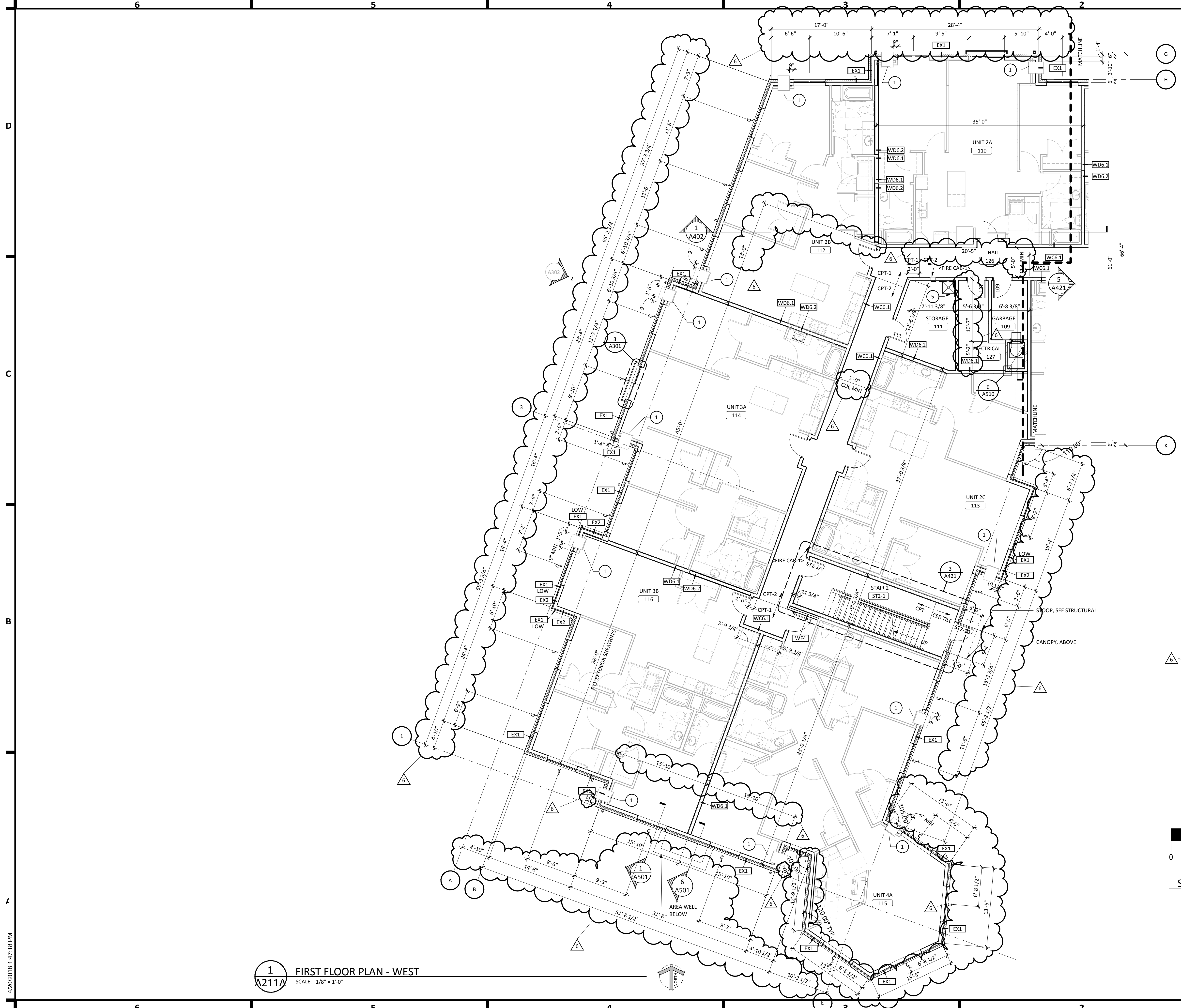
1 GARAGE FLOOR PLAN - EAST
A210B SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017
 PHASE
100% CDs
 PROJECT
16098
 SHEET
A210B
 GARAGE PLAN - EAST

JLG
 architects
 322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

4/20/2018 1:50:45 PM



SHEET MATERIAL ID LIST

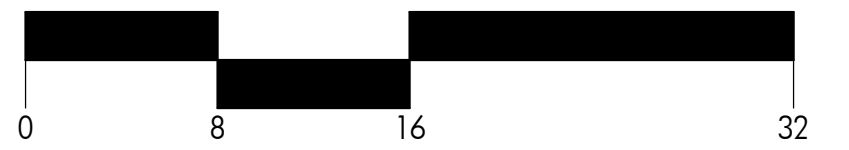
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -WD BASE-2>
5	MOP BASIN, EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN, PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. COORDINATE DIMENSIONS W/ ASTERISK (IE - **X") W/ EQUIPMENT VENDER.
- I. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- J. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



SCALE 1/8" = 1'-0"



1
A211A
FIRST FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.4260
facsimile 612.746.4754
www.jlgarchitects.com
copyright © 2016

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A211A

FIRST FLOOR PLAN - WEST

4/20/2018 1:47:18 PM

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET
RAIL-40	05 7000 - CUSTOM PICKET RAILING



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD <WD BASE-2>
5	MOP BASIN. EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN. PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

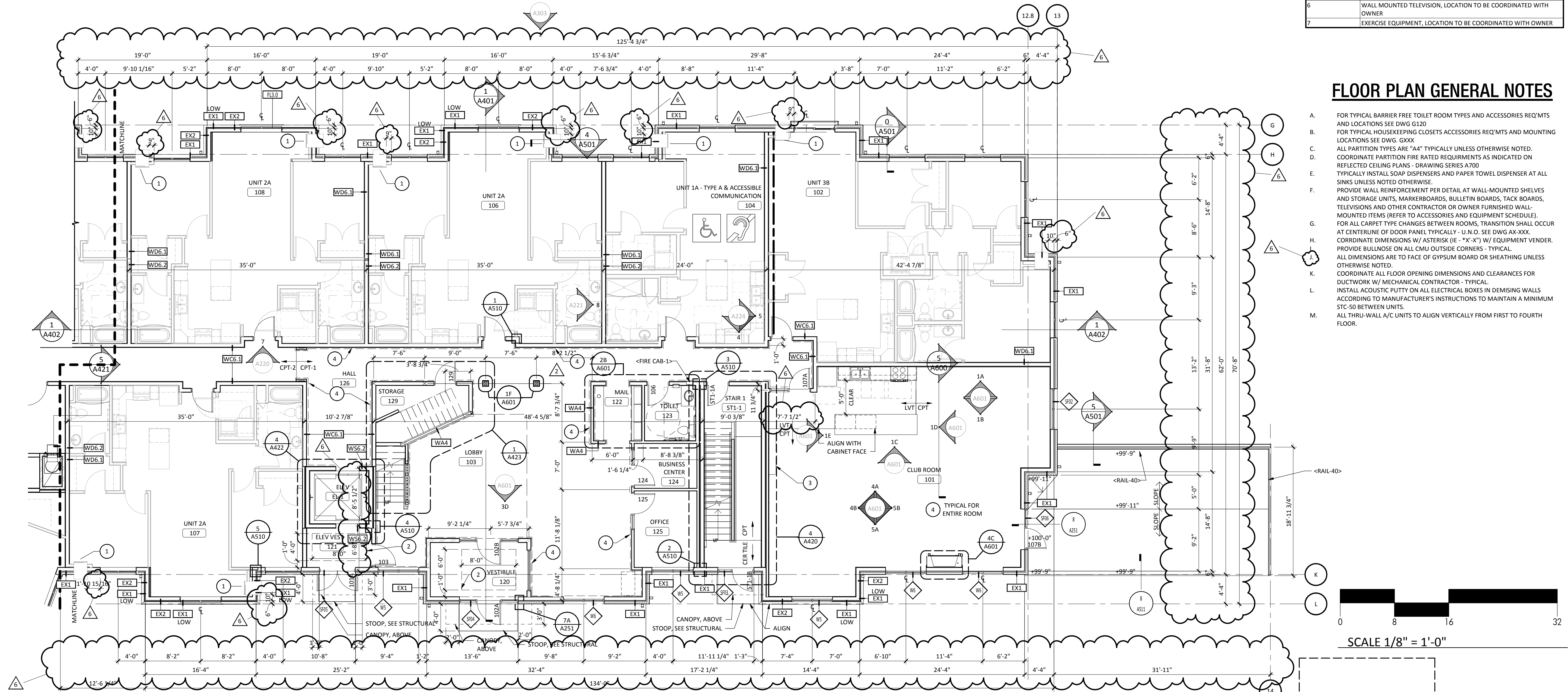
REVISION SCHEDULE

NO.	DESCRIPTION	DATE
2	ADDENDUM #2	12/11/2017
6	ASI #001	4/23/2018

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ/MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ/MTS AND MOUNTING LOCATIONS SEE DWG G00X
- C. ALL PARTITION TYPES ARE "AA" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDOR. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- I. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.

4/20/2018 1:47:24 PM



1 FIRST FLOOR PLAN - EAST
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

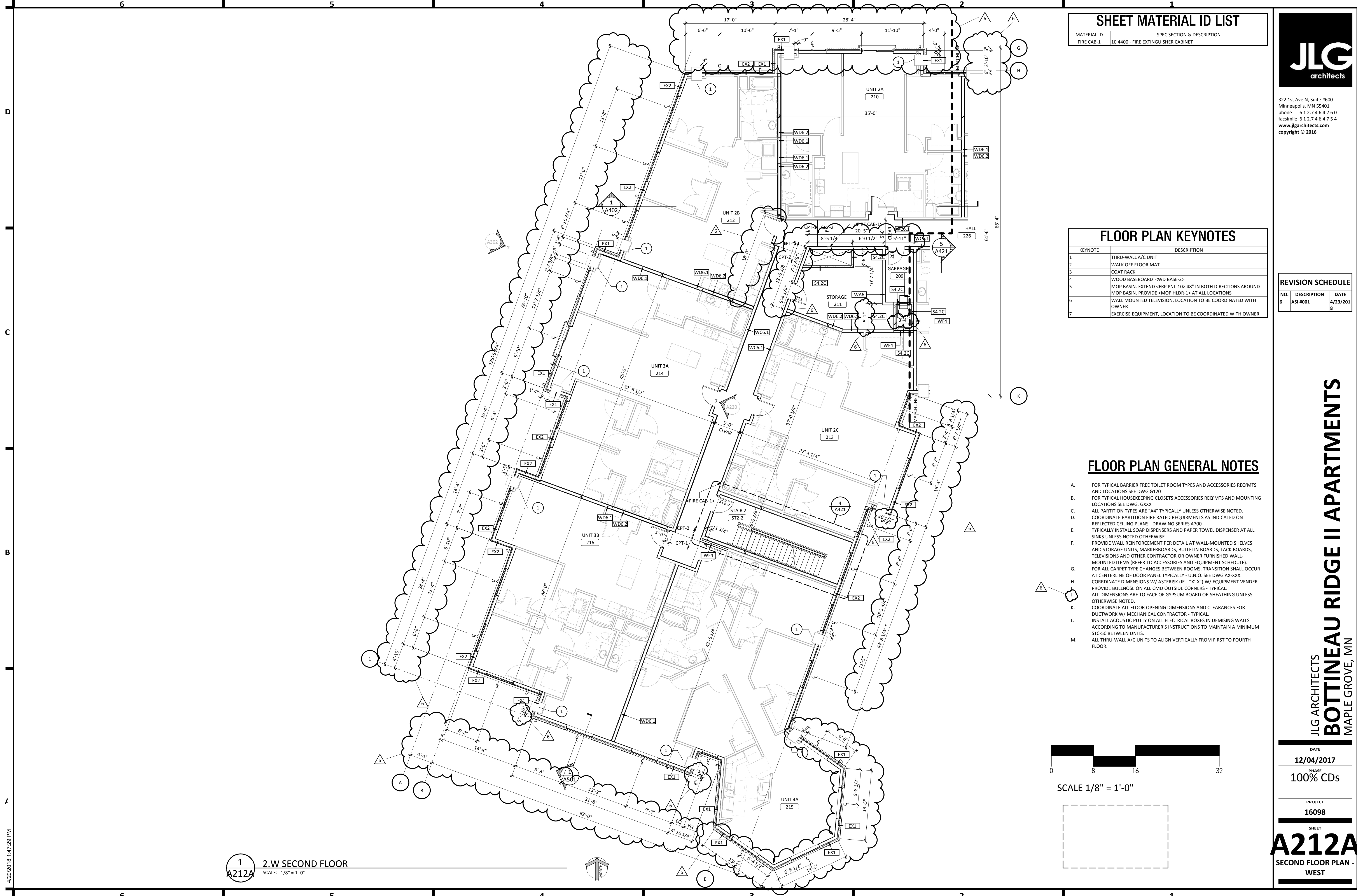
DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A211B

FIRST FLOOR PLAN - EAST



SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

FLOOR PLAN KEYNOTES

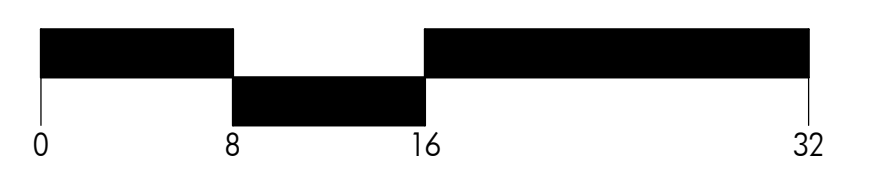
KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -<WD BASE-2>
5	MOP BASIN, EXTEND -FRP PN-10- 48" IN BOTH DIRECTIONS AROUND MOP BASIN, PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE). FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. CORRDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



SCALE 1/8" = 1'-0"



1
A212A
2.W SECOND FLOOR
SCALE: 1/8"=1'-0"



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.4260
facsimile 612.746.4754
www.jlgarchitects.com
copyright © 2016

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A212A

SECOND FLOOR PLAN - WEST

4/20/2018 1:47:20 PM

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

FLOOR PLAN KEYNOTES

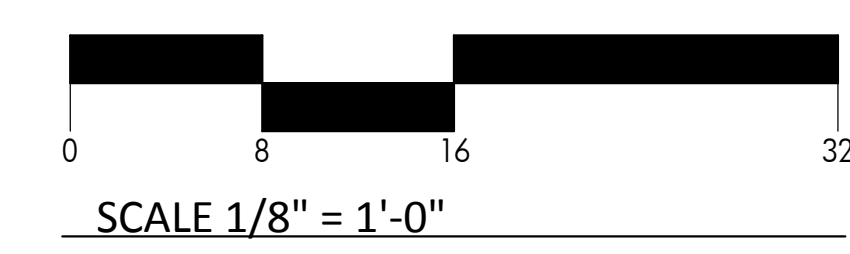
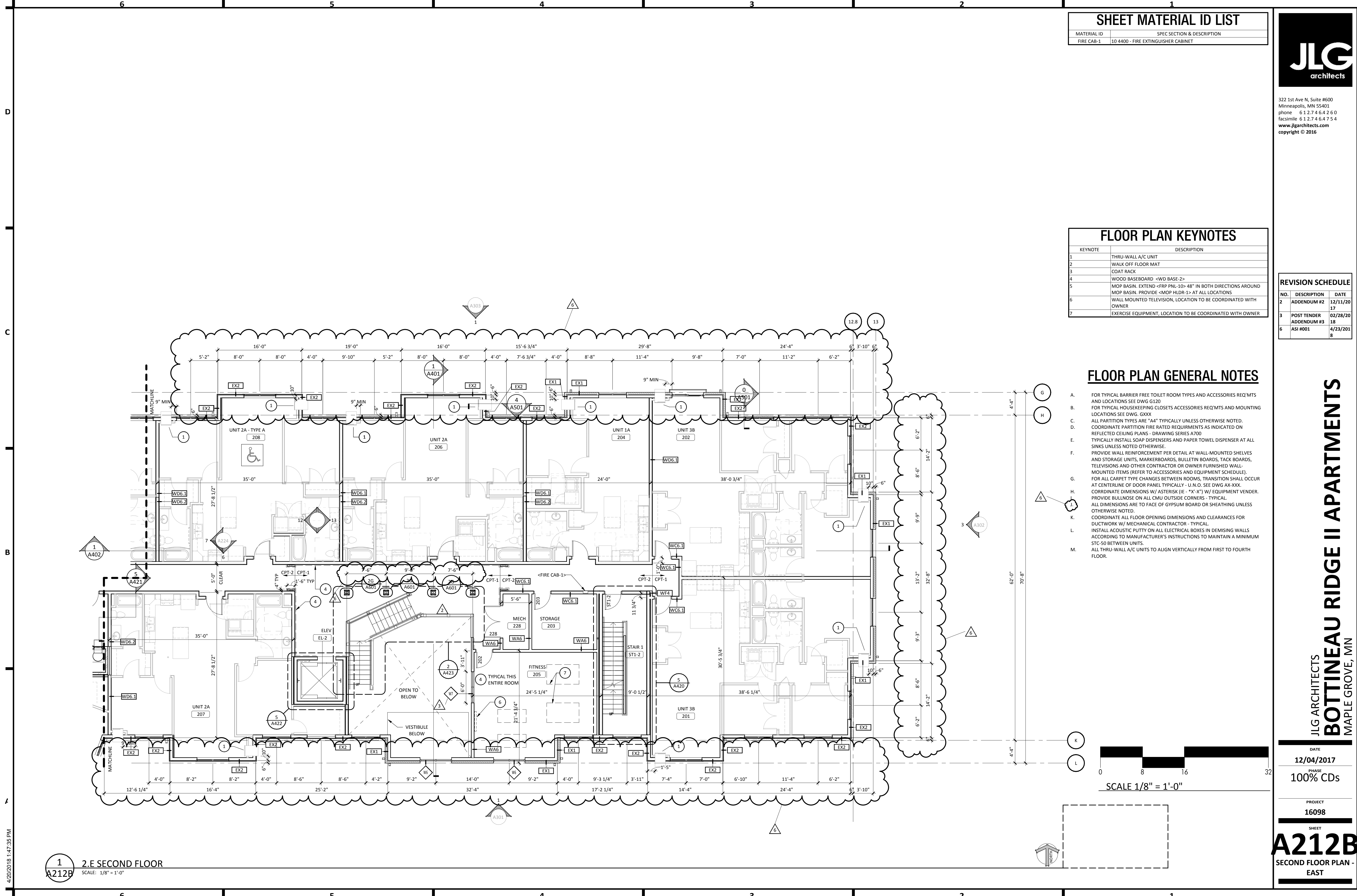
KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD <WD BASE-2>
5	MOP BASIN. EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN. PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
2	ADDENDUM #2	12/11/2017
3	POST TENDER ADDENDUM #3	02/28/2018
6	ASI #001	4/23/2018

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'TS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'TS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "AA" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X") W/ EQUIPMENT VENDOR. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- I. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- J. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- K. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- L. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



1
A212B
 2.E SECOND FLOOR
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN
 DATE: 12/04/2017
 PHASE: 100% CDs
 PROJECT: 16098
 SHEET: **A212B**
 SECOND FLOOR PLAN - EAST

4/20/2018 1:47:35 PM

6

5

4

3

2

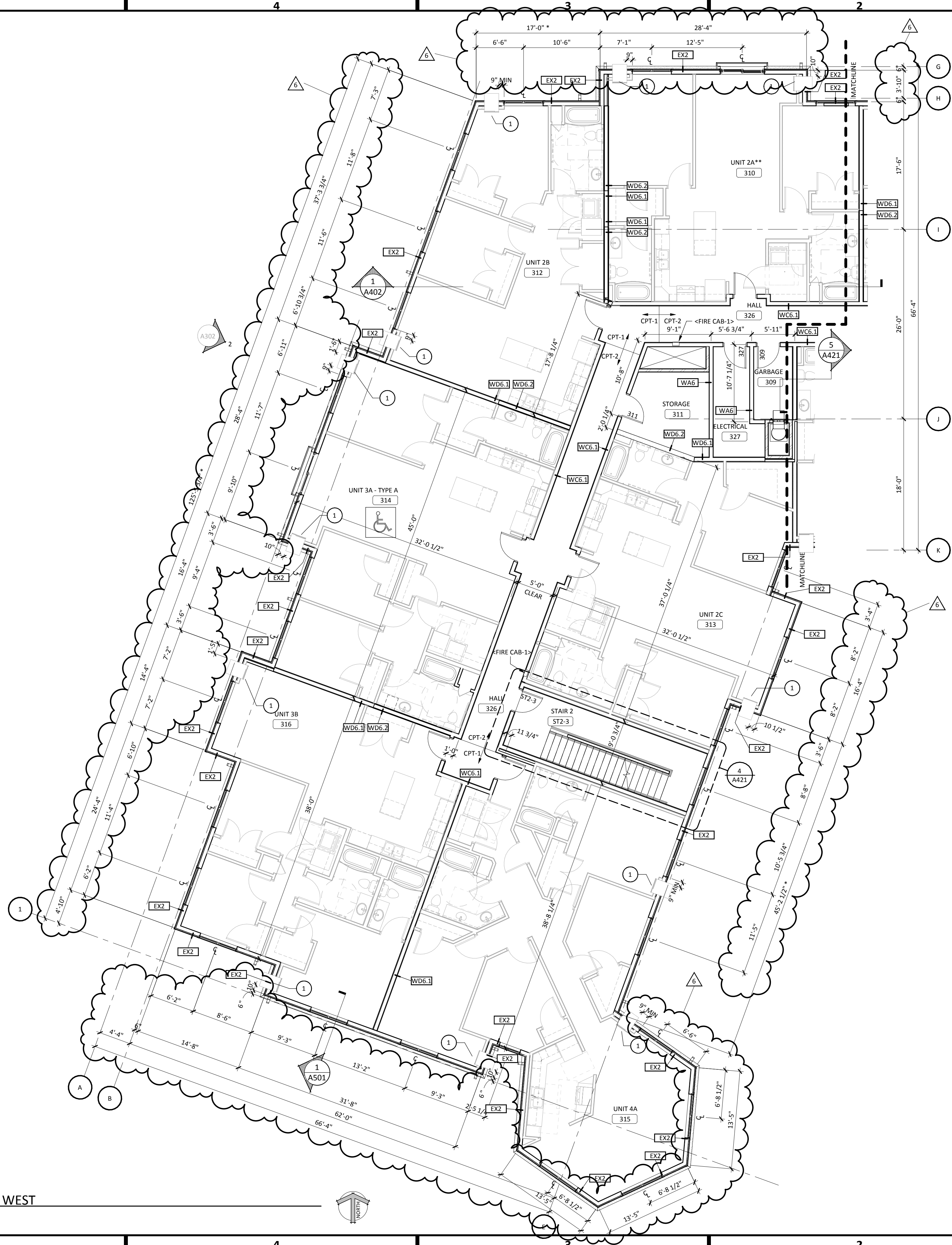
1

D

C

B

A



SHEET MATERIAL ID LIST

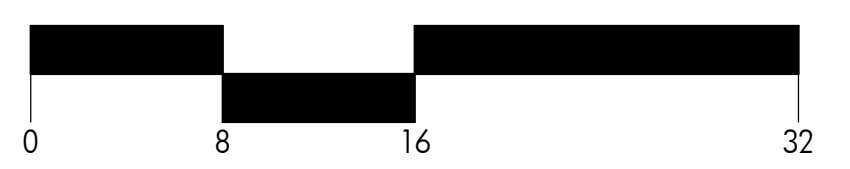
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -WD BASE-2>
5	MOP BASIN. EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN. PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQUIREMENTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'NTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE). FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. CORRDINATE DIMENSIONS W/ ASTERISK ((E - "X-X") W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- H. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- I. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



SCALE 1/8" = 1'-0"



1 3RD FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

A213A



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.6426
facsimile 612.746.6475
www.jlgarchitects.com
copyright © 2016

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A213A

THIRD FLOOR PLAN - WEST

4/20/2018 1:47:41 PM

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

FLOOR PLAN KEYNOTES

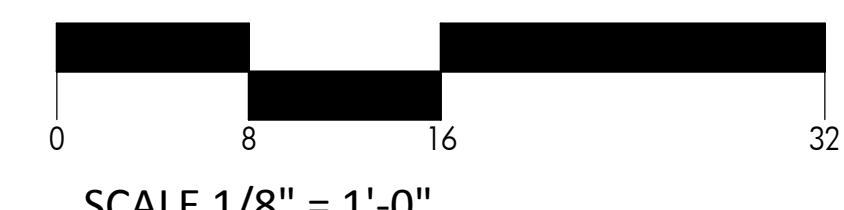
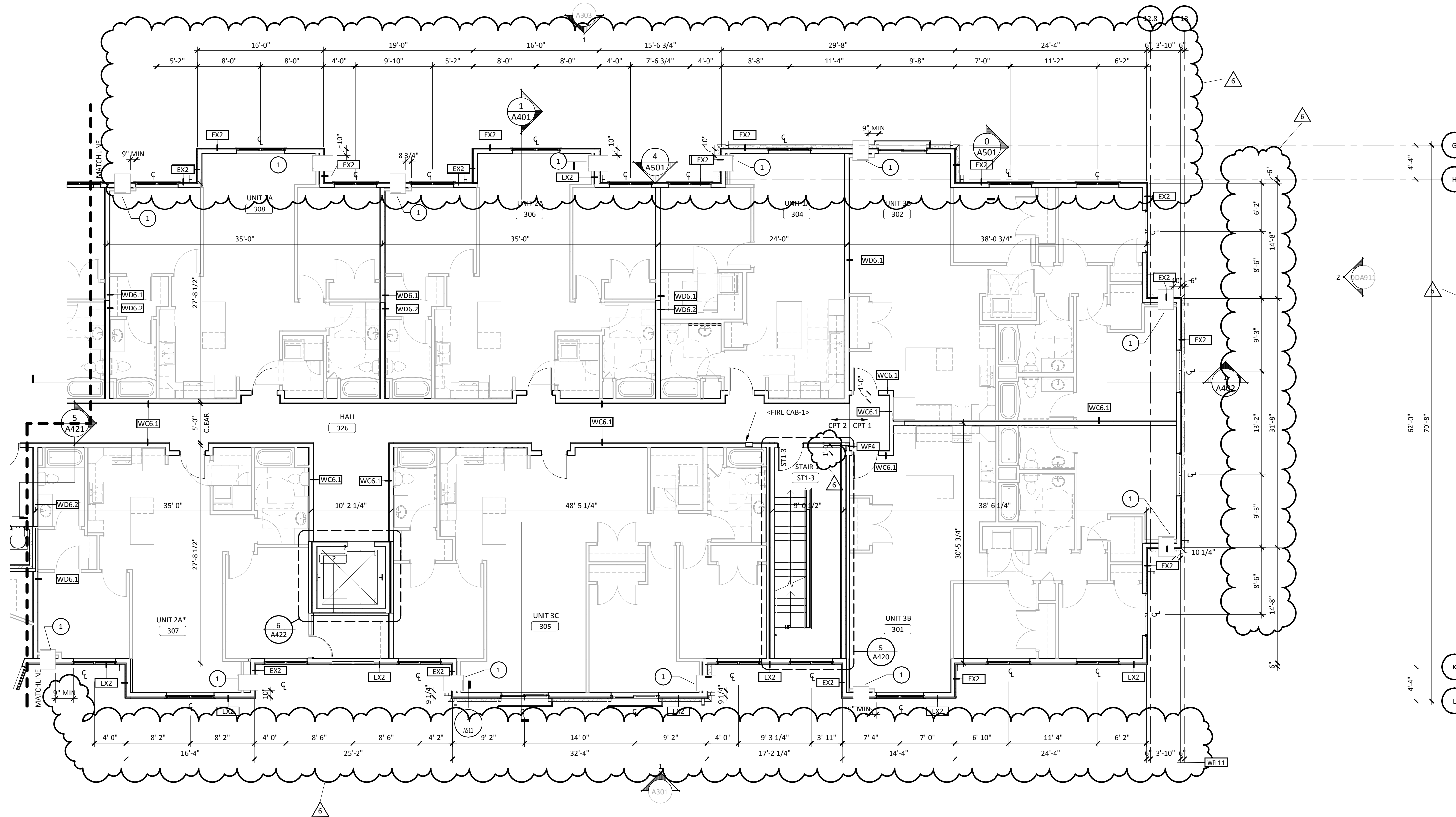
KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -WD BASE-2>
5	MOP BASIN, EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN, PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'TMS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'TMS AND MOUNTING LOCATIONS SEE DWG GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- D. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- E. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. COORDINATE DIMENSIONS W/ ASTERISK (IE - *X'-X") W/ EQUIPMENT VENDOR. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- H. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- I. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- J. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- K. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



1
A213B
 3RD FLOOR PLAN - EAST
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017
 PHASE
100% CDs
 PROJECT
16098
 SHEET
A213B
 THIRD FLOOR PLAN - EAST

4/20/2018 1:47:46 PM

6

5

4

1

D

C

B

A

6

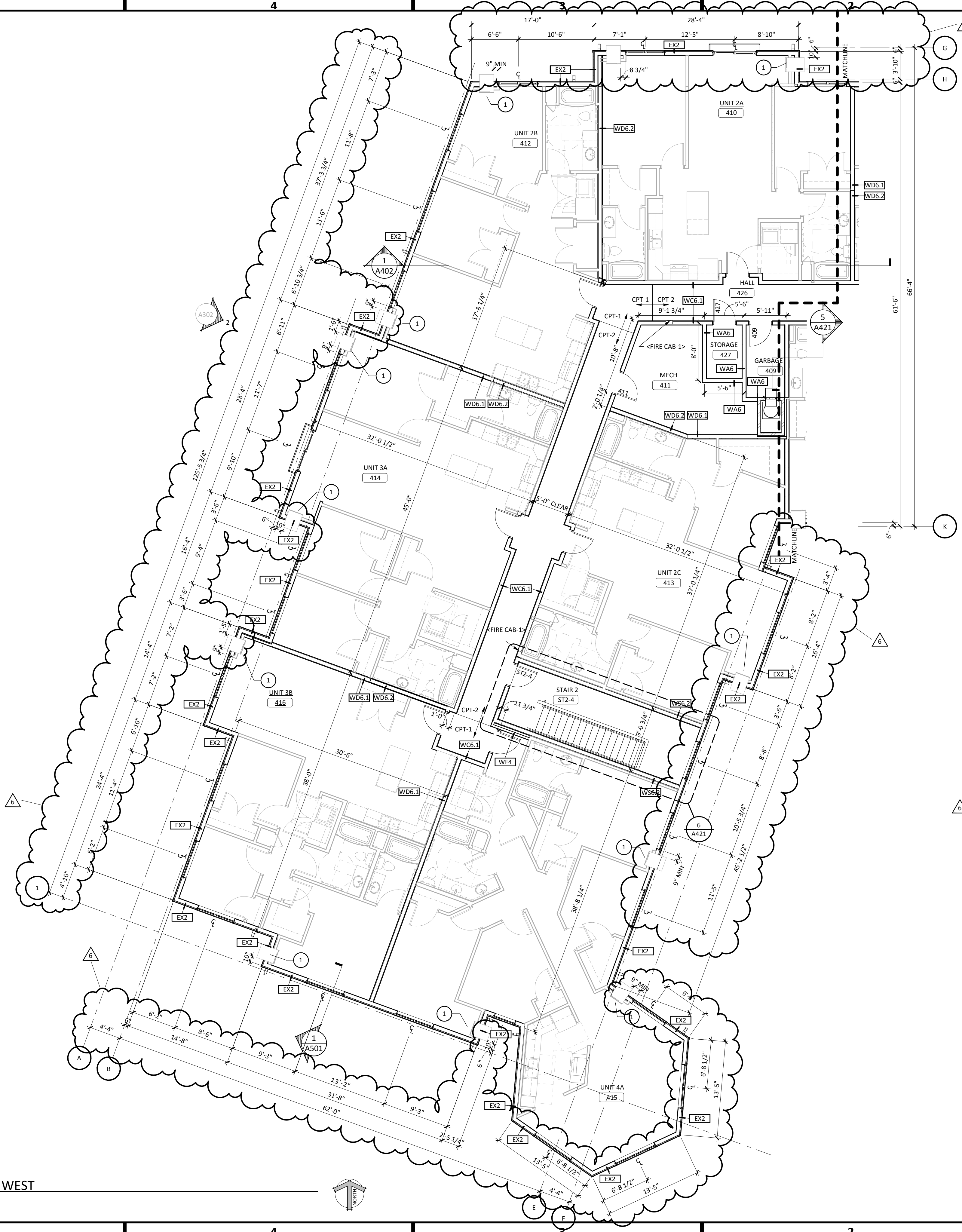
5

4

3

2

1



SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	30 4400 - FIRE EXTINGUISHER CABINET

FLOOR PLAN KEYNOTES

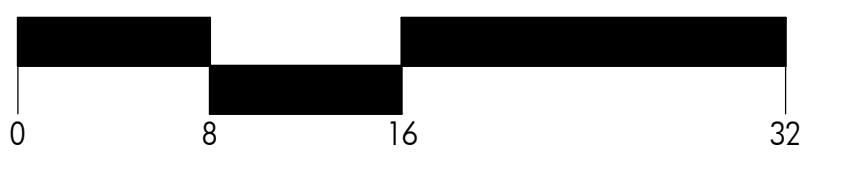
KEYNOTE	DESCRIPTION
1	THRU-WALL A/C UNIT
2	WALK OFF FLOOR MAT
3	COAT RACK
4	WOOD BASEBOARD -WD BASE-2>
5	MOP BASIN, EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN, PROVIDE <MOP HLDR-1> AT ALL LOCATIONS
6	WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER
7	EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MENTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MENTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
- E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- F. PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- H. CORRDINATE DIMENSIONS W/ ASTERISK (IE - *X'-X") W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
- K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- L. INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
- M. ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



SCALE 1/8" = 1'-0"



1
A214A
4TH FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

4/20/2018 1:47:52 PM



322 1st Ave N, Suite #600
Minneapolis, MN 55401
phone 612.746.6426
facsimile 612.746.6475
www.jlgarchitects.com
copyright © 2016

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A214A

FOURTH FLOOR PLAN - WEST

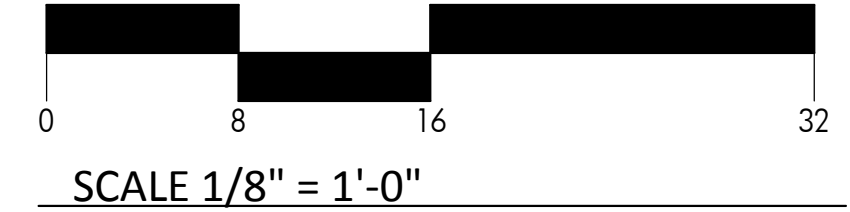
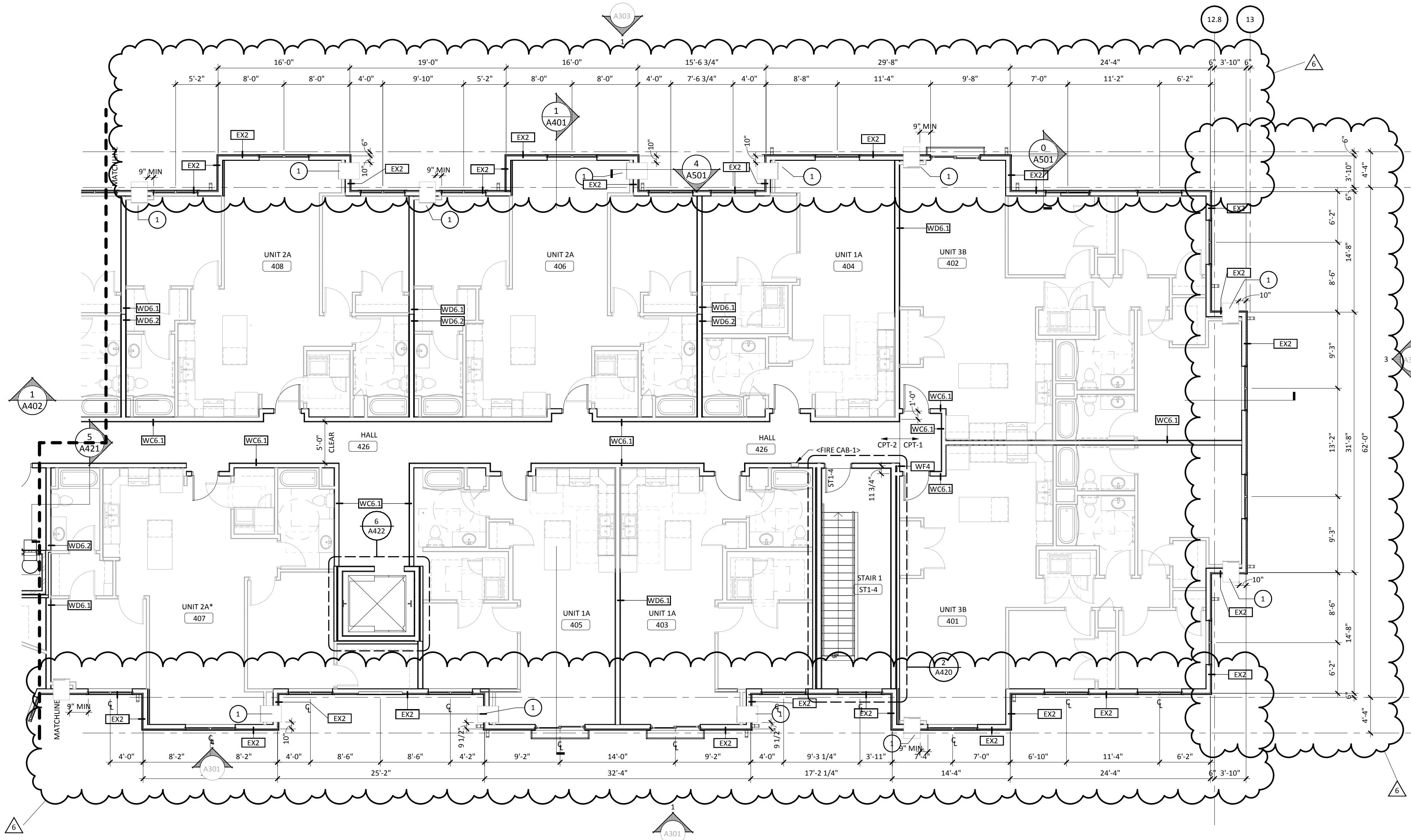
SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
6	ASI #001	4/23/2018

- ### FLOOR PLAN KEYNOTES
- | KEYNOTE | DESCRIPTION |
|---------|---|
| 1 | THRU-WALL A/C UNIT |
| 2 | WALK OFF FLOOR MAT |
| 3 | COAT RACK |
| 4 | WOOD BASEBOARD -WD BASE-2> |
| 5 | MOP BASIN, EXTEND <FRP PNL-10> 48" IN BOTH DIRECTIONS AROUND MOP BASIN, PROVIDE <MOP HLDR-1> AT ALL LOCATIONS |
| 6 | WALL MOUNTED TELEVISION, LOCATION TO BE COORDINATED WITH OWNER |
| 7 | EXERCISE EQUIPMENT, LOCATION TO BE COORDINATED WITH OWNER |
- ### FLOOR PLAN GENERAL NOTES
- FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG G120
 - FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQ'MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
 - ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700
 - TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
 - PROVIDE WALL REINFORCEMENT PER DETAIL AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
 - FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
 - COORDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDER. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
 - ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR SHEATHING UNLESS OTHERWISE NOTED.
 - COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
 - INSTALL ACOUSTIC PUTTY ON ALL ELECTRICAL BOXES IN DEMISING WALLS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO MAINTAIN A MINIMUM STC-50 BETWEEN UNITS.
 - ALL THRU-WALL A/C UNITS TO ALIGN VERTICALLY FROM FIRST TO FOURTH FLOOR.



1
A214B
 4TH FLOOR PLAN - EAST
 SCALE: 1/8" = 1'-0"

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017
 PHASE
100% CDs
 PROJECT
16098
 SHEET
A214B
 FOURTH FLOOR PLAN - EAST

4/20/2018 1:47:58 PM

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
DRYER-1	11 3100 - CLOTHES DRYER
RB BASE-3	09 6500 - 6" RUBBER COVE BASE
ROBE HOOK-1	10 2800 - SINGLE PRONG ROBE HOOK
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TOWEL BAR-2	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
WASHER-1	11 3100 - WASHING MACHINE
WD BLKG	06 1000 - EXPOSED OR CONCEALED WOOD BLOCKING
WIRE SHLV-1	10 5623 - WIRE STORAGE SHELVING

UNIT PLAN KEYNOTES

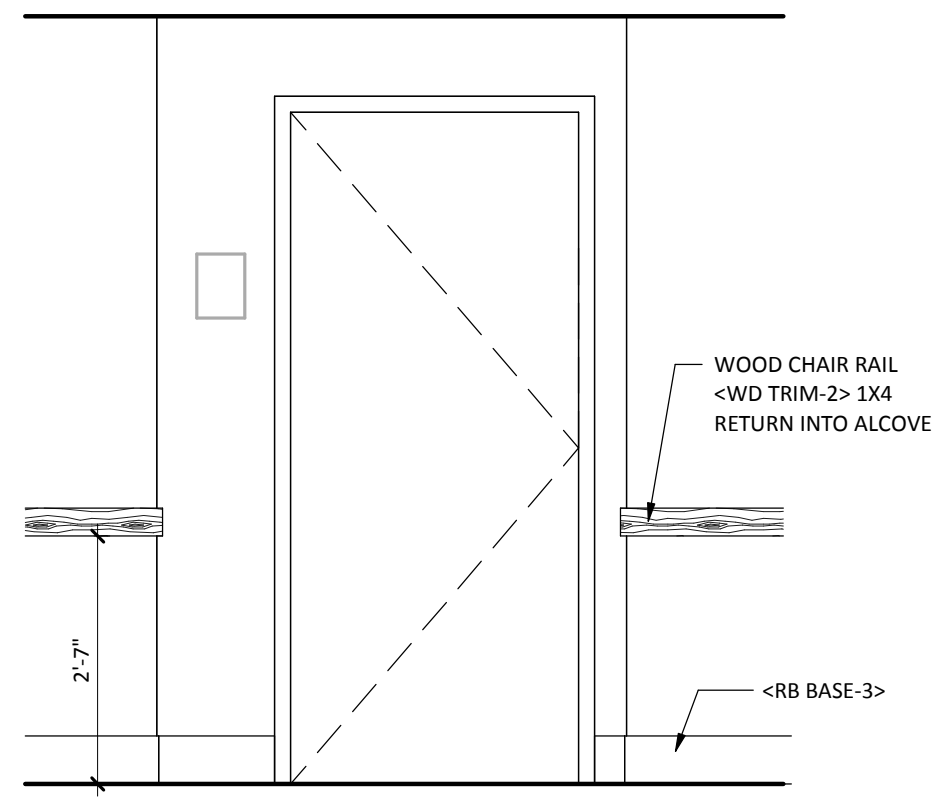
KEYNOTE	DESCRIPTION
1	BEDROOM CLOSET SHELVING - SEE ELEVATION 5.1/A220
2	ENTRY CLOSET SHELVING - SEE ELEVATION 5.2/A220
3	LINEN CLOSET SHELVING - SEE ELEVATION 5.3/A220
4	LAUNDRY SHELVING - SEE ELEVATION 5.4/A220
5	THRU WALL AIR CONDITIONER, SEE MECH.
6	DISASTER PAN - SEE UNIT PLAN GENERAL NOTE 'J'

UNIT PLAN GENERAL NOTES

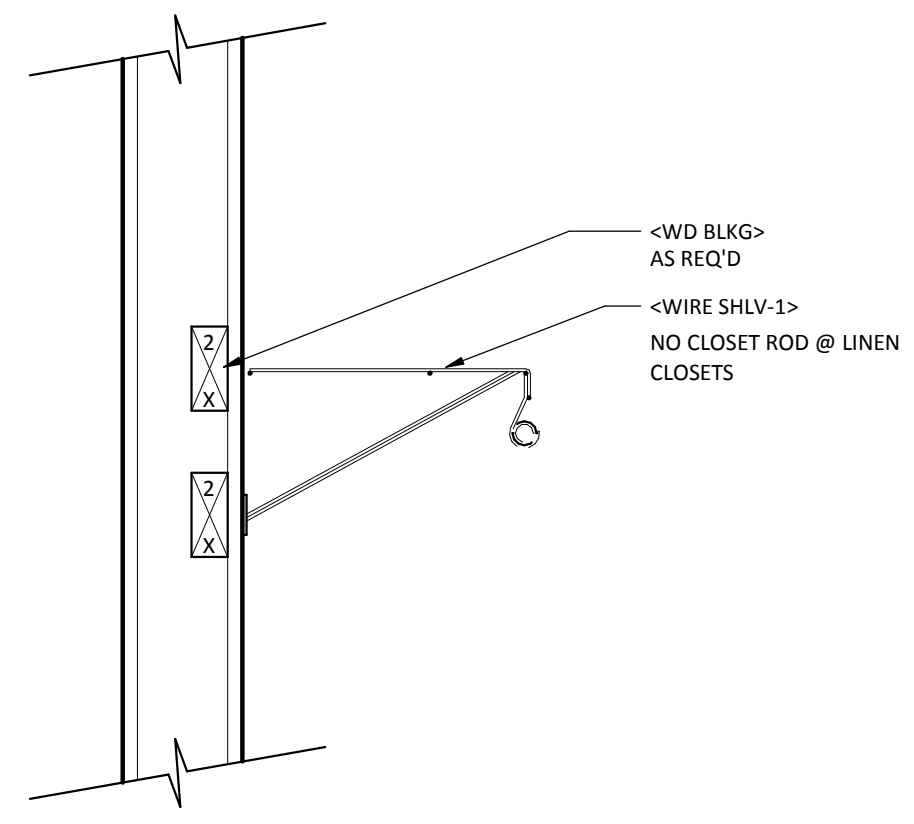
- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG. G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES EQ'MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON GXXX
- E. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG. AX-XXX.
- G. COORDINATE DIMENSIONS W/ ASTERISK (IE. *X'-X") W/ EQUIPMENT VENDOR.
- H. ALL DIMENSIONS ARE TO CENTER OF WALL ASSEMBLY AT INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS AT EXTERIOR ARE TO FACE OF BRICK/FOUNDATION OR FACE OF SHEATHING.
- I. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- J. PROVIDE DISASTER PAN WITH FLOOR DRAIN UNDER ALL WASHING MACHINES AT 2ND THRU 4TH FLOORS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES AT 1ST FLOOR.
- K. PROVIDE FLOOR DRAIN IN DRY OFF AREA OF TYPE-A UNIT ROLL-IN SHOWER.
- L. WALL TYPE IS W44 UNO.
- M. PROVIDE CAST UNDERLAYMENT-1 UNDER TUBS AND SHOWERS.
- N. AT ACCESSIBLE VANITY AND SINK CABINETS EXTEND FLOOR FINISH UNDER CABINET. AND FINISH WALL AND CABINET SIDES.

REVISION SCHEDULE

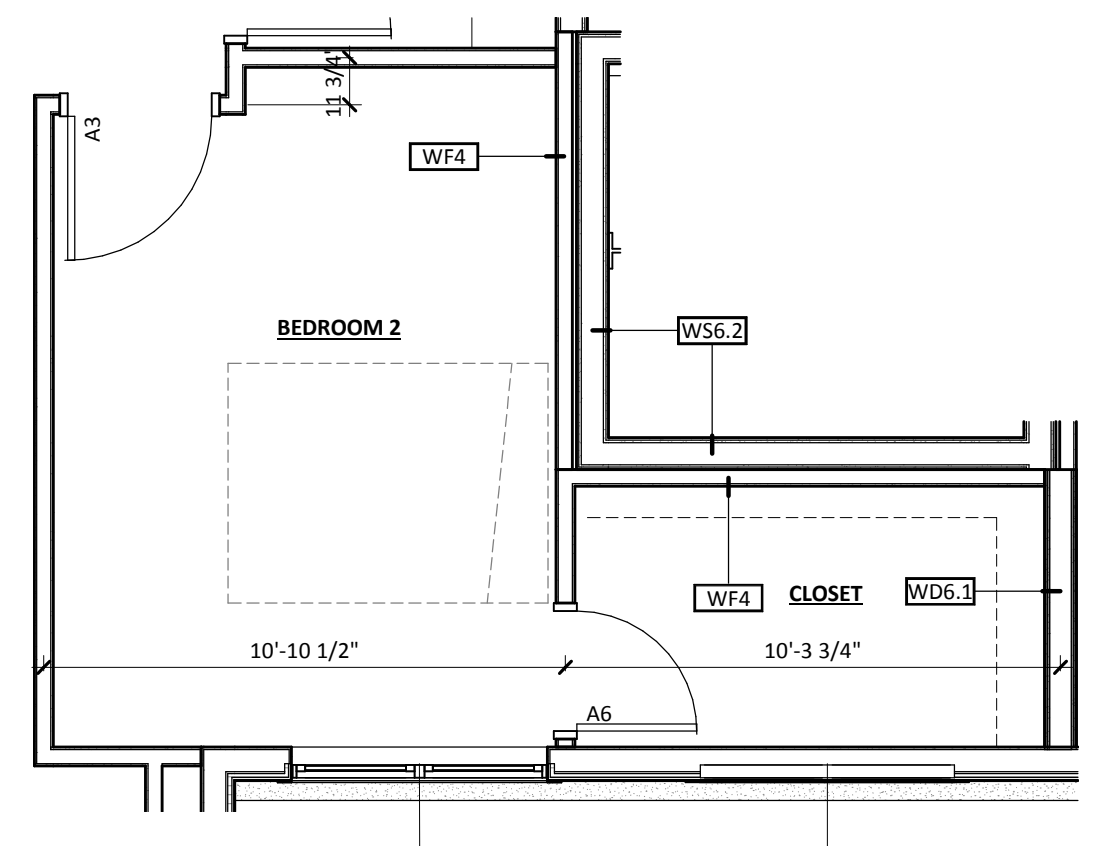
NO.	DESCRIPTION	DATE
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018



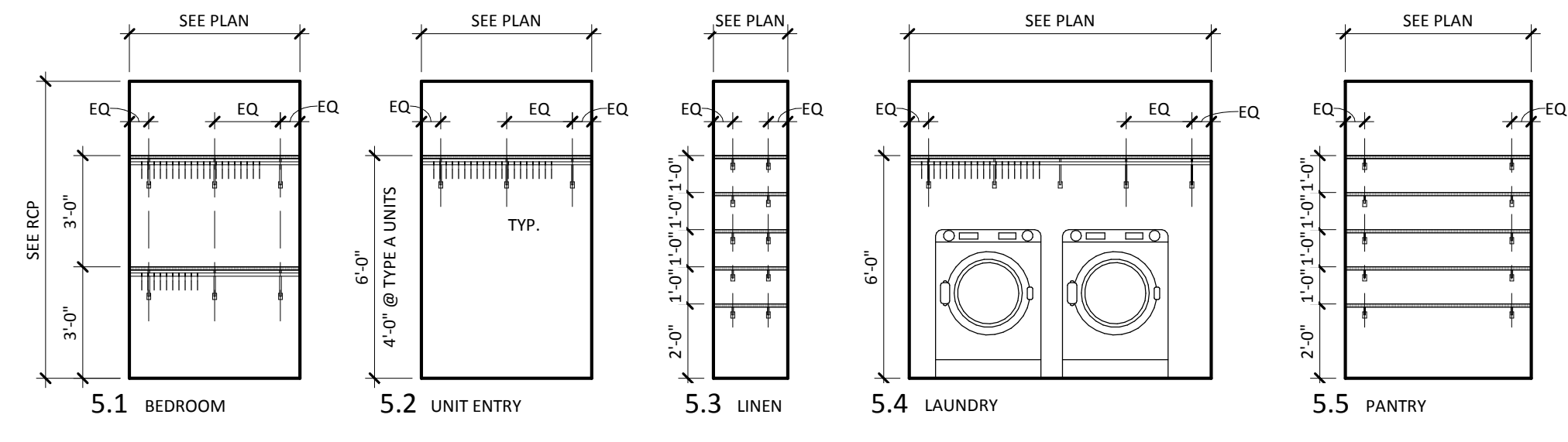
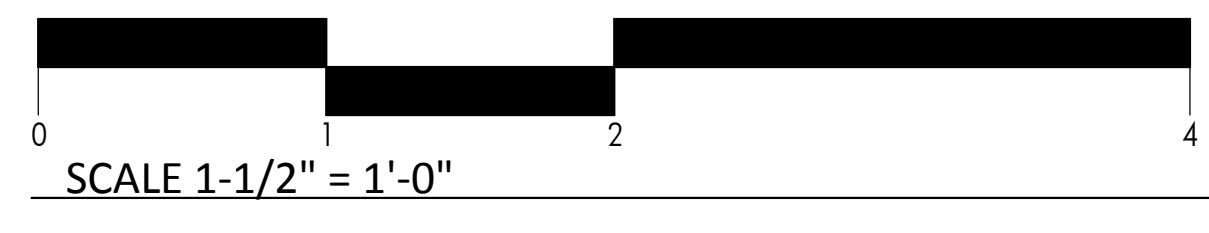
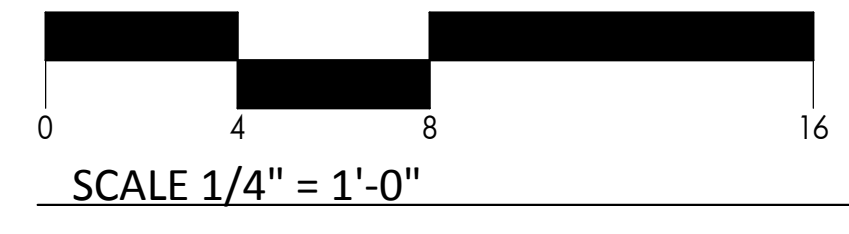
7
A220 TYPICAL UNIT ENTRY ELEVATION
SCALE: 1/2" = 1'-0"



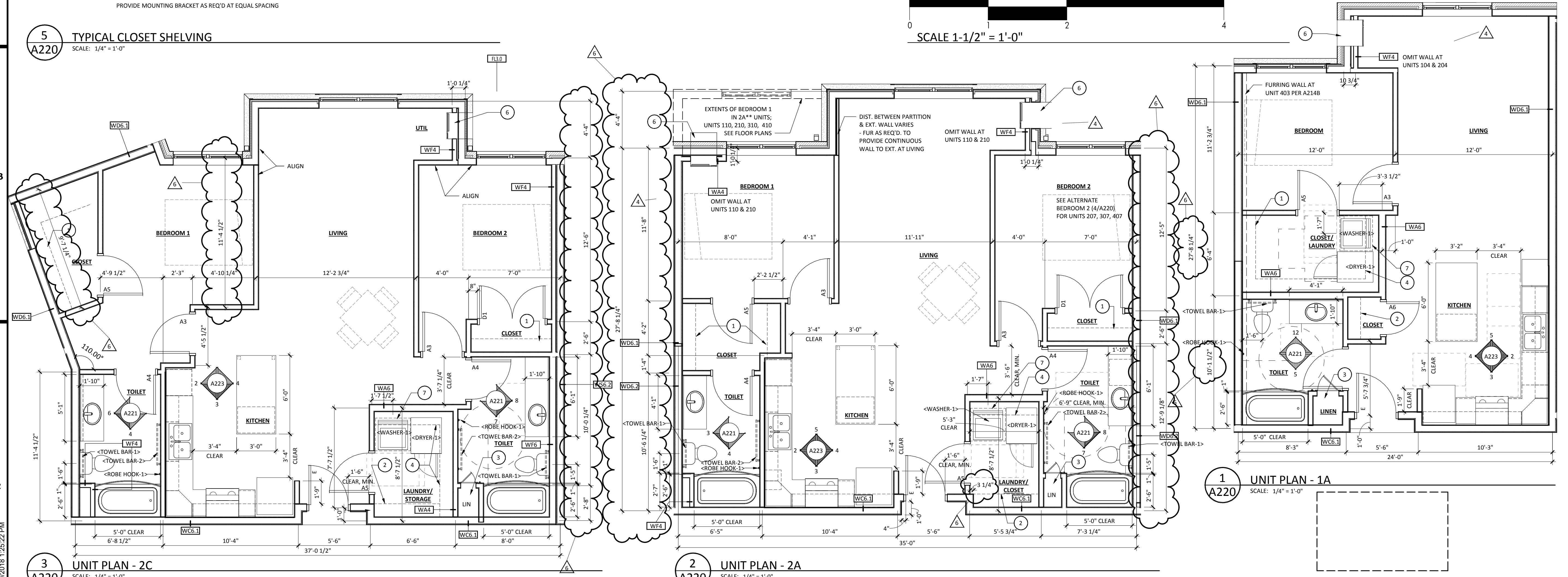
6
A220 WIRE CLOSET SHELF
SCALE: 1 1/2" = 1'-0"



4
A220 UNIT 2A* - ALTERNATE BEDROOM 2
SCALE: 1/4" = 1'-0"



5
A220 TYPICAL CLOSET SHELVING
SCALE: 1/4" = 1'-0"



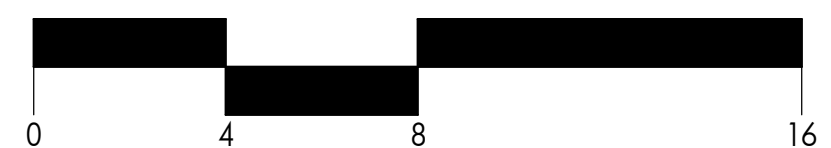
4/20/2018 1:25:22 PM

D

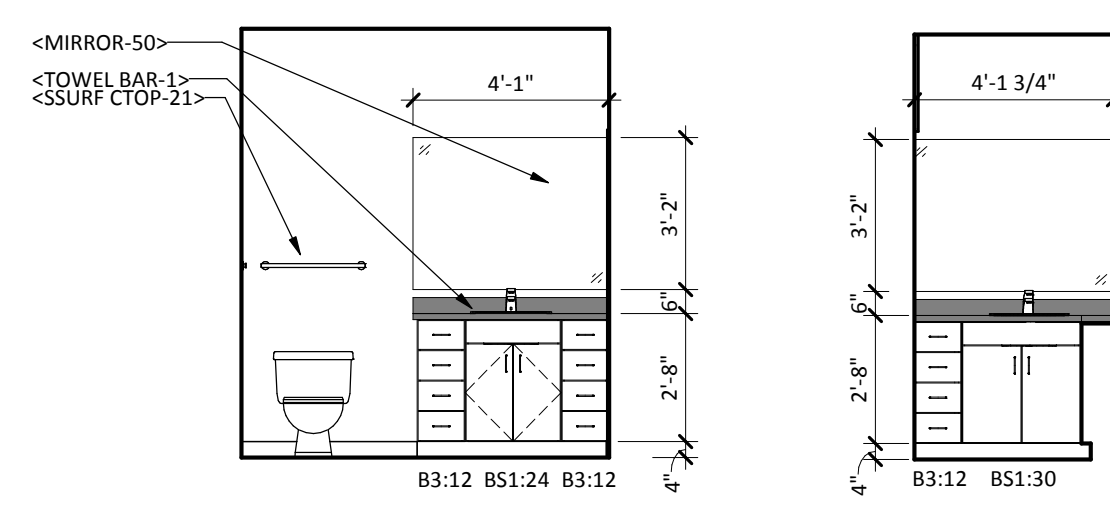
C

B

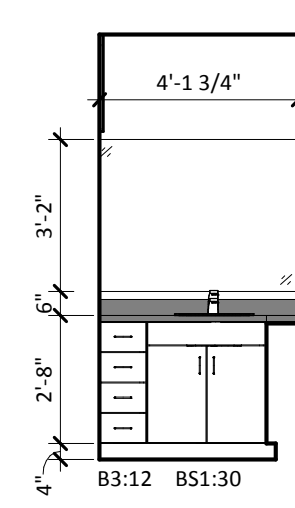
A



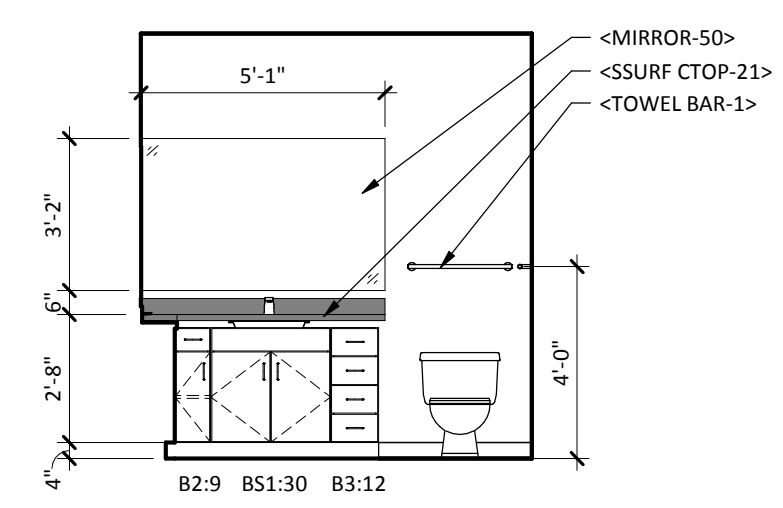
SCALE 1/4" = 1'-0"



12 TOILET ELEV 8
A221 SCALE: 1/4" = 1'-0"



11 TOILET ELEV 10
A221 SCALE: 1/4" = 1'-0"



10 TOILET ELEV 9
A221 SCALE: 1/4" = 1'-0"

UNIT PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ' MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES EQ' MTS AND MOUNTING LOCATIONS SEE DWG. GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON GXXX
- E. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX.
- G. CORRDINATE DIMENSIONS W/ ASTERISK (IE - *X-X") W/ EQUIPMENT VENDER.
- H. ALL DIMENSIONS ARE TO CENTER OF WALL ASSEMBLY AT INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS AT EXTERIOR ARE TO FACE OF BRICK/FOUNDATION OR FACE OF SHEATHING.
- I. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- J. PROVIDE DISASTER PAN WITH FLOOR DRAIN UNDER ALL WASHING MACHINES AT 2ND THRU 4TH FLOORS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES AT 1ST FLOOR.
- K. PROVIDE FLOOR DRAIN IN DRY OFF AREA OF TYPE-A UNIT ROLL-IN SHOWER. WALL TYPE IS WAS UNO.
- L. PROVIDE CAST UNDERLAYMENT-1 UNDER TUBS AND SHOWERS.
- M. AT ACCESSIBLE VANITY AND SINK CABINETS EXTEND FLOOR FINISH UNDER CABINET. AND FINISH WALL AND CABINET SIDES.
- N.

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
CRTN ROD-2	10 2800 - SHOWER CURTAIN ROD, CURVED
DRYER-1	11 3100 - CLOTHES DRYER
MIRROR-50	10 2800 - FRAMELESS MIRROR
RES CASE-1	12 3530 - RESIDENTIAL CASEWORK
ROBE HOOK-1	10 2800 - SINGLE PRONG ROBE HOOK
SSURF CTOP-21	12 3600 - 1/2" SOLID SURFACE COUNTERTOP
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TOWEL BAR-2	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
WASHER-1	11 3100 - WASHING MACHINE

UNIT PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	BEDROOM CLOSET SHELVING - SEE ELEVATION 5.1/A220
2	ENTRY CLOSET SHELVING - SEE ELEVATION 5.2/A220
3	LINEN CLOSET SHELVING - SEE ELEVATION 5.3/A220
4	LAUNDRY SHELVING - SEE ELEVATION 5.4/A220
6	THRU WALL AIR CONDITIONER, SEE MECH.
7	DISASTER PAN - SEE UNIT PLAN GENERAL NOTE 'J'

NO.	DESCRIPTION	DATE
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018

9 TOILET ELEV 7
A221 SCALE: 1/4" = 1'-0"

8 TOILET ELEV 6
A221 SCALE: 1/4" = 1'-0"

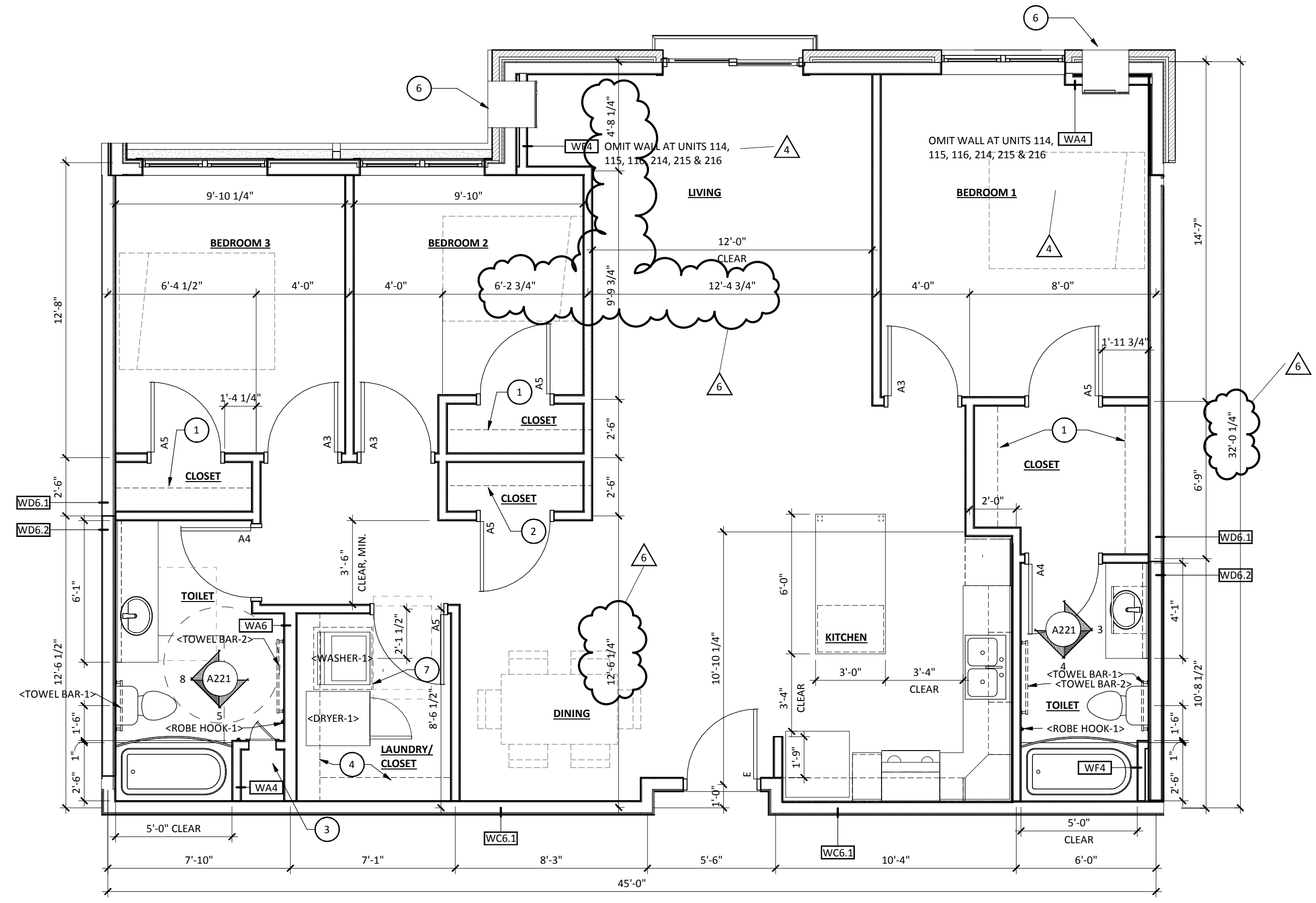
7 TOILET ELEV 5
A221 SCALE: 1/4" = 1'-0"

6 TOILET ELEV 4
A221 SCALE: 1/4" = 1'-0"

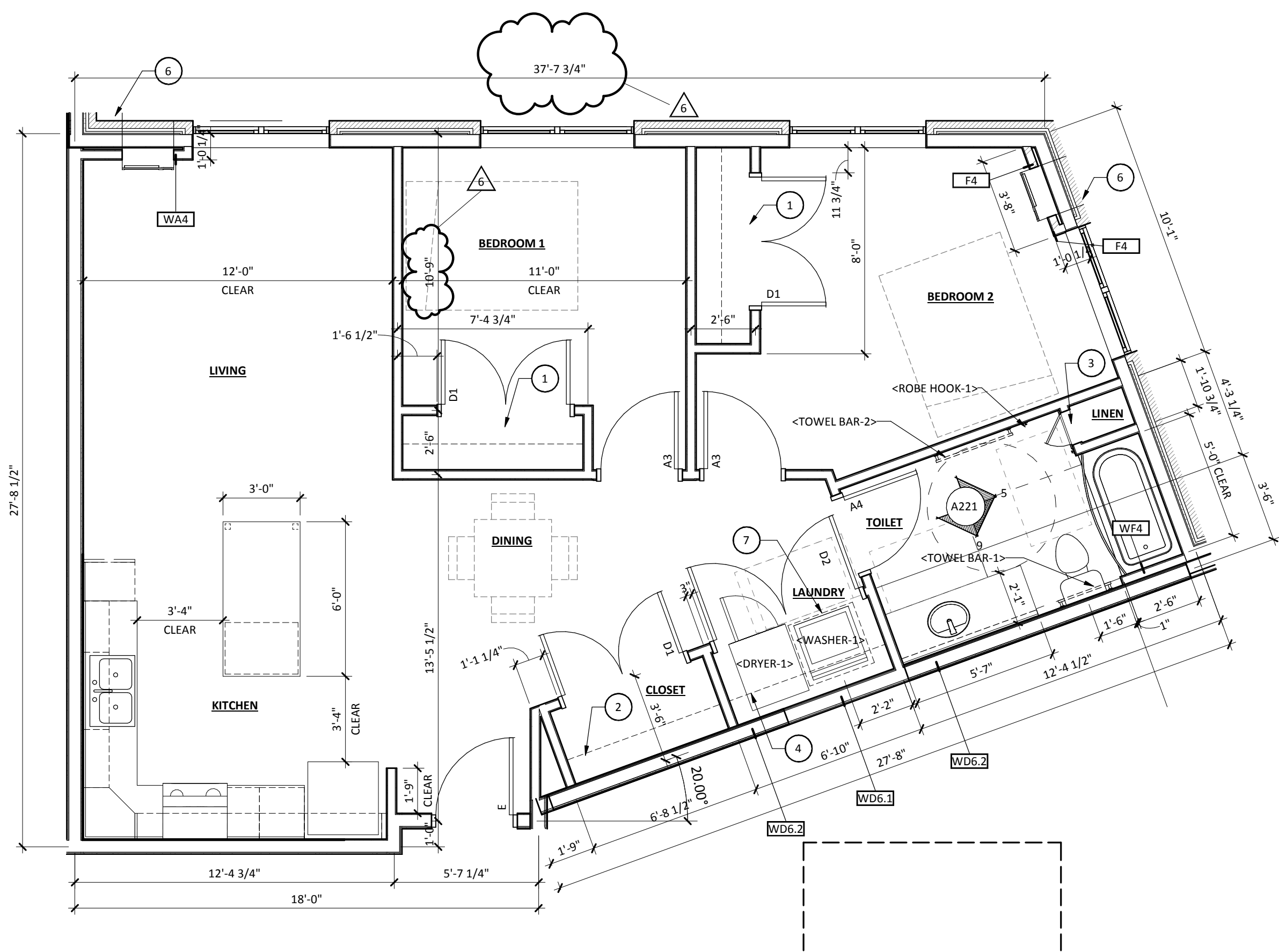
5 TOILET ELEV 3
A221 SCALE: 1/4" = 1'-0"

4 TOILET ELEV 2
A221 SCALE: 1/4" = 1'-0"

3 TOILET ELEV 1
A221 SCALE: 1/4" = 1'-0"



2 UNIT PLAN - 3A
A221 SCALE: 1/4" = 1'-0"



1 UNIT PLAN - 2B
A221 SCALE: 1/4" = 1'-0"

4/20/2018 1:25:31 PM



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A221
UNIT PLANS

6

5

4

3

2

1

D

C

B

A

UNIT PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MTS AND LOCATIONS SEE DWG G120
- B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES EQ'MTS AND MOUNTING LOCATIONS SEE DWG GXXX
- C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON GXXX
- E. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).
- F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AK-XXX. COORDINATE DIMENSIONS W/ ASTERISK (IE *X-X") W/ EQUIPMENT VENDOR.
- G. ALL DIMENSIONS ARE TO CENTER OF WALL ASSEMBLY AT INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS AT EXTERIOR ARE TO FACE OF BRICK/FOUNDATION OR FACE OF SHEATHING.
- I. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- J. PROVIDE DISASTER PAN WITH FLOOR DRAIN UNDER ALL WASHING MACHINES AT 2ND THRU 4TH FLOORS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES AT 1ST FLOOR.
- K. PROVIDE FLOOR DRAIN IN DRY OFF AREA OF TYPE-A UNIT ROLL-IN SHOWER. WALL TYPE IS W44 UNO.
- L. PROVIDE CAST UNDERLAYMENT-1 UNDER TUBS AND SHOWERS.
- M. AT ACCESSIBLE VANITY AND SINK CABINETS EXTEND FLOOR FINISH UNDER CABINET. AND FINISH WALL AND CABINET SIDES.

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
DISHWASHER-1	11 3100 - DISHWASHER
DRYER-1	11 3100 - CLOTHES DRYER
FRIDGE-1	11 3100 - REFRIGERATOR
MET FAB-21	05 5000 - PRE-FINISHED METAL PANEL
PLAM CTOP-1	12 3600 - PLASTIC LAMINATE COUNTERTOP
RANGE HD-1	11 3100 - RANGE HOOD
RANGE-1	11 3100 - RANGE
RES CASE-1	12 3530 - RESIDENTIAL CASEWORK
ROBE HOOK-1	10 2800 - SINGLE PRONG ROBE HOOK
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TOWEL BAR-2	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
WASHER-2	11 3100 - WASHING MACHINE

UNIT PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	BEDROOM CLOSET SHELVING - SEE ELEVATION 5.1/A220
2	ENTRY CLOSET SHELVING - SEE ELEVATION 5.2/A220
3	LINEN CLOSET SHELVING - SEE ELEVATION 5.3/A220
4	LAUNDRY SHELVING - SEE ELEVATION 5.4/A220
6	THRU WALL AIR CONDITIONER, SEE MECH.
7	DISASTER PAN - SEE UNIT PLAN GENERAL NOTE 'J'

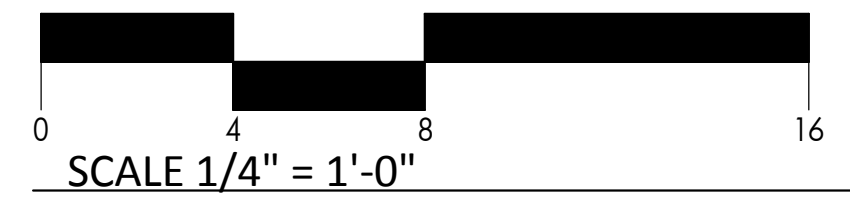
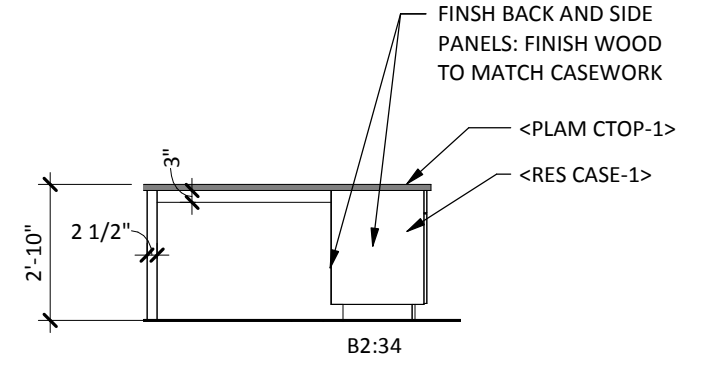
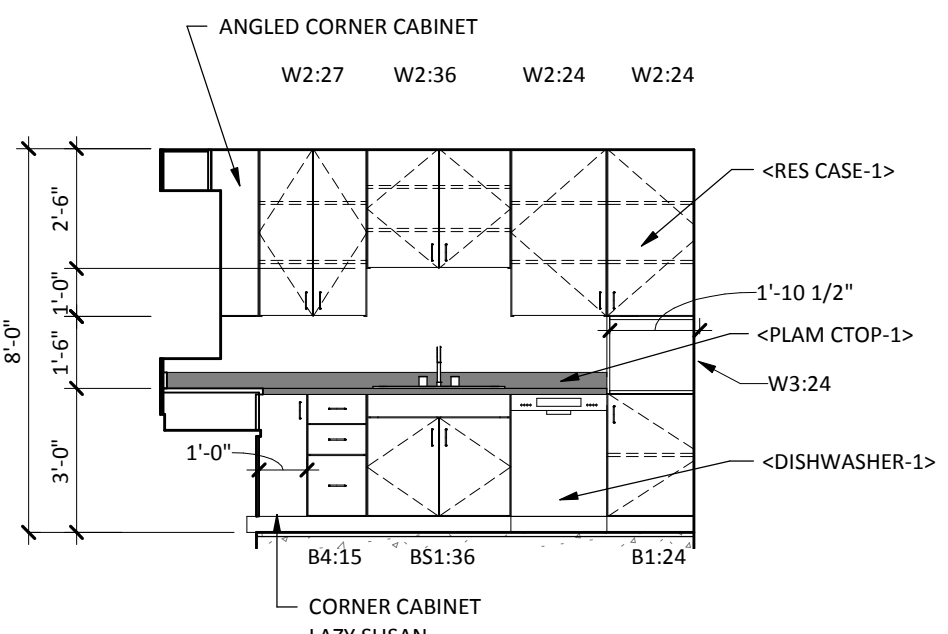
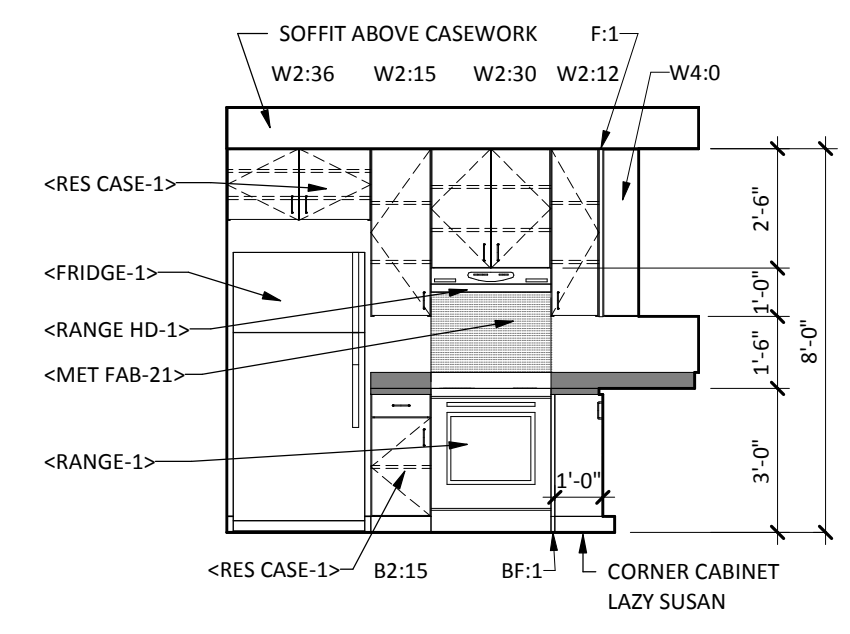
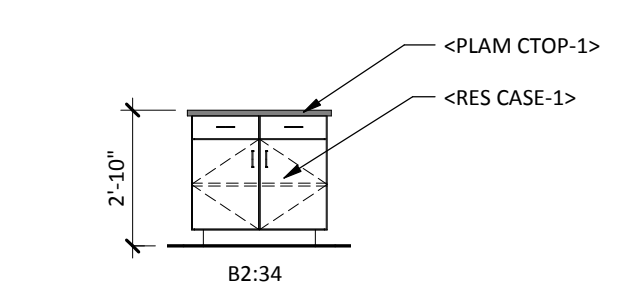
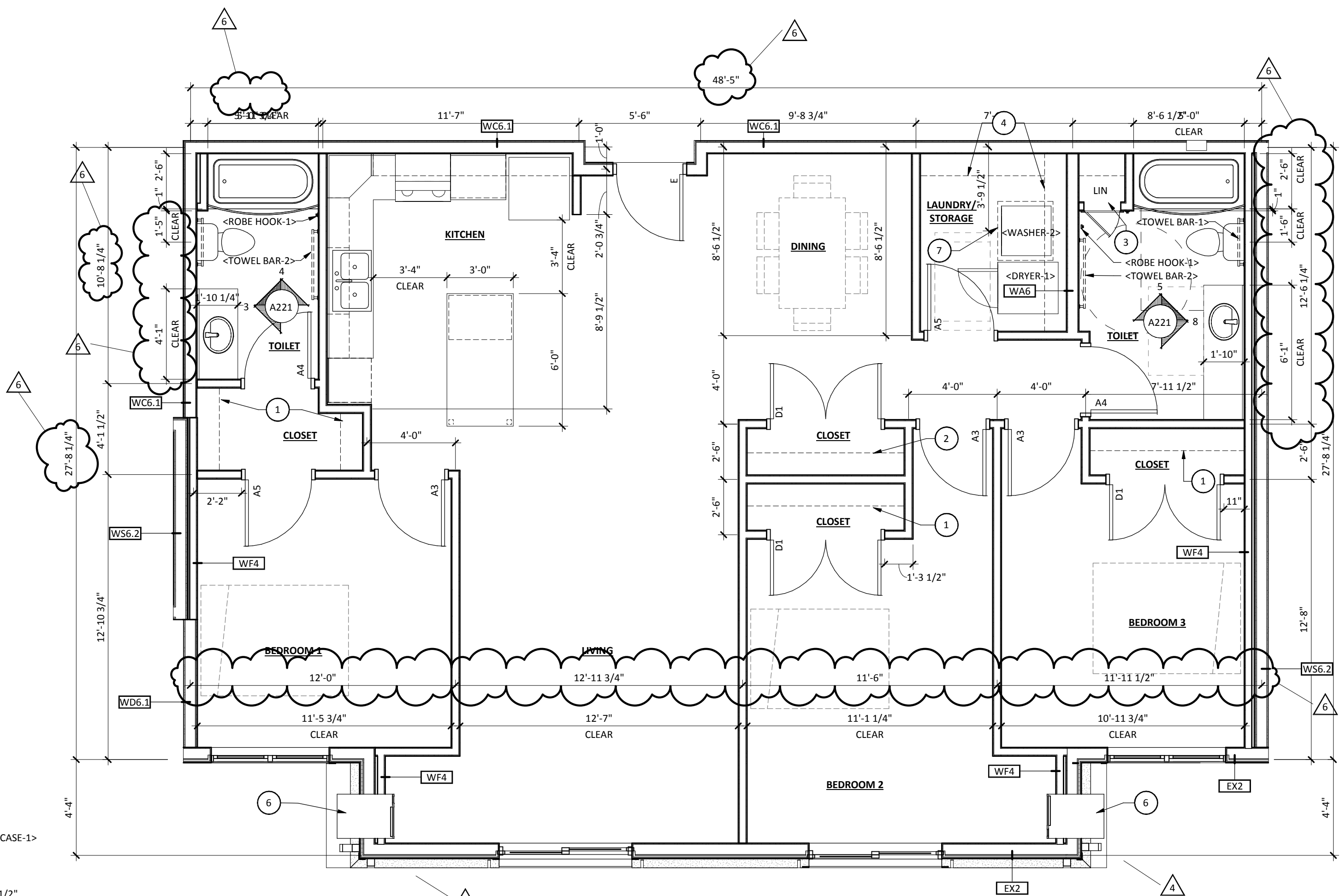
NO.	DESCRIPTION	DATE
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017
 PHASE
100% CDs
 PROJECT
16098
 SHEET
A223
 UNIT PLANS



4/20/2018 1:48:03 PM

NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
CRTN ROD-2	10 2800 - SHOWER CURTAIN ROD, CURVED
DISHWASHER-2	
DRYER-1	11 3100 - CLOTHES DRYER
FRIDGE-1	11 3100 - REFRIGERATOR
FRIDGE-2	11 3100 - REFRIGERATOR
GRAB BAR-18	10 2800 - STAINLESS STEEL GRAB BAR, 18"
GRAB BAR-30	10 2800 - STAINLESS STEEL GRAB BAR, 30"
GRAB BAR-36	10 2800 - STAINLESS STEEL GRAB BAR, 36"
GRAB BAR-42	10 2800 - STAINLESS STEEL GRAB BAR, 42"
MET FAB-21	05 5000 - PRE-FINISHED METAL PANEL
MIRROR-50	10 2800 - FRAMELESS MIRROR
RANGE HD-1	11 3100 - RANGE HOOD
RANGE-2	11 3100 - RANGE
ROBE HOOK-1	10 2800 - SINGLE PRONG ROBE HOOK
SSURF CTOP-21	12 3600 - 1/2" SOLID SURFACE COUNTERTOP
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TOWEL BAR-2	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
WASHER-2	11 3100 - WASHING MACHINE

UNIT PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	BEDROOM CLOSET SHELVING - SEE ELEVATION 5.1/A220
2	ENTRY CLOSET SHELVING - SEE ELEVATION 5.2/A220
3	LINEN CLOSET SHELVING - SEE ELEVATION 5.3/A220
4	LAUNDRY SHELVING - SEE ELEVATION 5.4/A220
5	THRU WALL AIR CONDITIONER, SEE MECH.
6	DISASTER PAN - SEE UNIT PLAN GENERAL NOTE 'I'

UNIT PLAN GENERAL NOTES

A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQ'MENTS AND LOCATIONS SEE DWG G120

B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES EQ'MTS AND MOUNTING LOCATIONS SEE DWG GXXX

C. ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.

D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON GXXX PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE).

F. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG AX-XXX

G. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDOR.

H. ALL DIMENSIONS ARE TO CENTER OF WALL ASSEMBLY AT INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS AT EXTERIOR ARE TO FACE OF BRICK/FOUNDATION OR FACE OF SHEATHING.

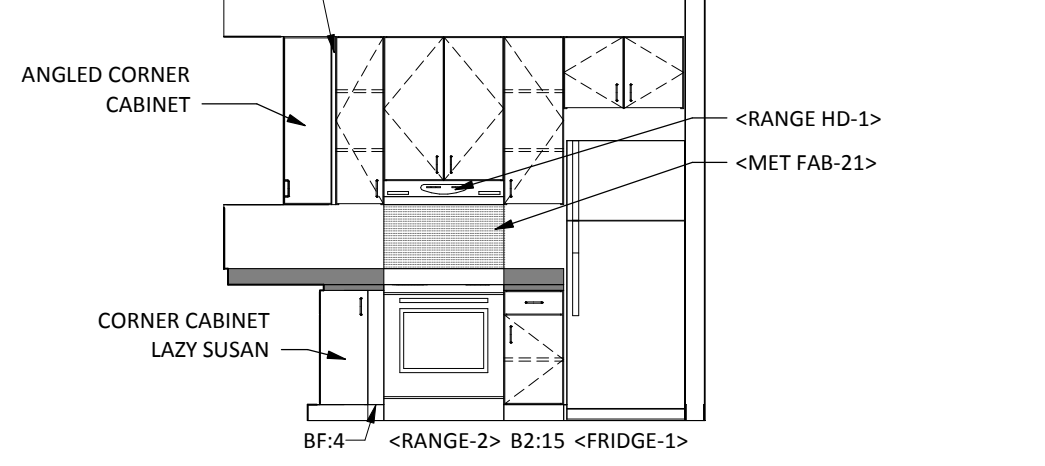
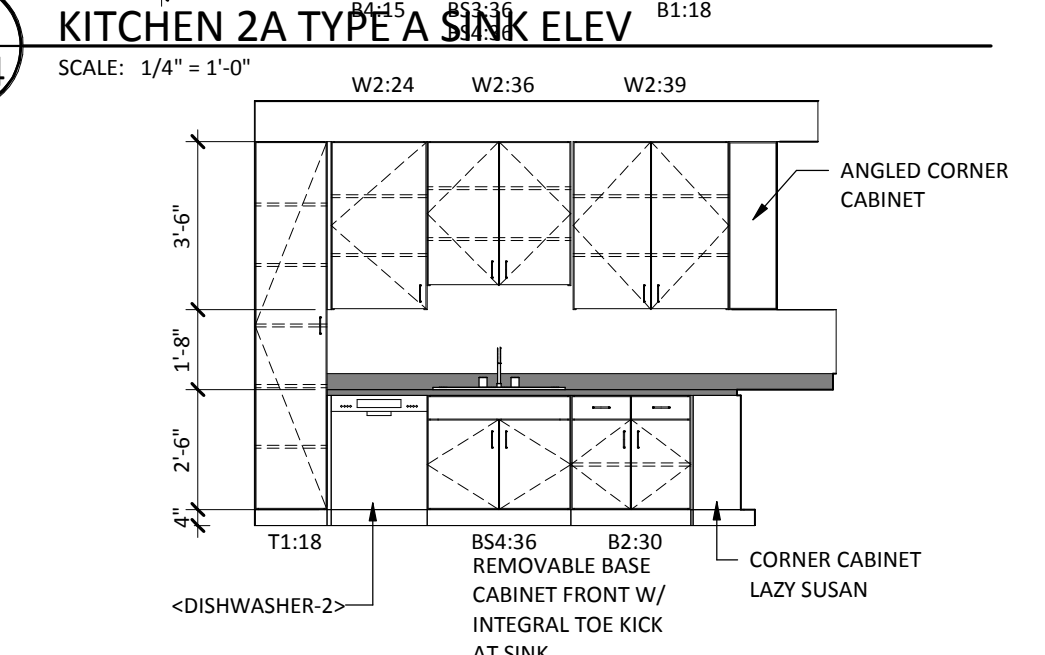
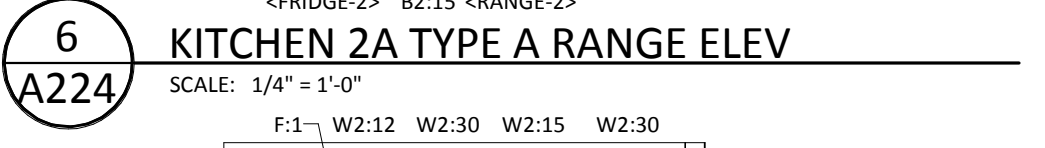
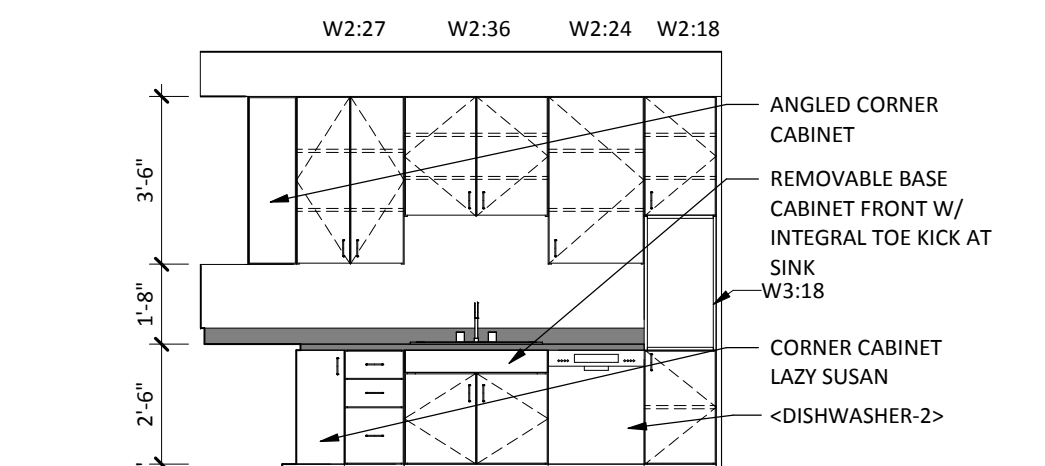
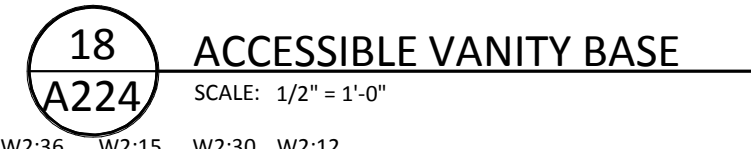
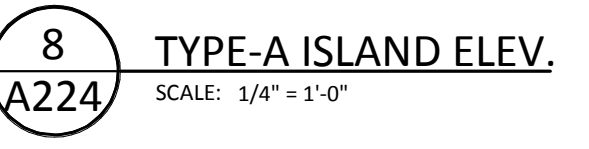
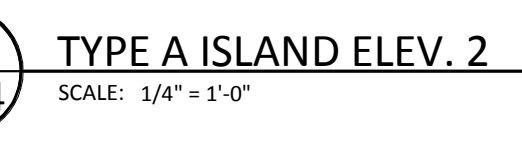
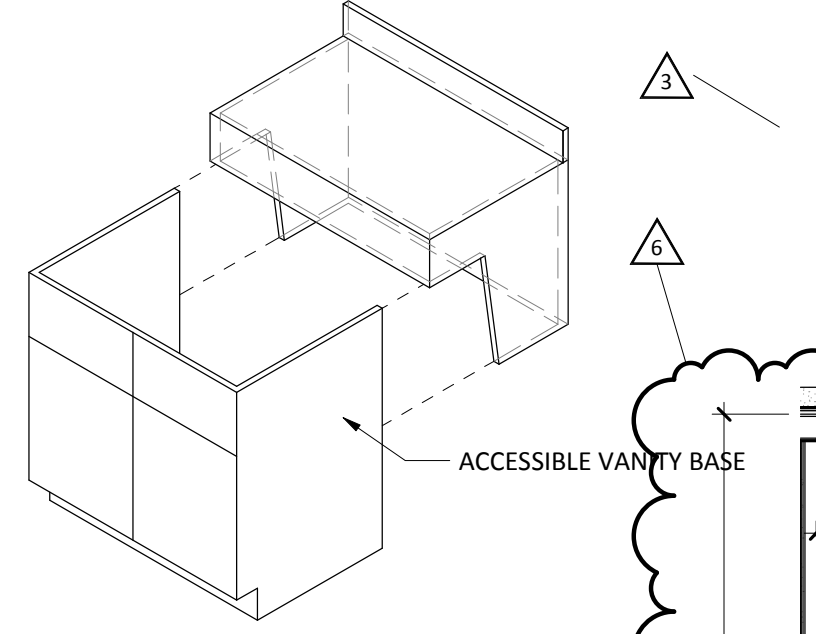
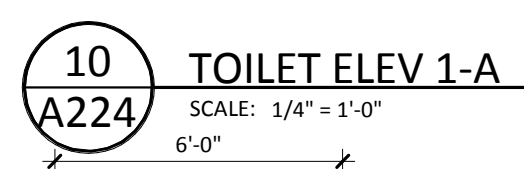
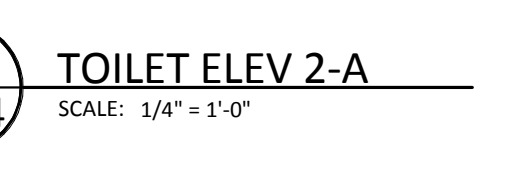
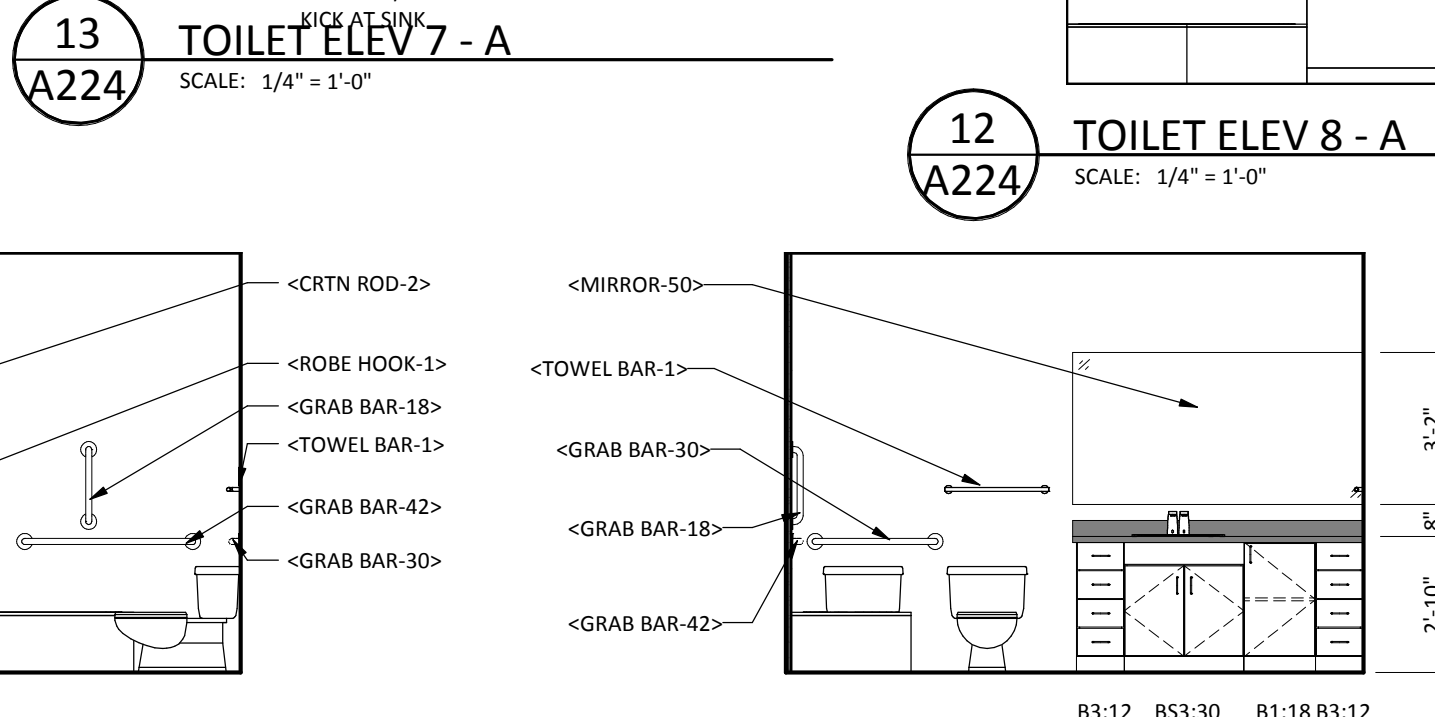
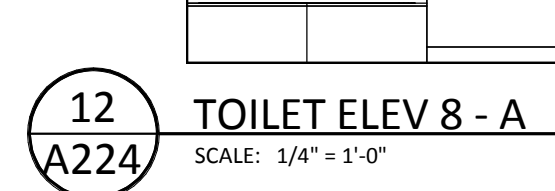
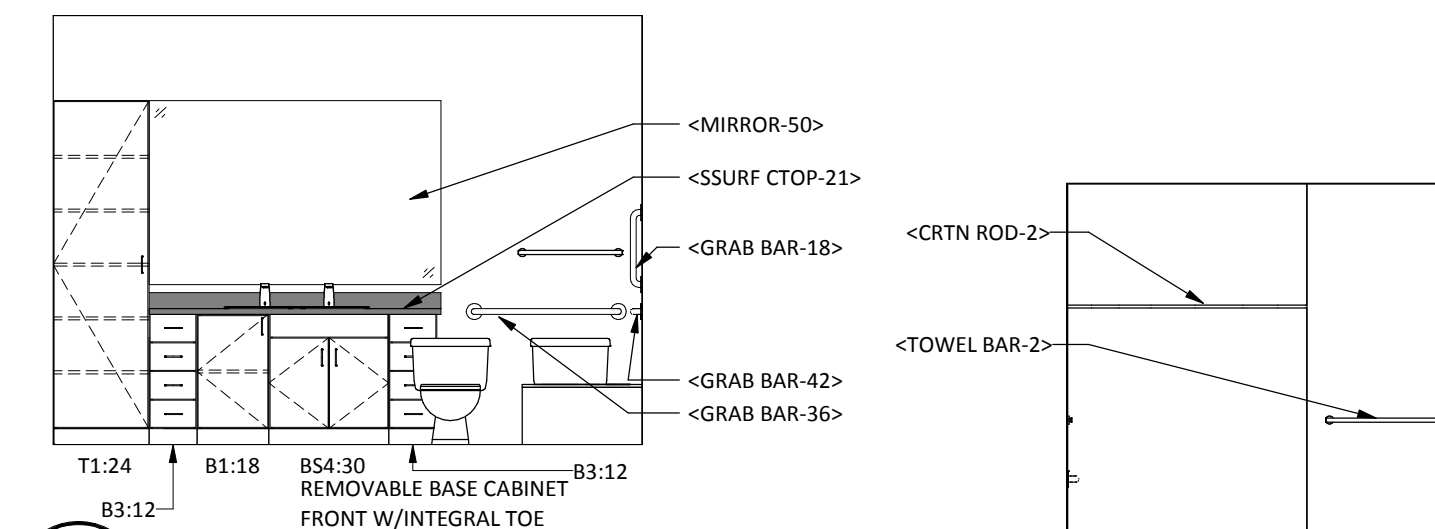
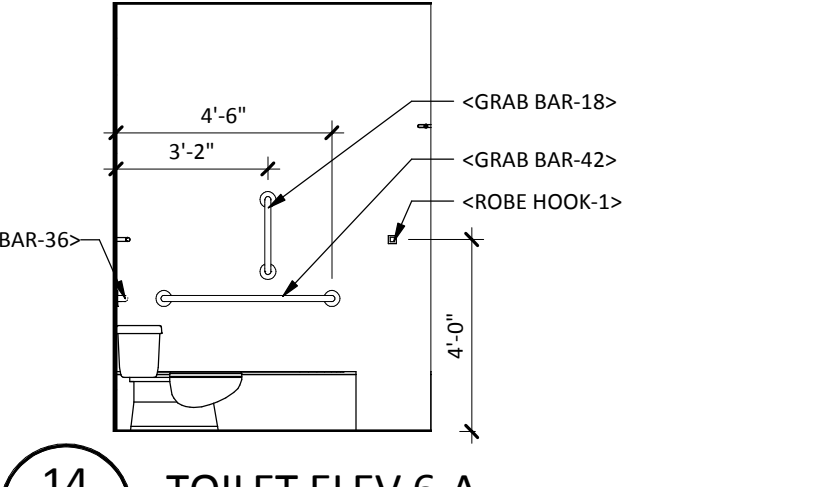
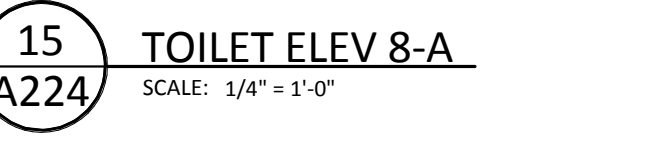
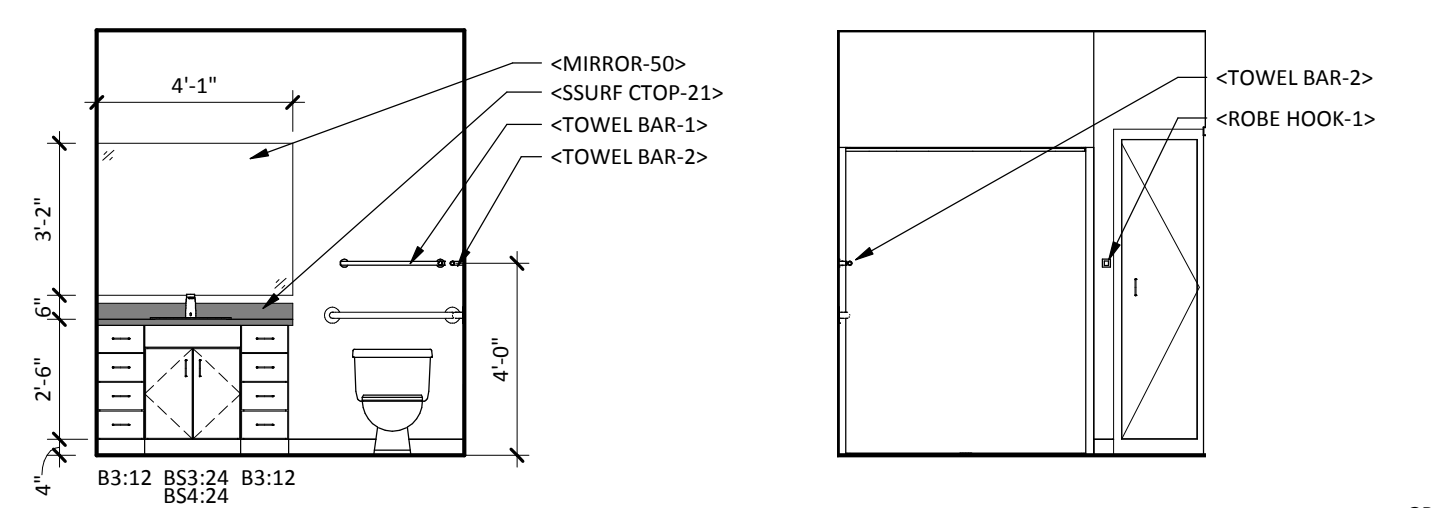
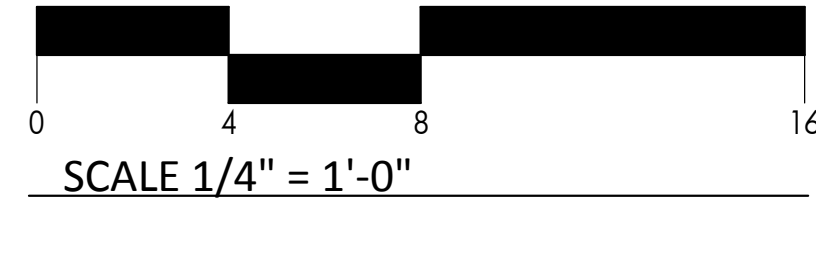
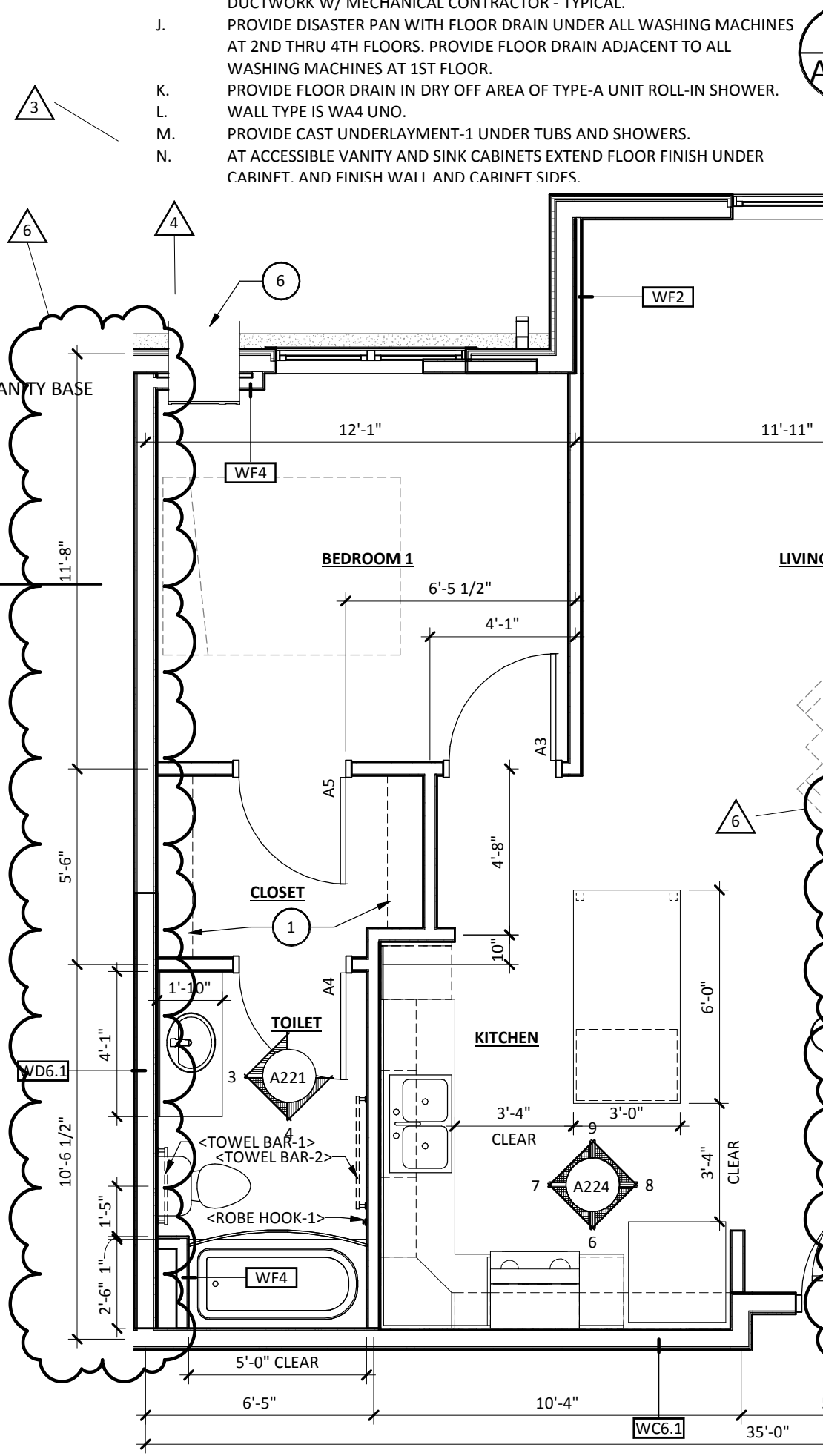
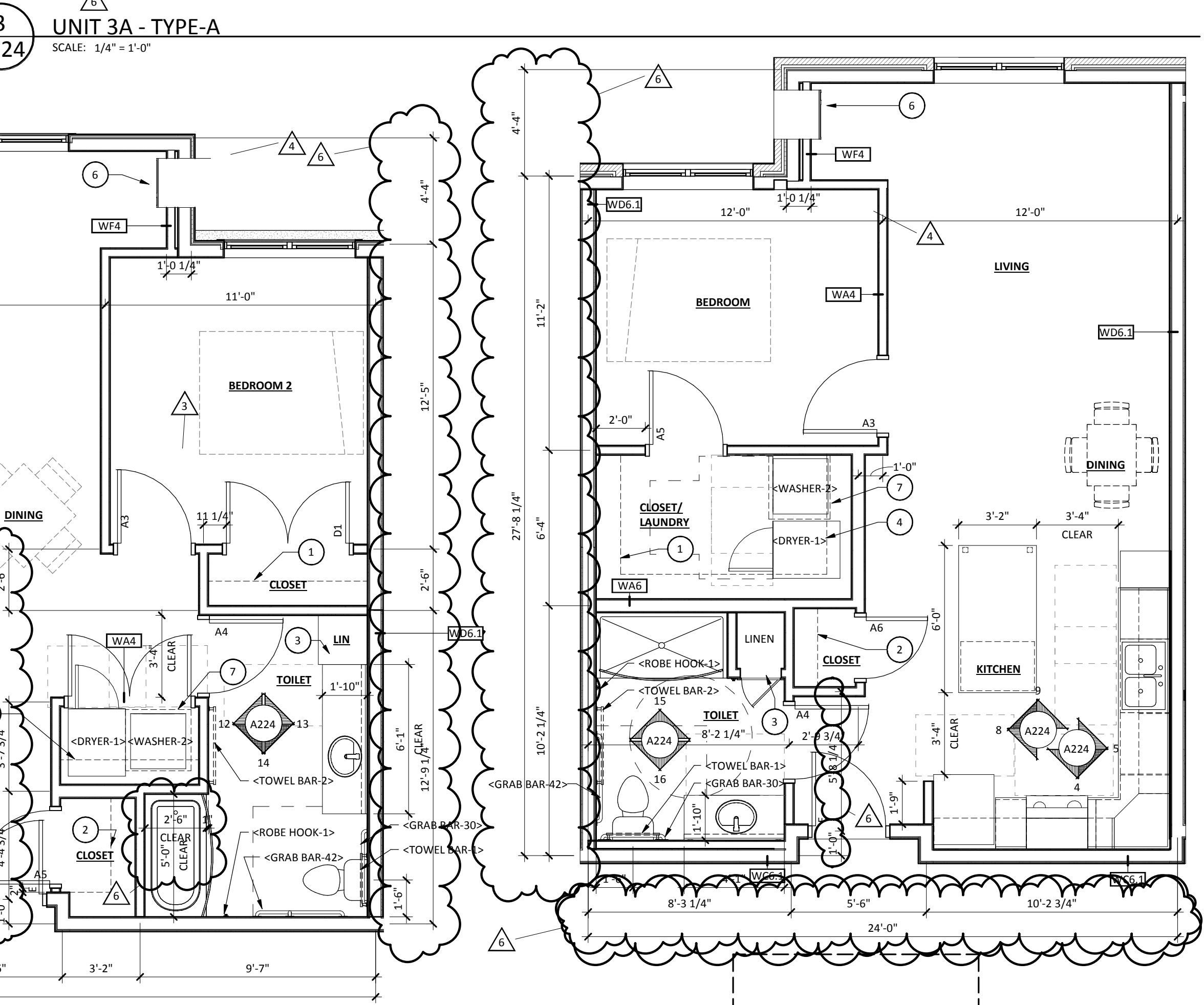
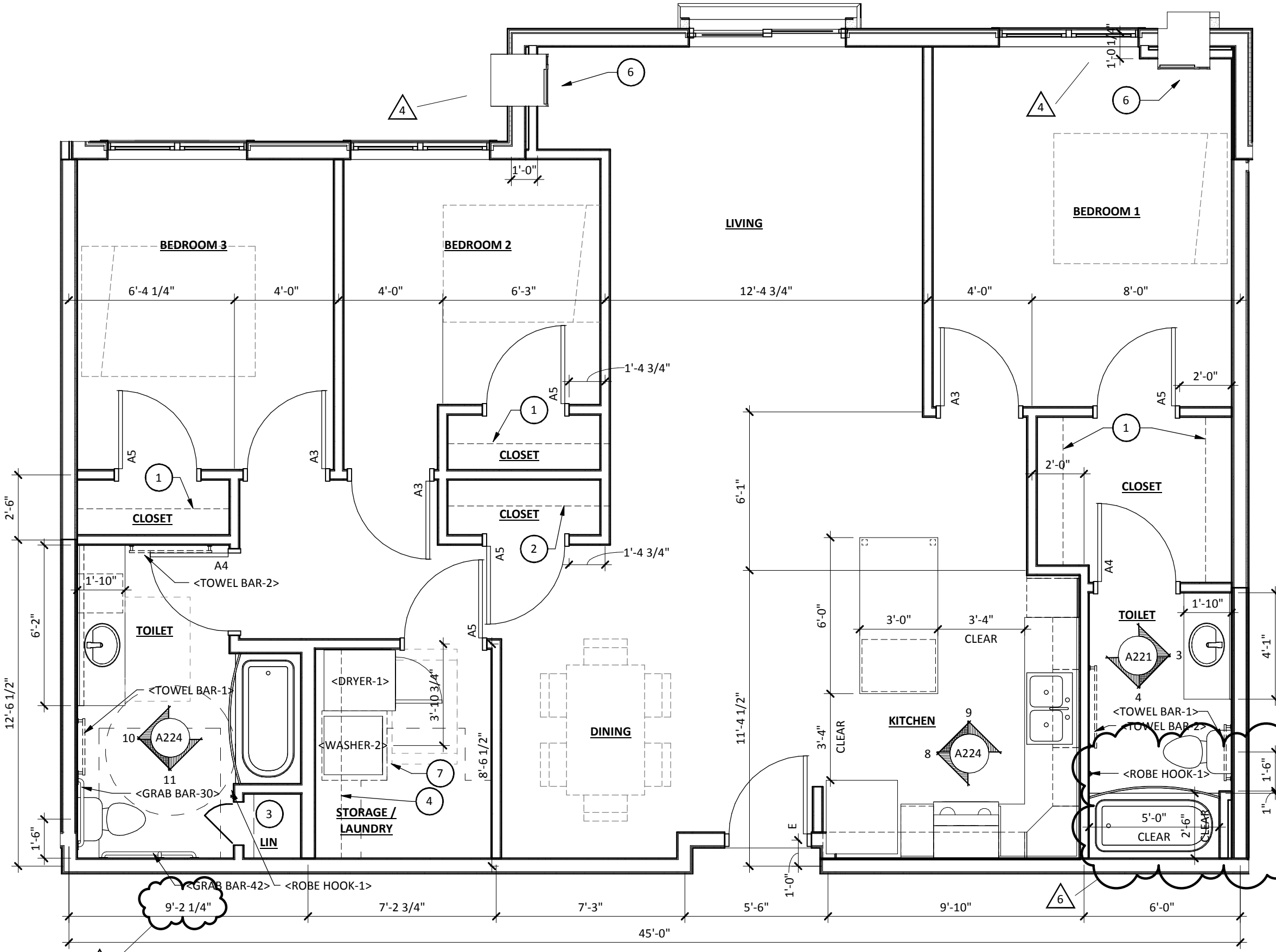
I. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.

J. PROVIDE DISASTER PAN WITH FLOOR DRAIN UNDER ALL WASHING MACHINES AT 2ND THRU 4TH FLOORS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES AT 1ST FLOOR.

K. PROVIDE FLOOR DRAIN IN DRY OFF AREA OF TYPE-A UNIT ROLL-IN SHOWER. WALL TYPE IS WA4 UNO.

L. PROVIDE CAST UNDERLAYMENT-1 UNDER TUBS AND SHOWERS.

M. AT ACCESSIBLE VANITY AND SINK CABINETS EXTEND FLOOR FINISH UNDER CABINET. AND FINISH WALL AND CABINET SIDES.

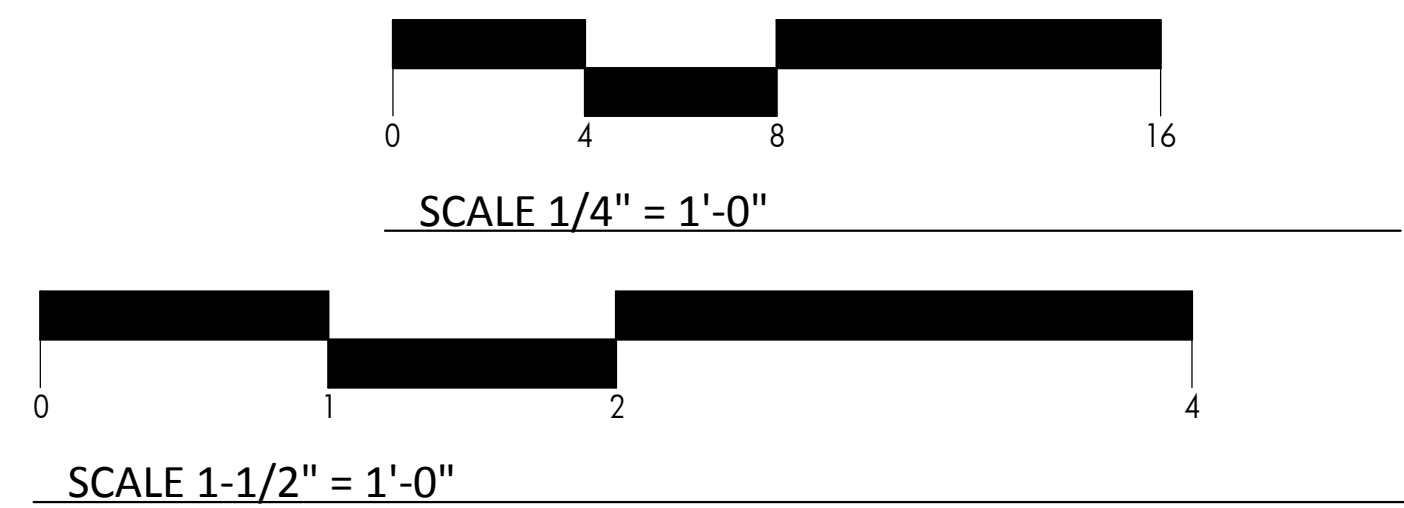
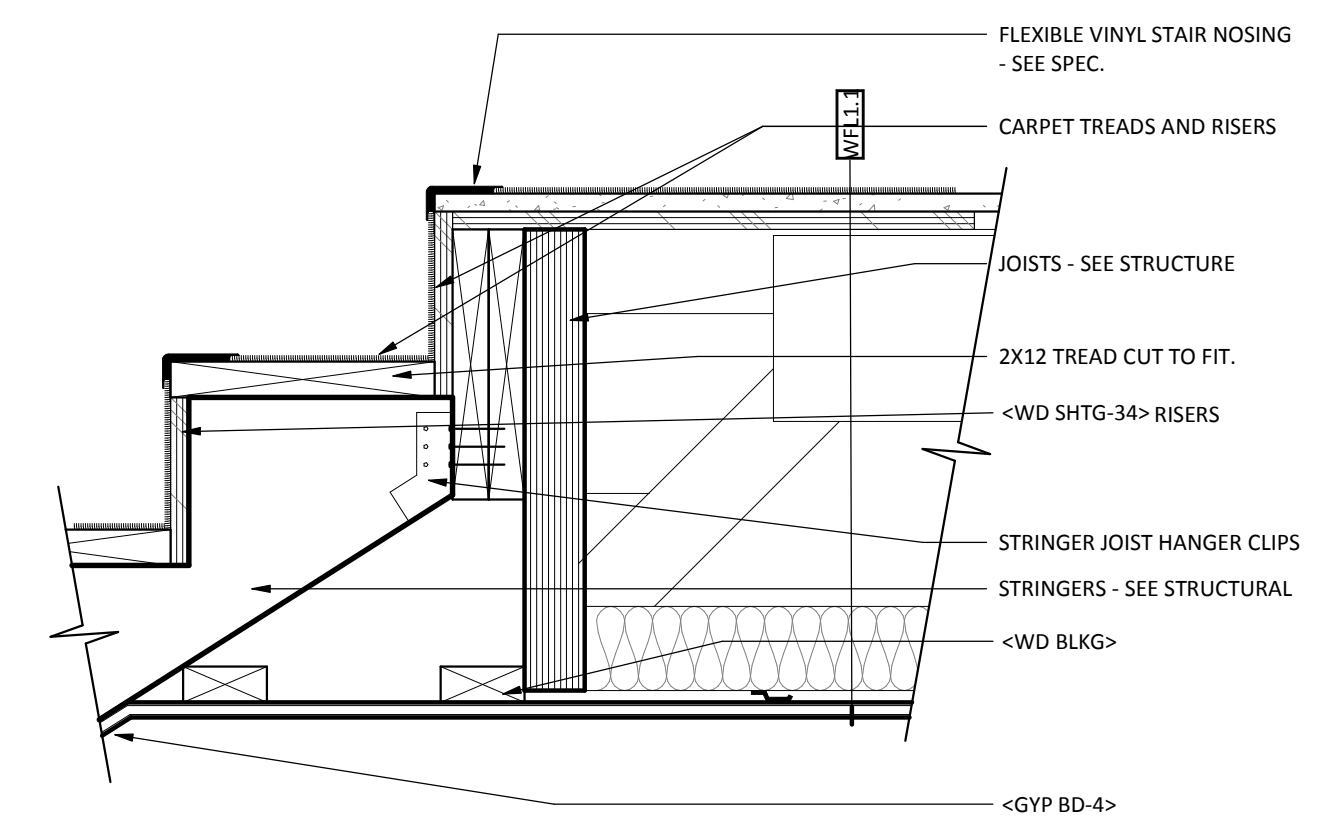
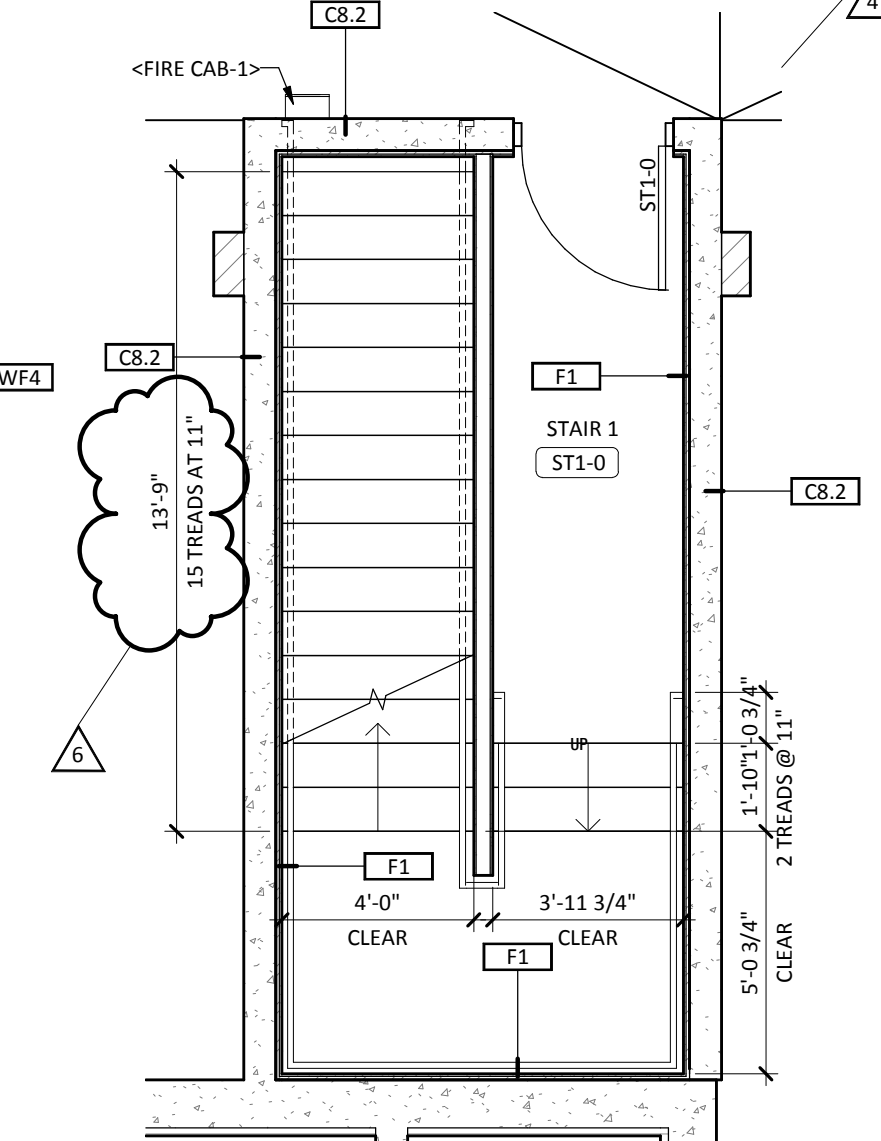
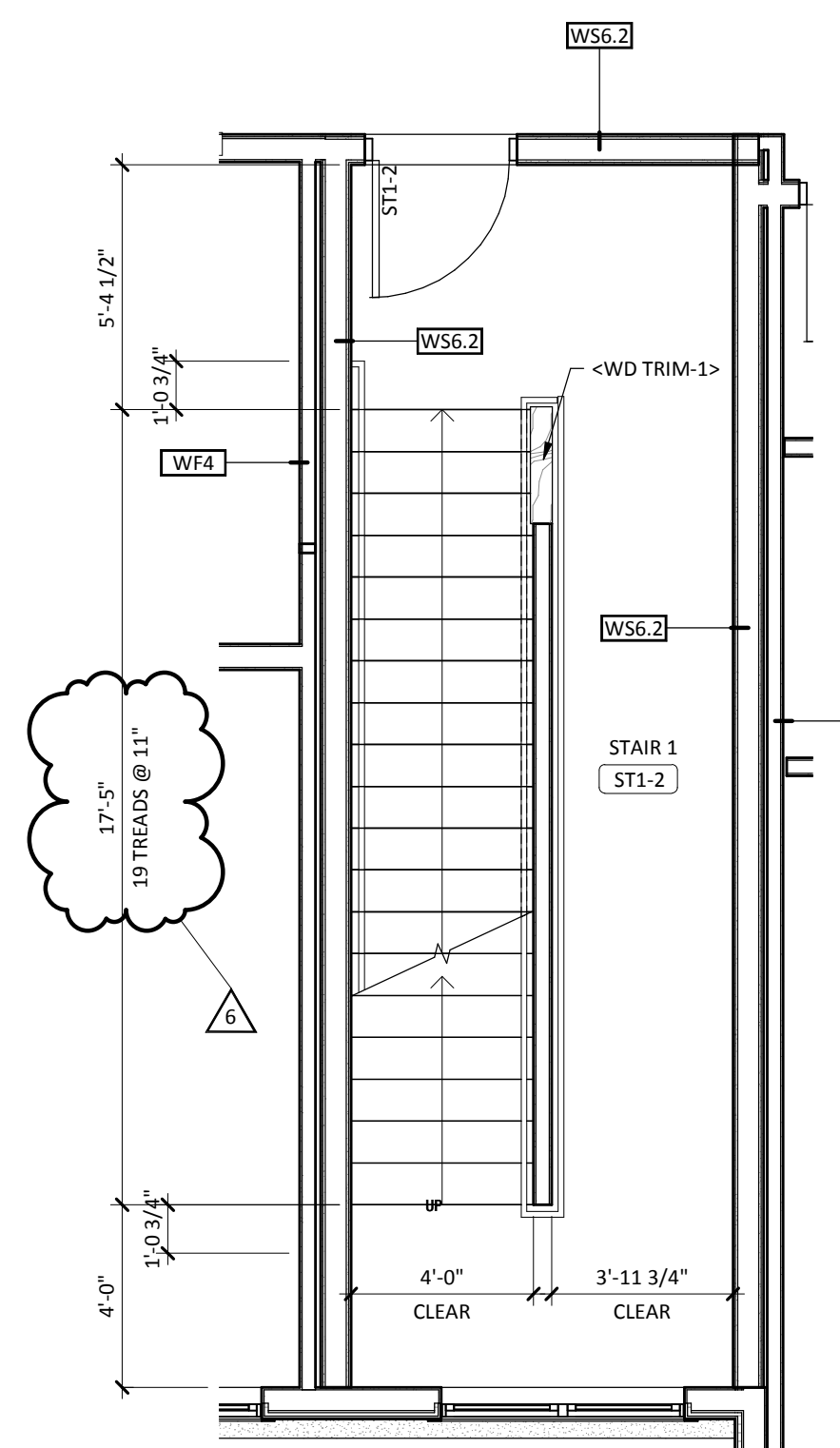
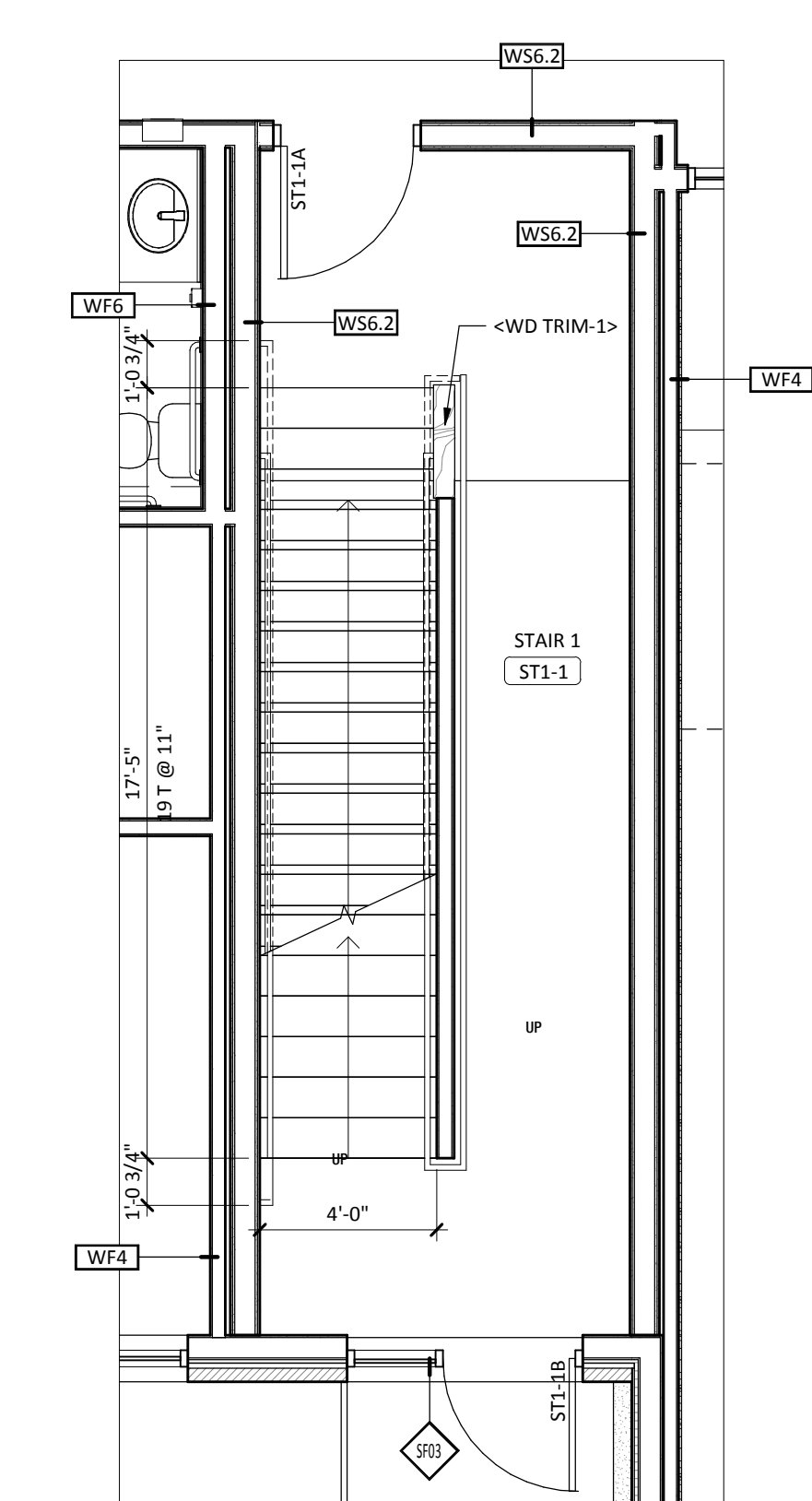
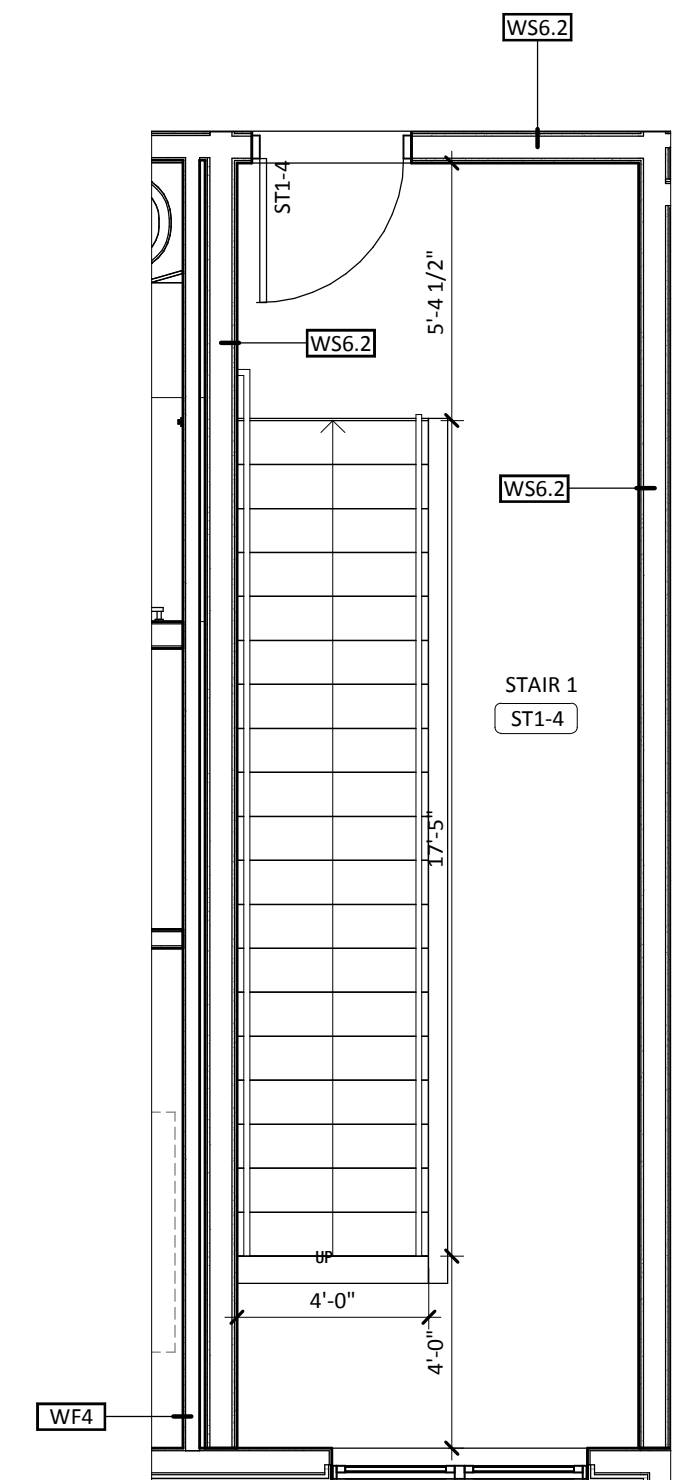
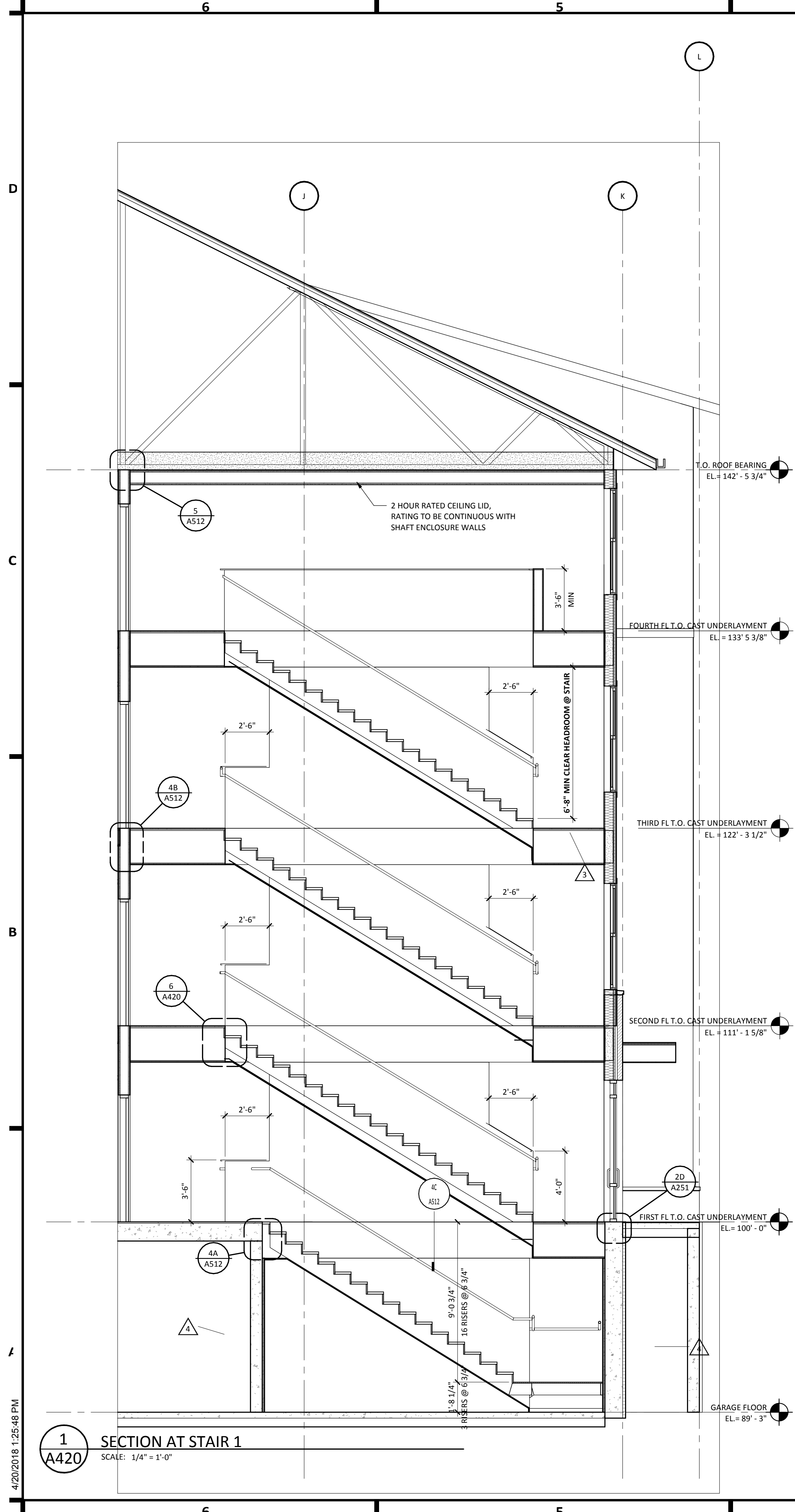


SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET
GYP BD-4	09 2116 - 5/8" FIRE RATED TYPE 'C' GYPSUM BOARD
WD BLKG	06 1000 - EXPOSED OR CONCEALED WOOD BLOCKING
WD SHTG-34	06 1000 - 3/4" PLYWOOD, GRADE C-C
WD TRIM-1	06 2000 - WOOD TRIM



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018



4/20/2018 1:25:48 PM

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

PROJECT
16098

SHEET
A420
 VERTICAL
 CIRCULATION - STAIR 1

SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET



322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018

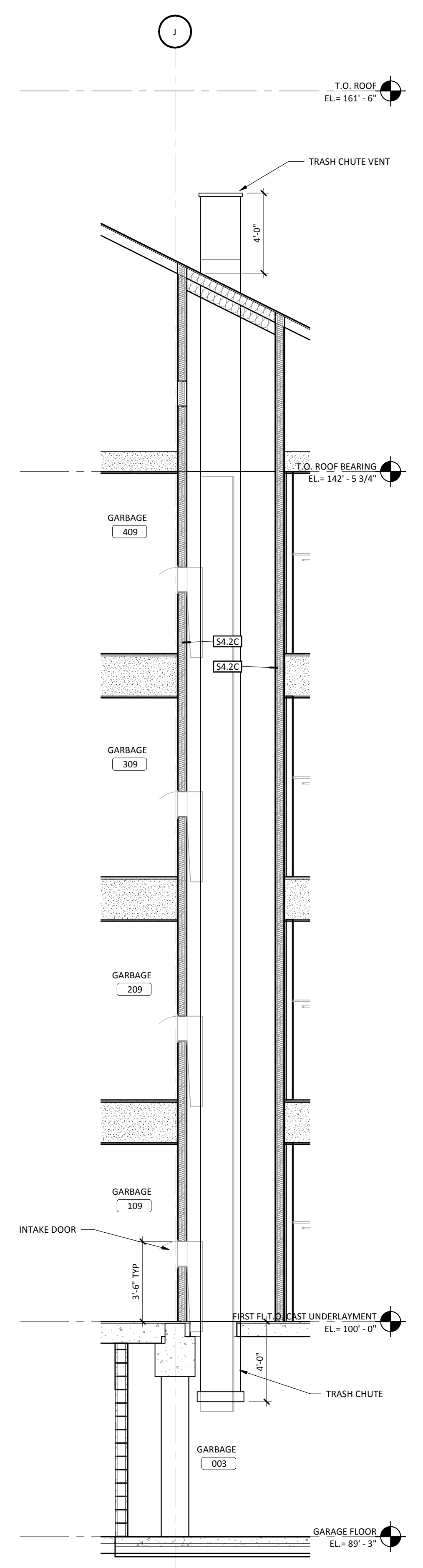
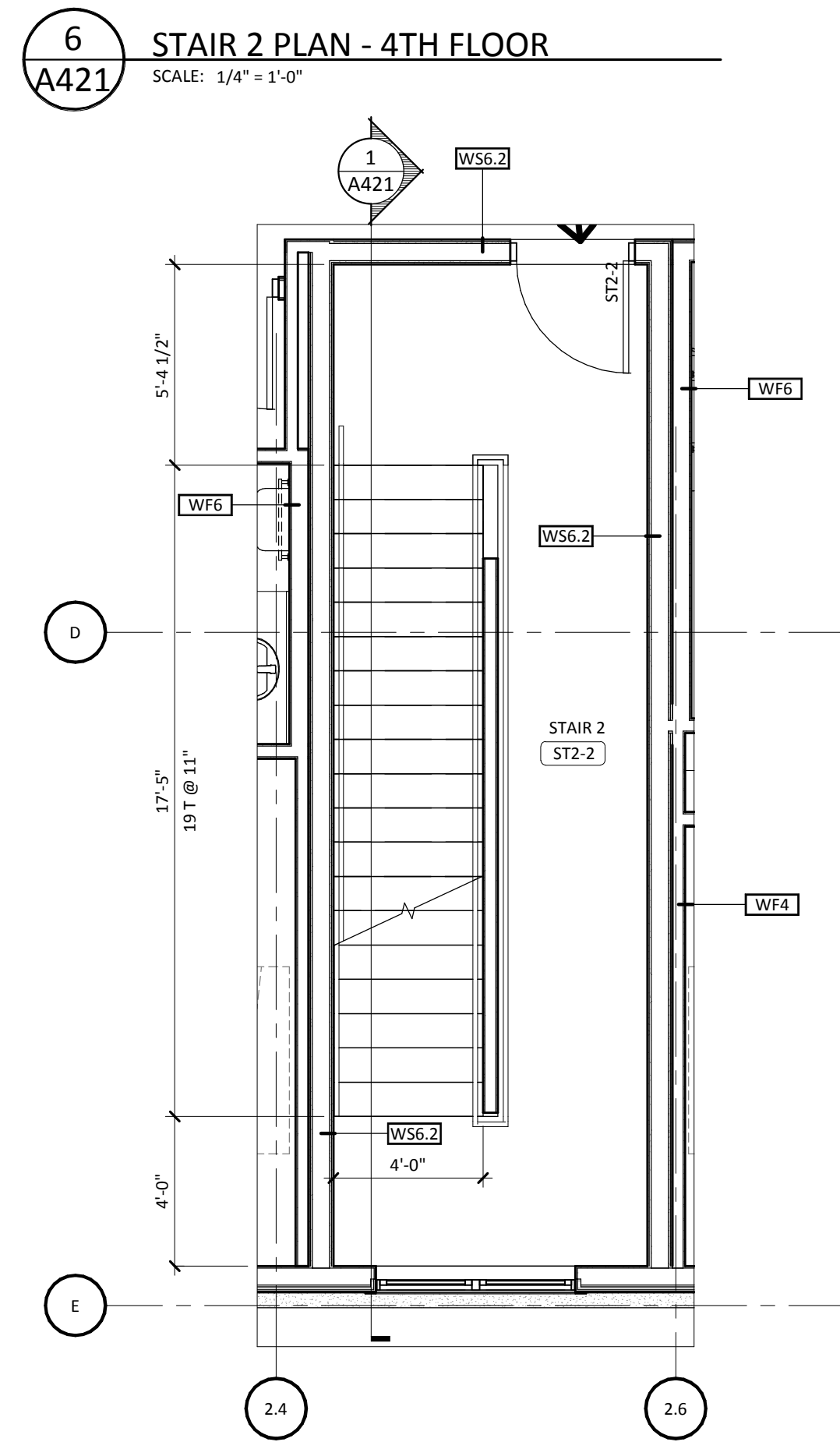
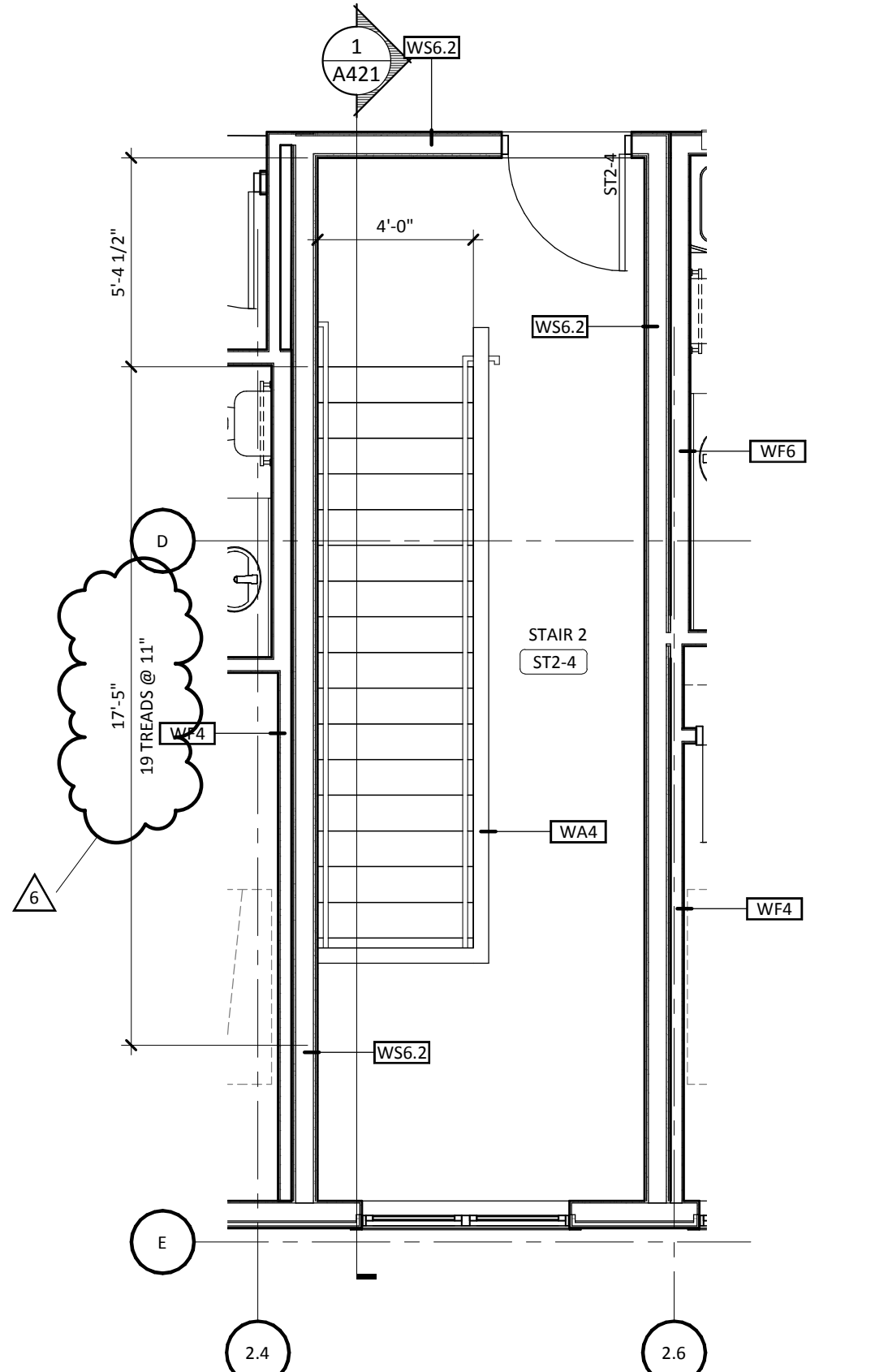
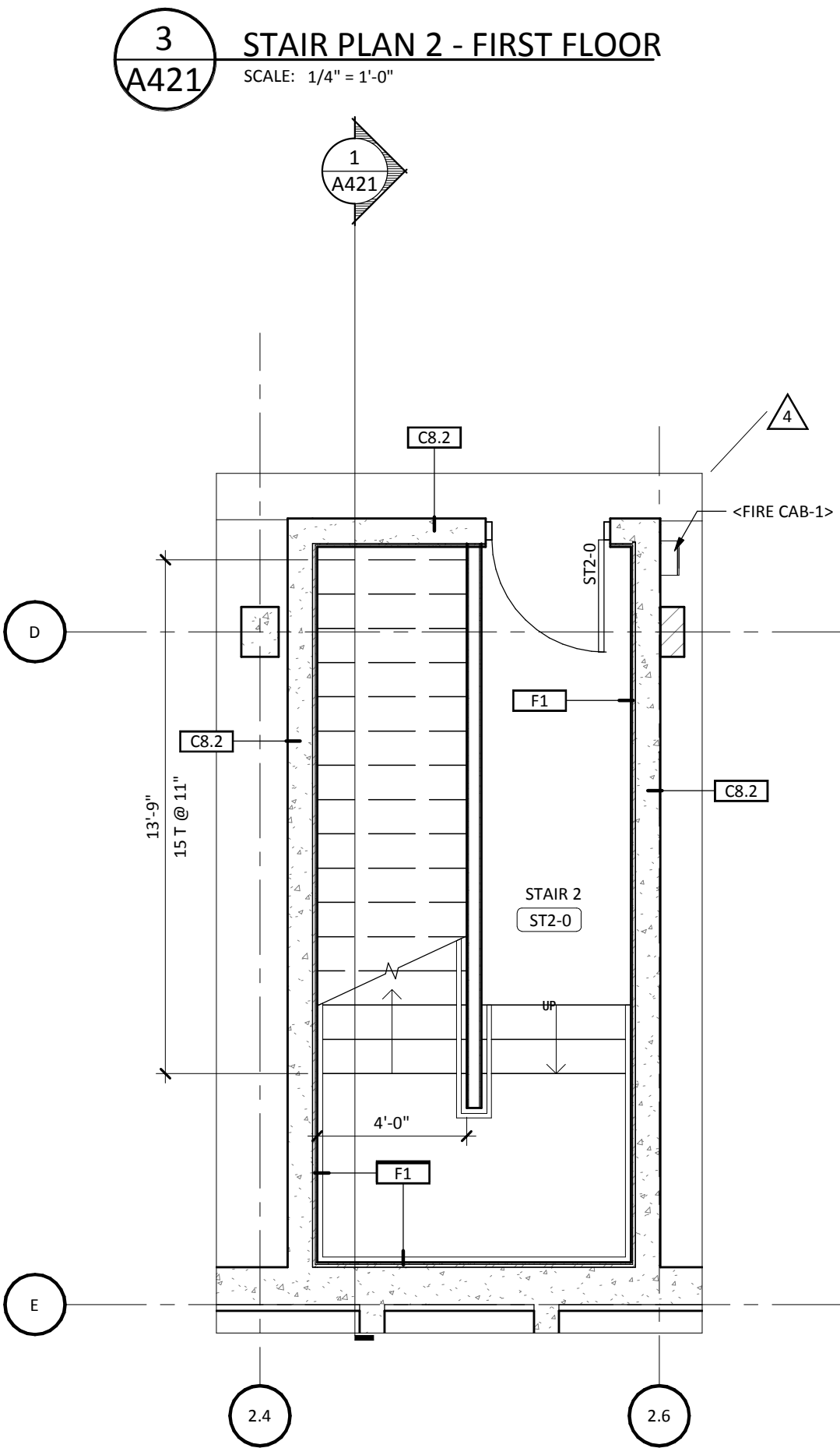
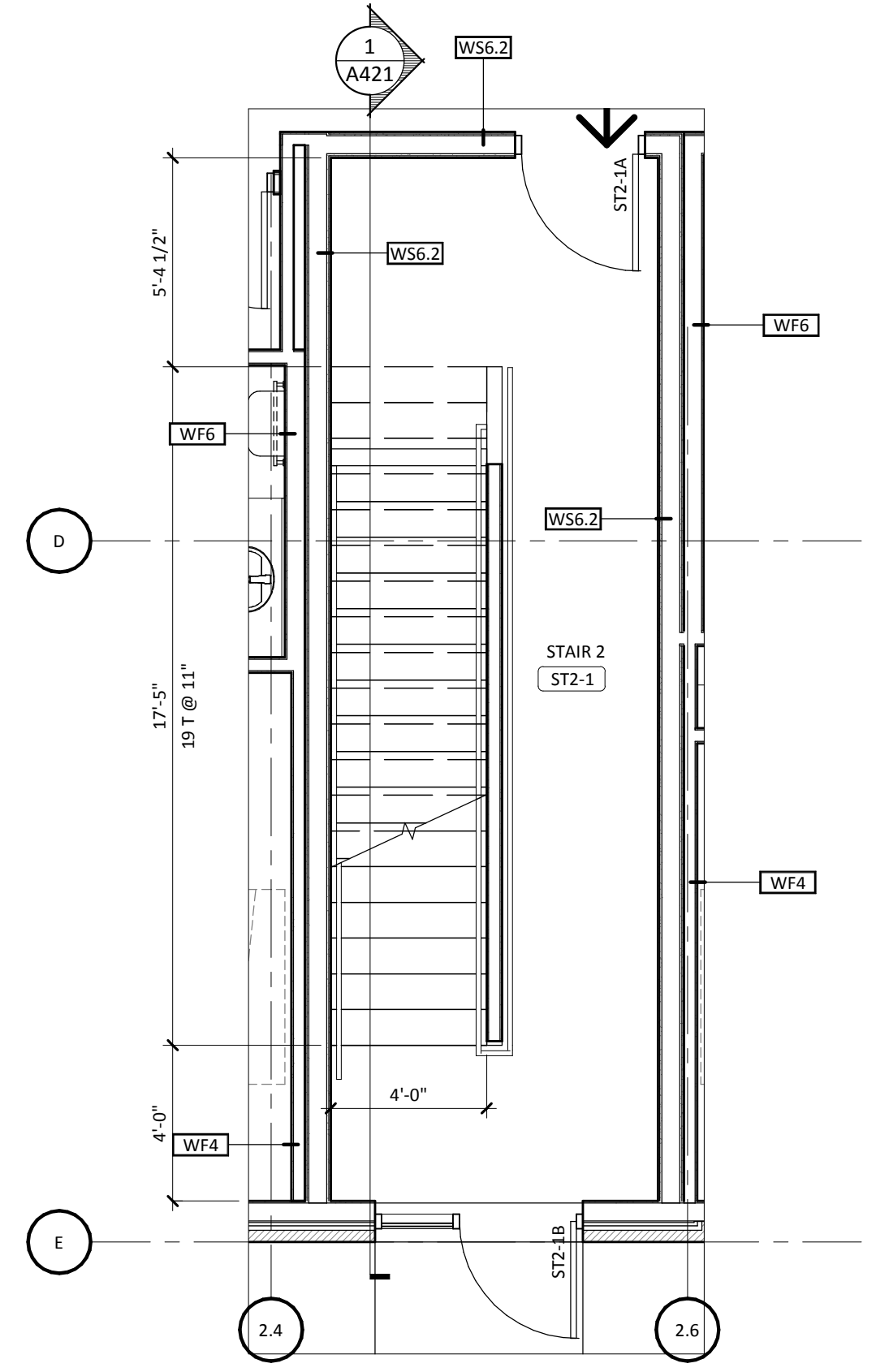
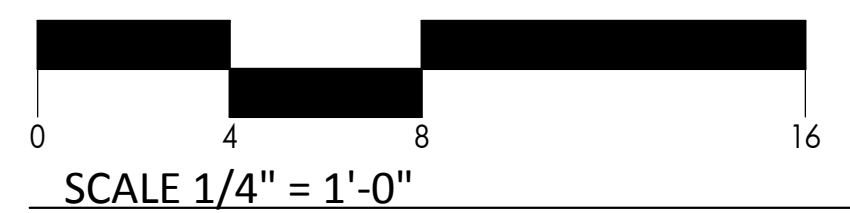
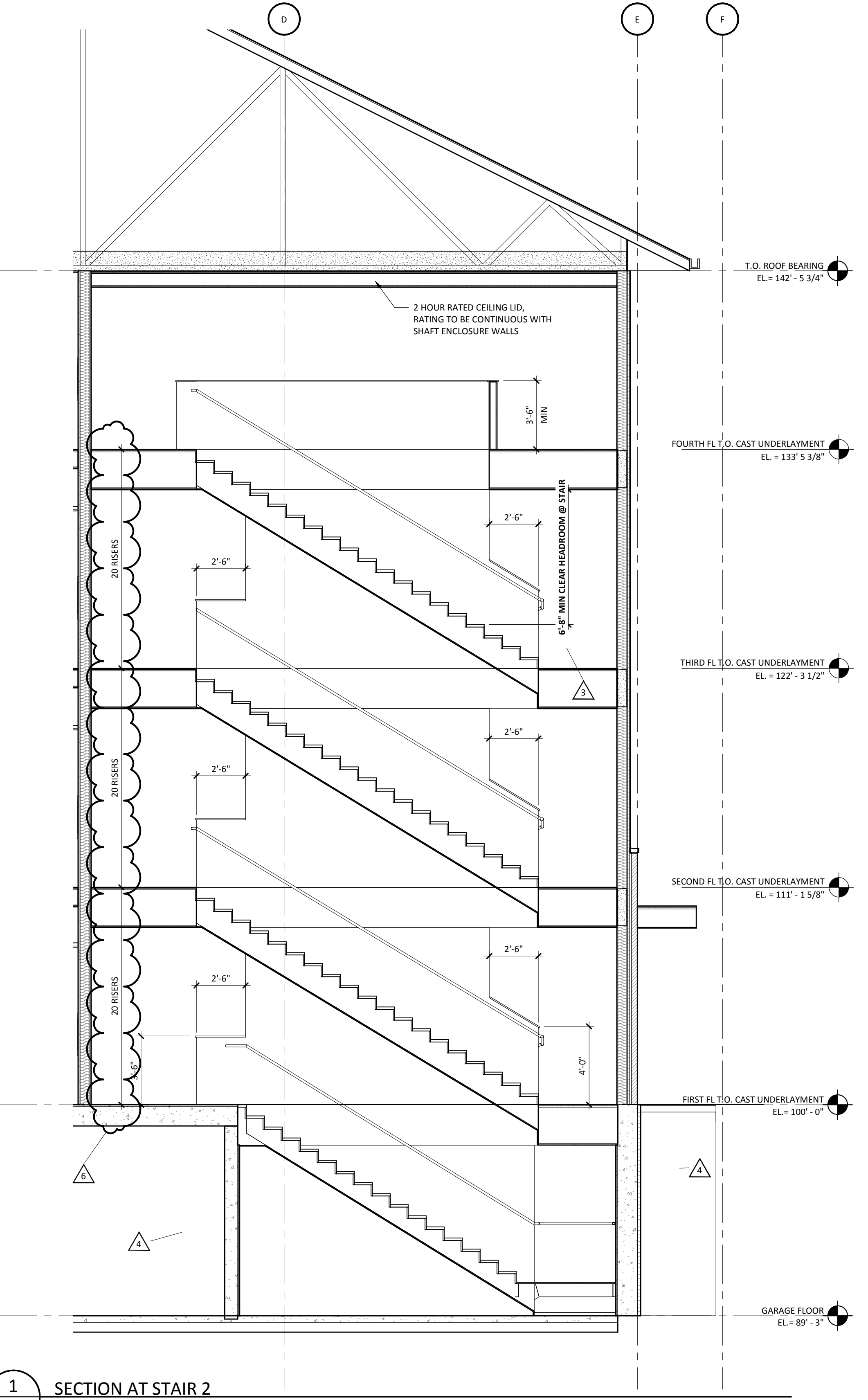
JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

DATE
12/04/2017

PHASE
100% CDs

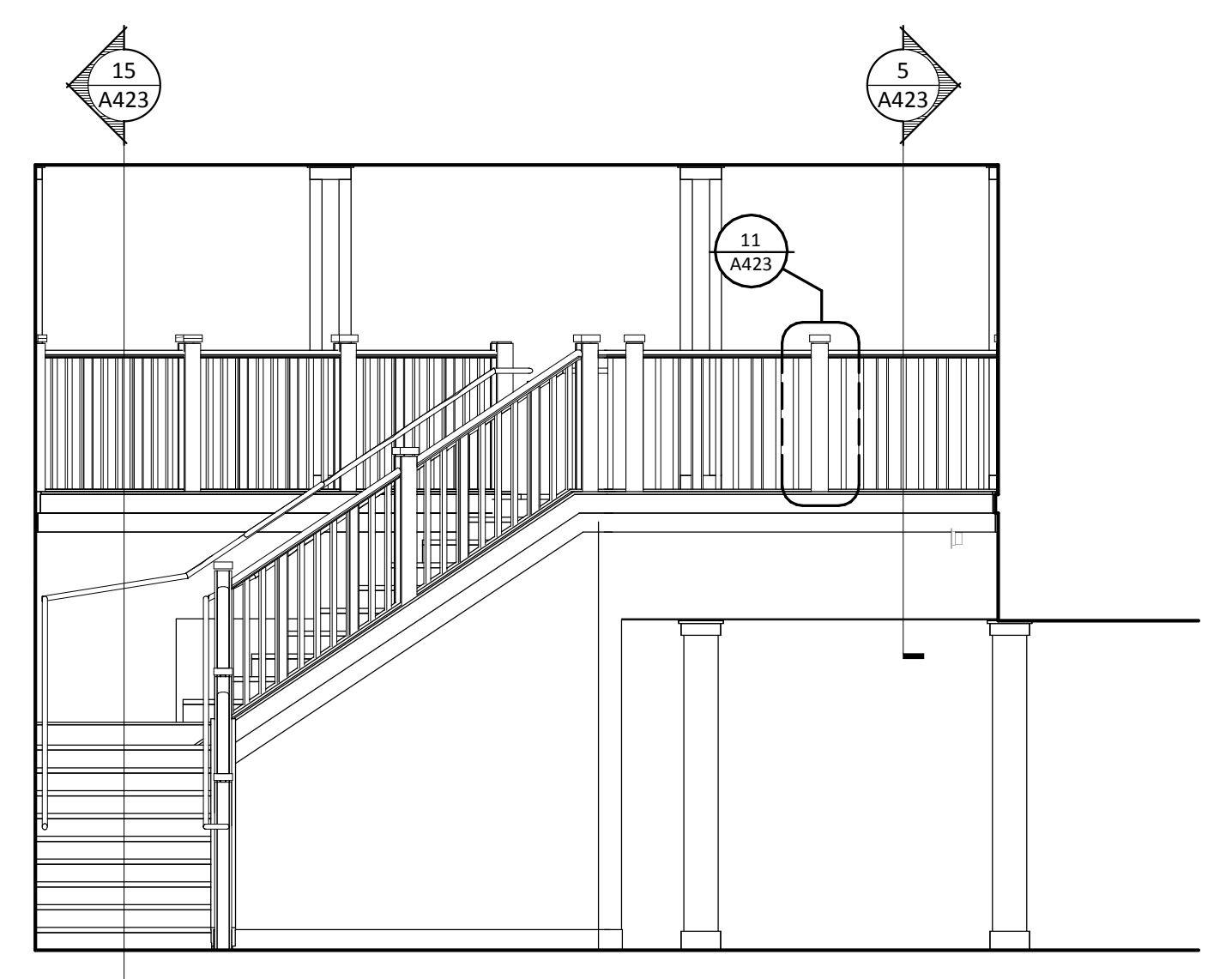
PROJECT
16098

SHEET
A421
 VERTICAL
 CIRCULATION - STAIR 2

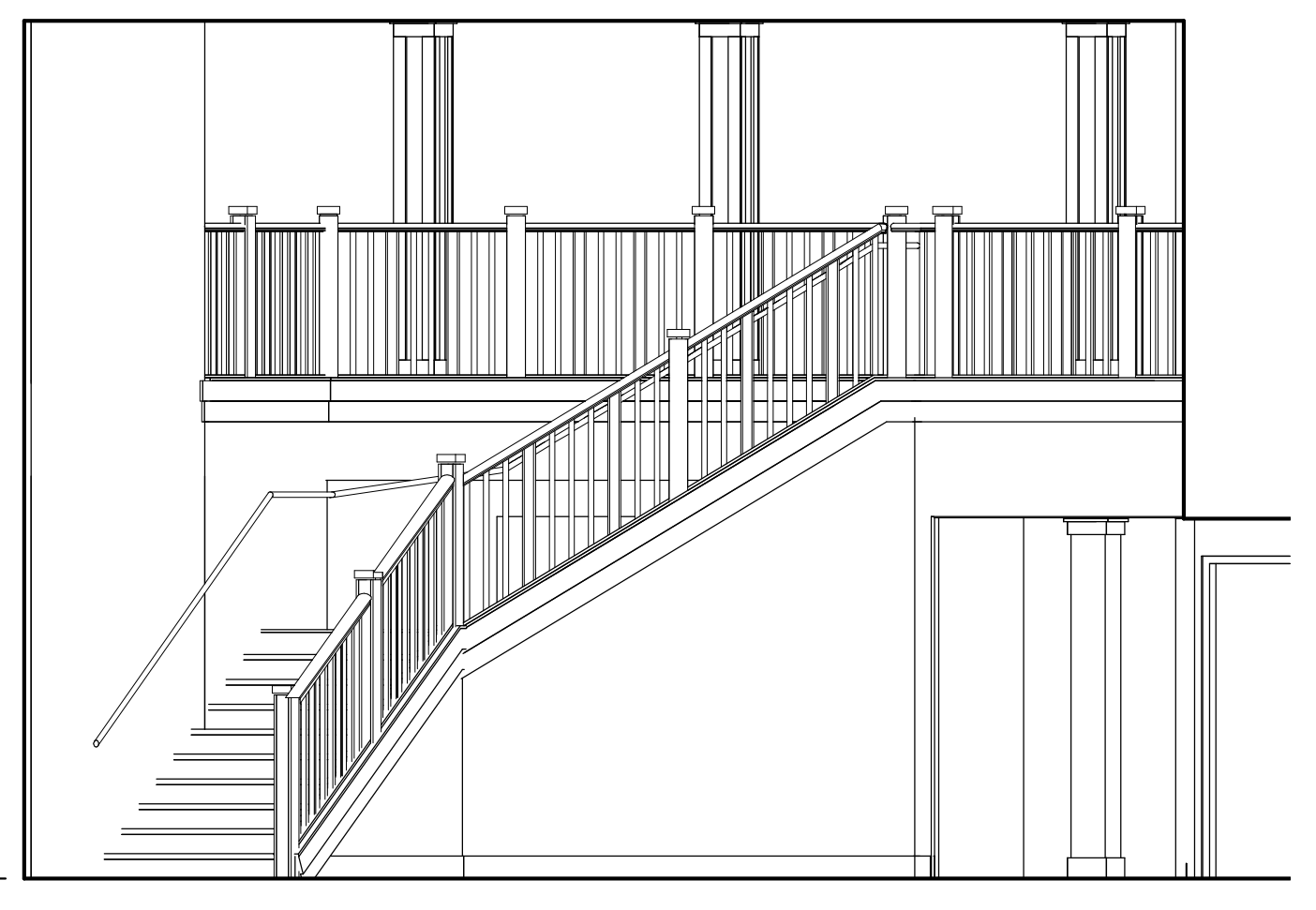


4/20/2018 1:25:52 PM

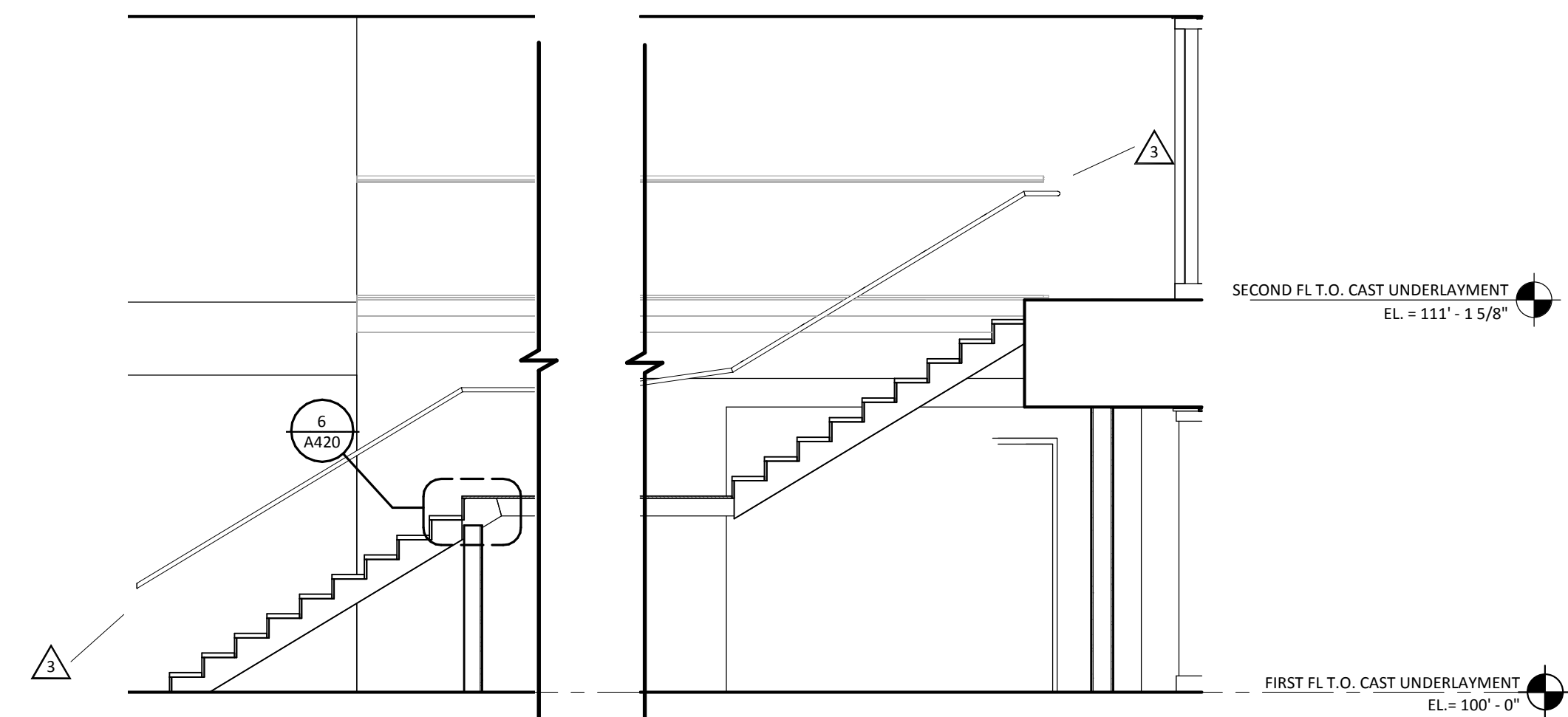
NO.	DESCRIPTION	DATE
3	POST TENDER ADDENDUM #3	02/28/2018
6	ASI #001	4/23/2018



12
A423 LOBBY STAIR ELEV A
SCALE: 1/4" = 1'-0"

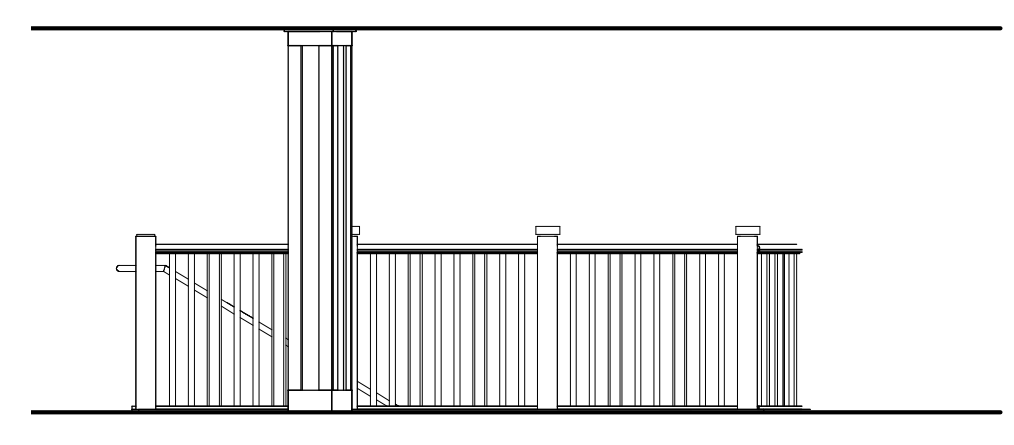


13
A423 LOBBY STAIR ELEV B
SCALE: 1/4" = 1'-0"

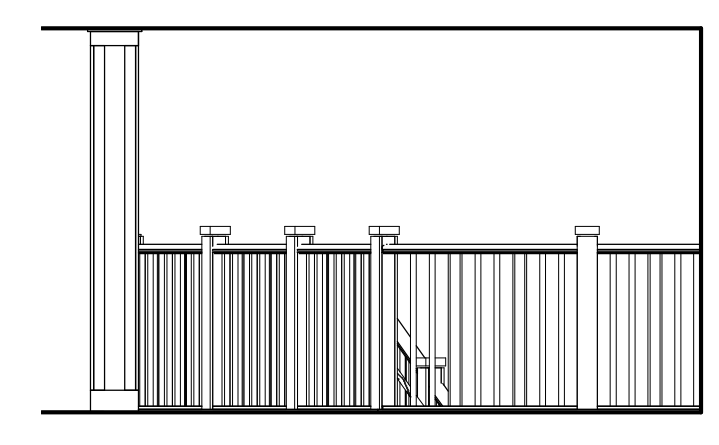


15
A423 LOBBY STAIR SECTION A
SCALE: 1/4" = 1'-0"

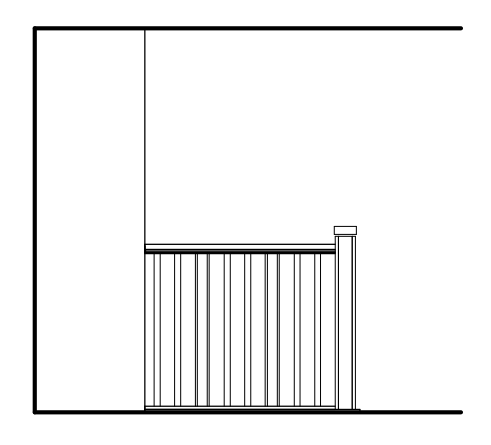
14
A423 LOBBY STAIR SECTION B
SCALE: 1/4" = 1'-0"



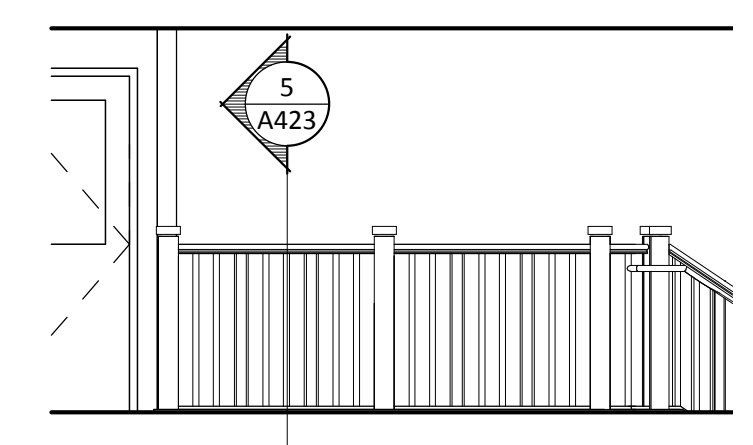
6
A423 LOBBY STAIR ELEV D
SCALE: 1/4" = 1'-0"



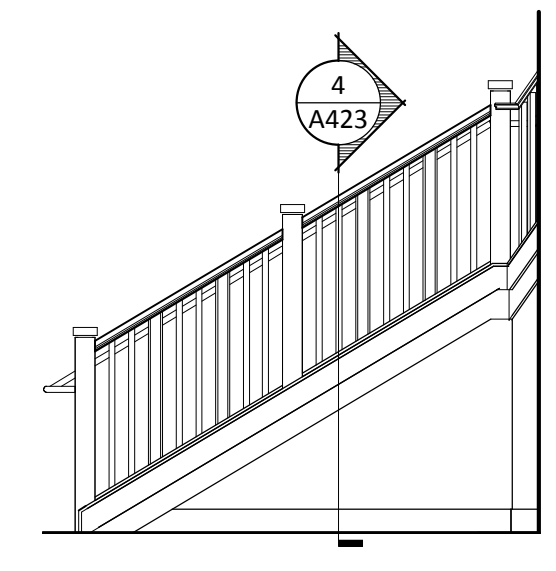
7
A423 LOBBY STAIR ELEV E
SCALE: 1/4" = 1'-0"



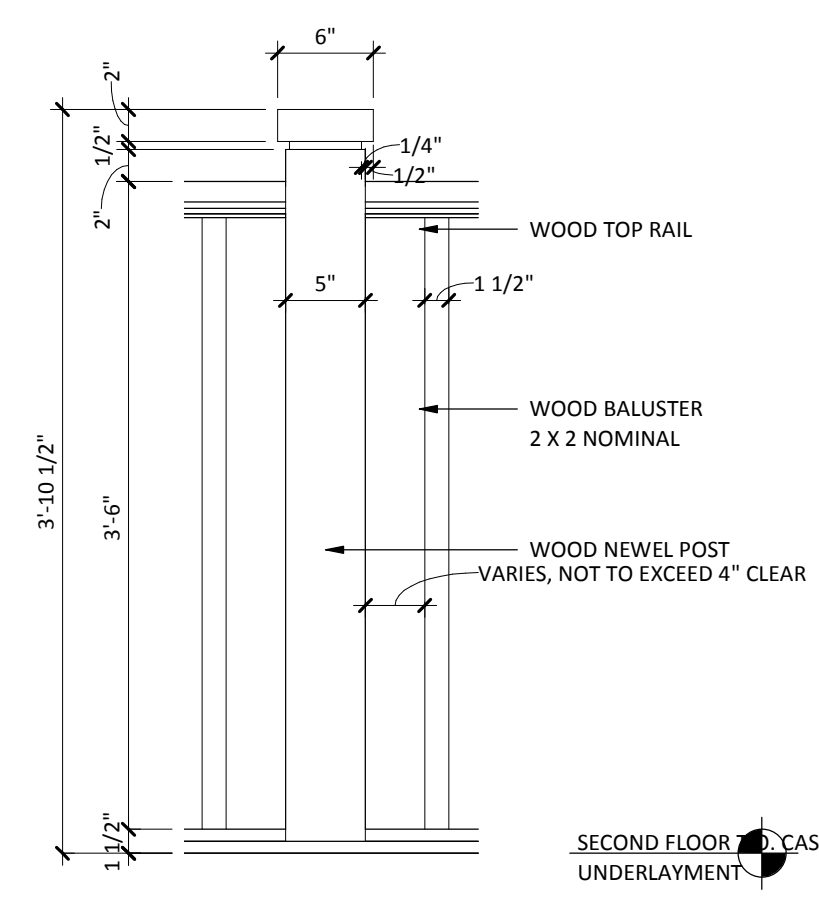
8
A423 LOBBY STAIR ELEV F
SCALE: 1/4" = 1'-0"



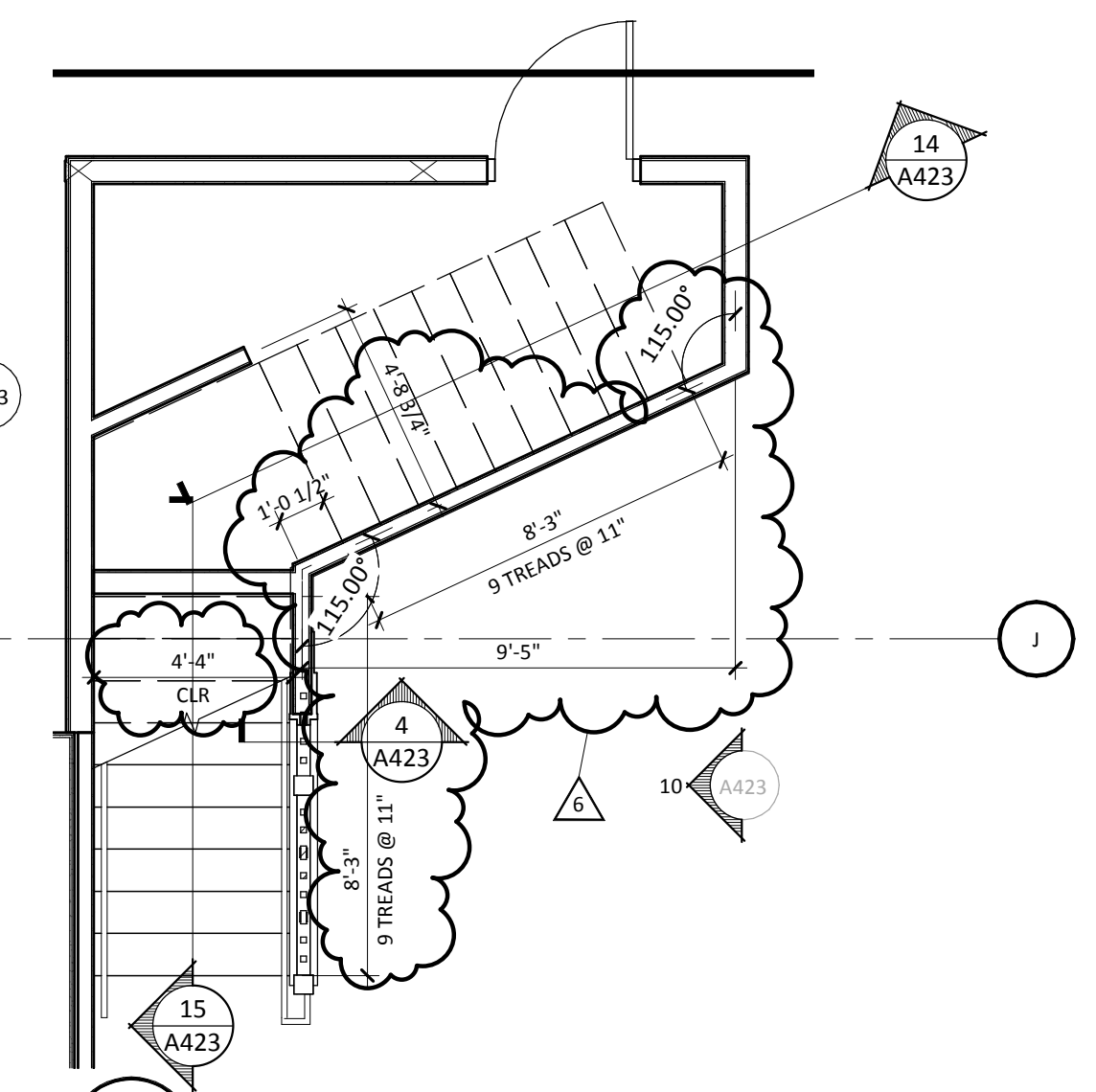
9
A423 LOBBY STAIR ELEV G
SCALE: 1/4" = 1'-0"



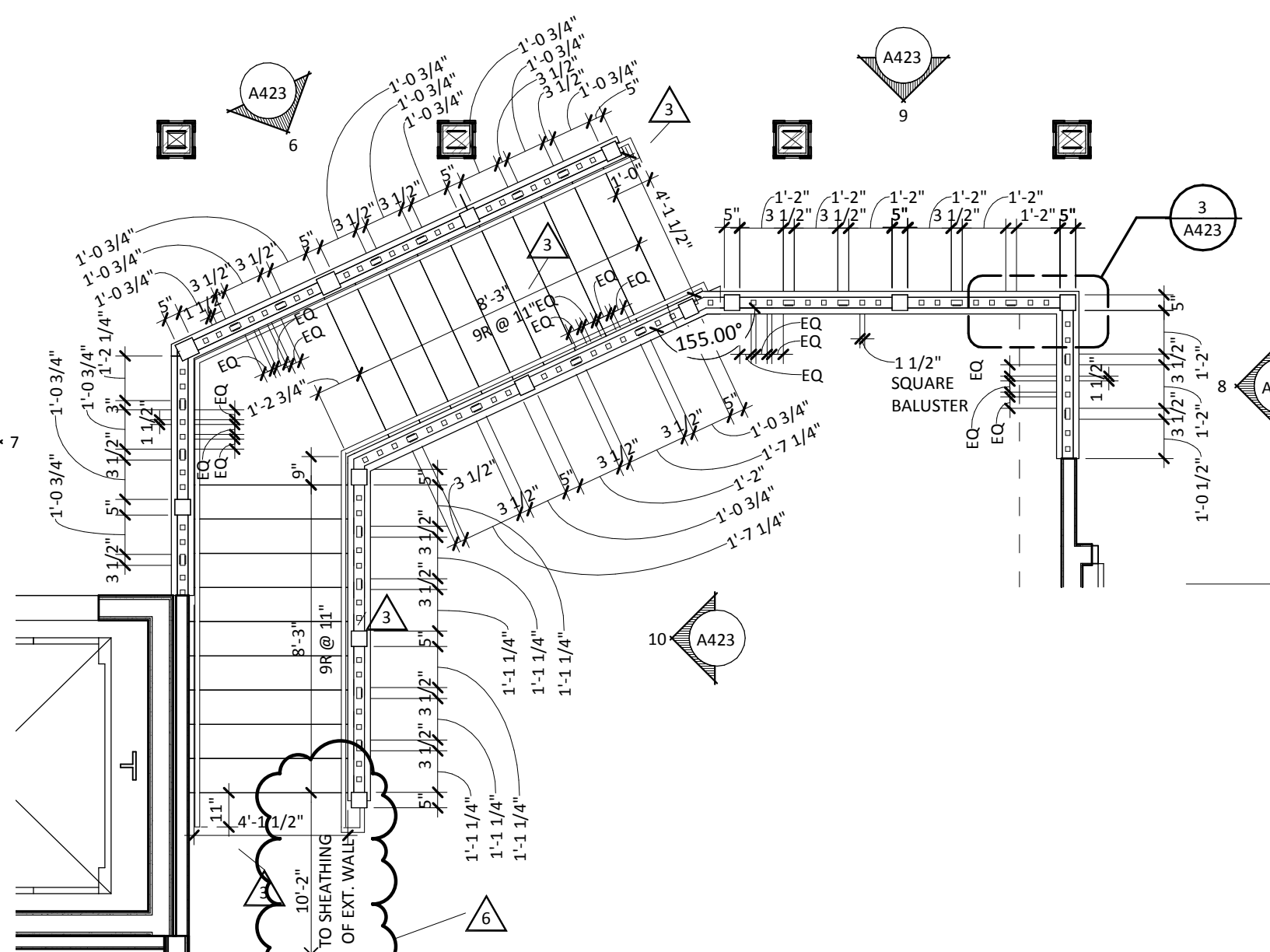
10
A423 LOBBY STAIR ELEV C
SCALE: 1/4" = 1'-0"



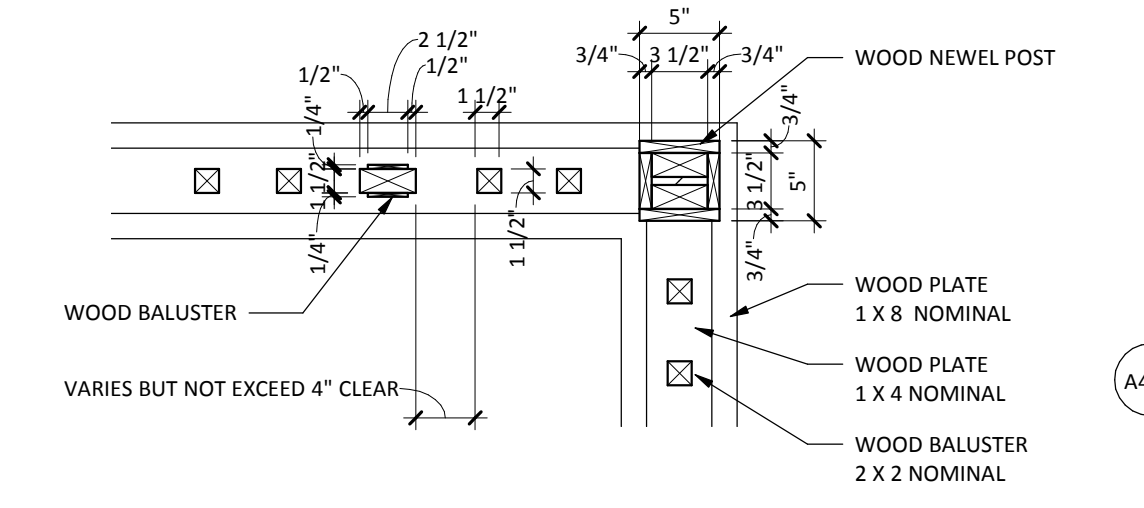
11
A423 NEWEL POST ELEV
SCALE: 1" = 1'-0"



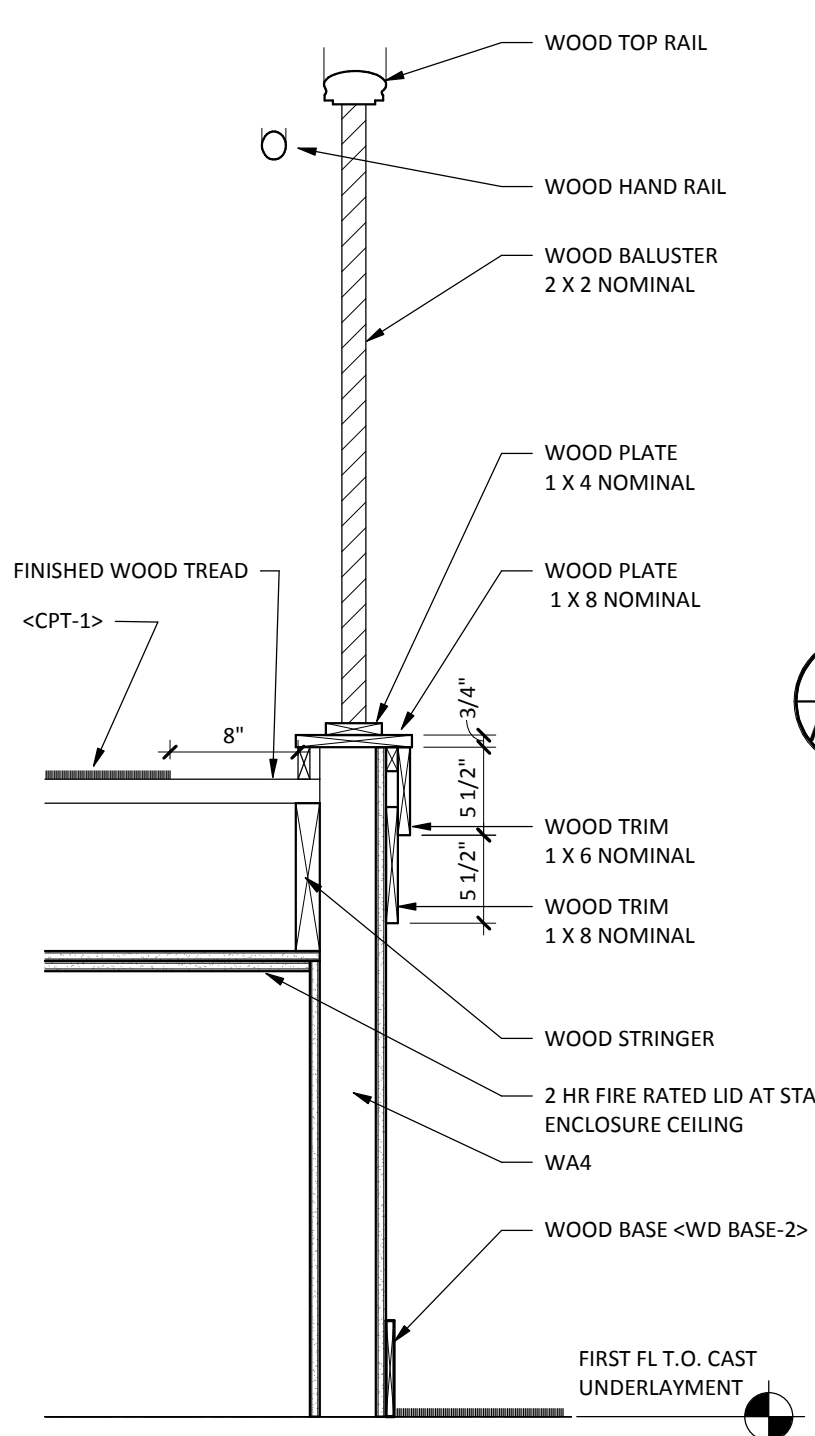
1
A423 LOBBY STAIR - FIRST FLOOR
SCALE: 1/4" = 1'-0"



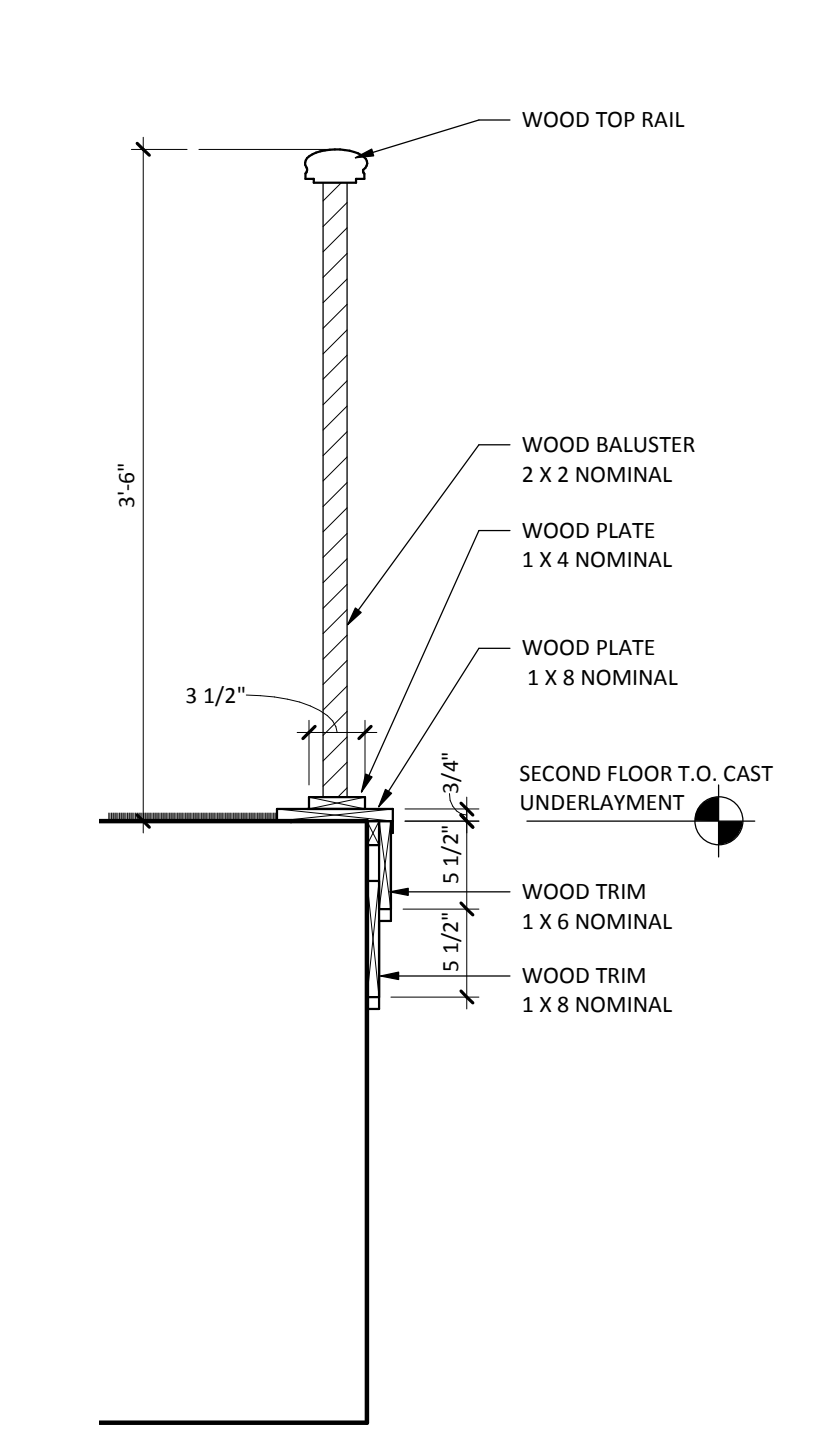
2
A423 LOBBY STAIR PLAN
SCALE: 1/4" = 1'-0"



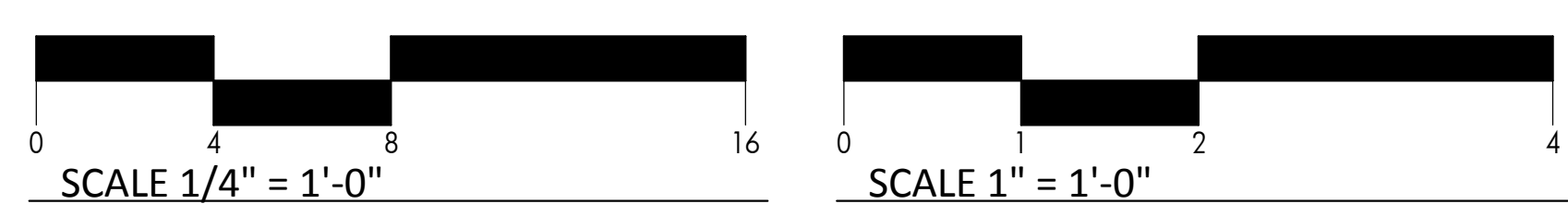
3
A423 LOBBY GUARDRAIL PLAN DETAIL
SCALE: 1" = 1'-0"



4
A423 LOBBY STAIR DETAIL
SCALE: 1" = 1'-0"



5
A423 LOBBY GUARDRAIL SECTION
SCALE: 1" = 1'-0"



6

5

4

3

2

1

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION



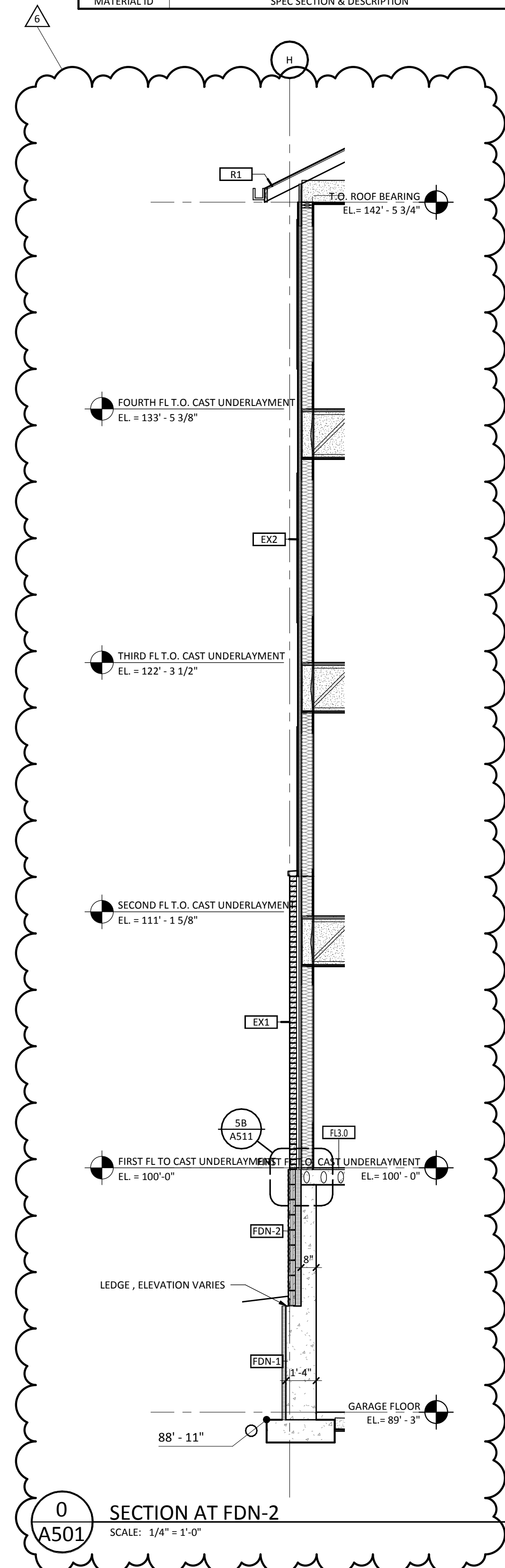
322 1st Ave N, Suite #600
 Minneapolis, MN 55401
 phone 612.746.4260
 facsimile 612.746.4754
 www.jlgarchitects.com
 copyright © 2016

REVISION SCHEDULE

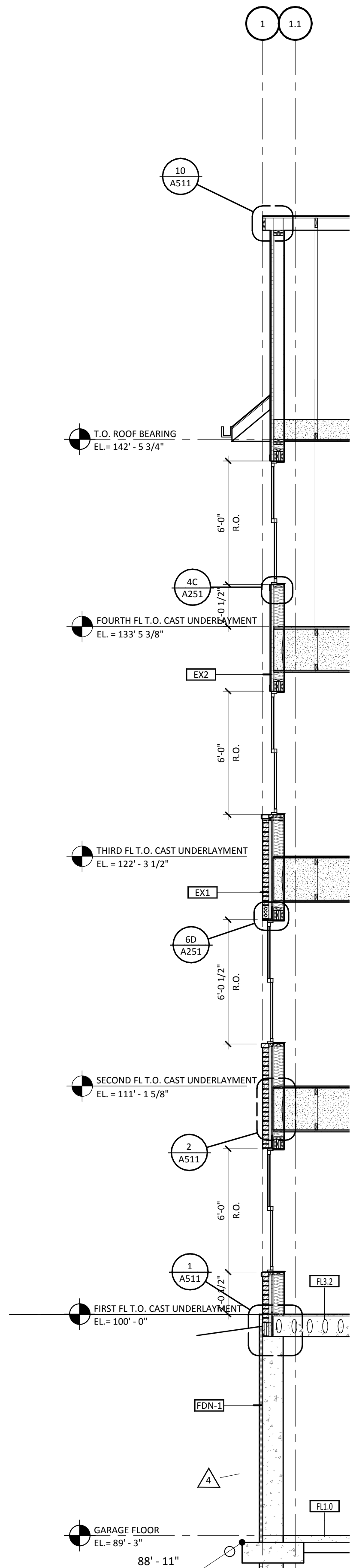
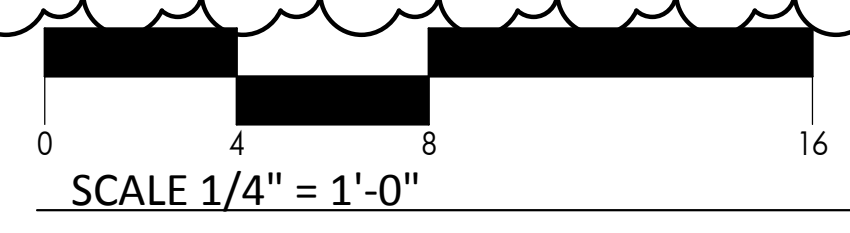
NO.	DESCRIPTION	DATE
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018

JLG ARCHITECTS
BOTTINEAU RIDGE II APARTMENTS
 MAPLE GROVE, MN

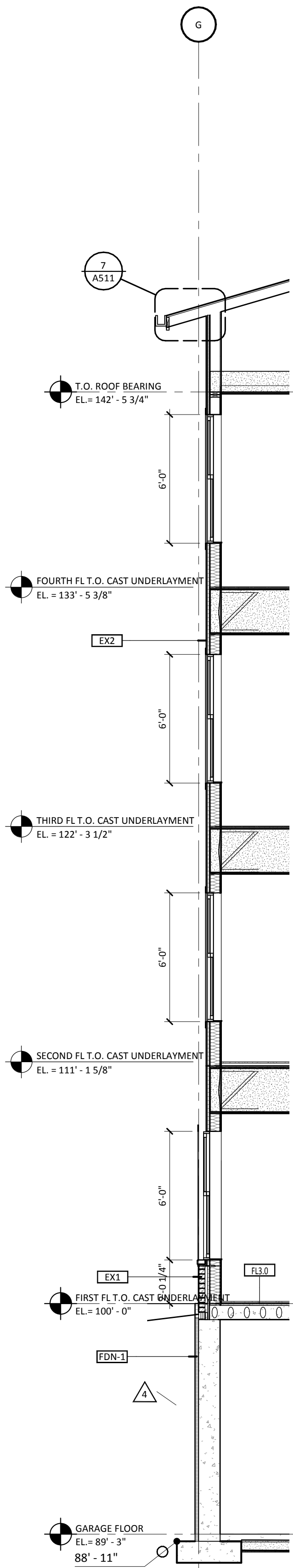
DATE	12/04/2017
PHASE	100% CDs
PROJECT	16098
SHEET	A501
EXTERIOR WALL SECTIONS	



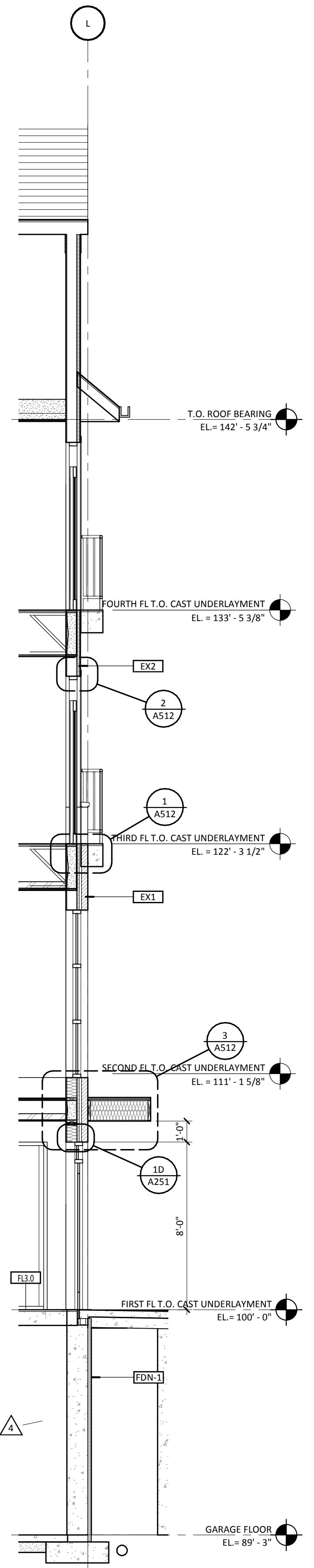
0 SECTION AT FDN-2
 SCALE: 1/4" = 1'-0"



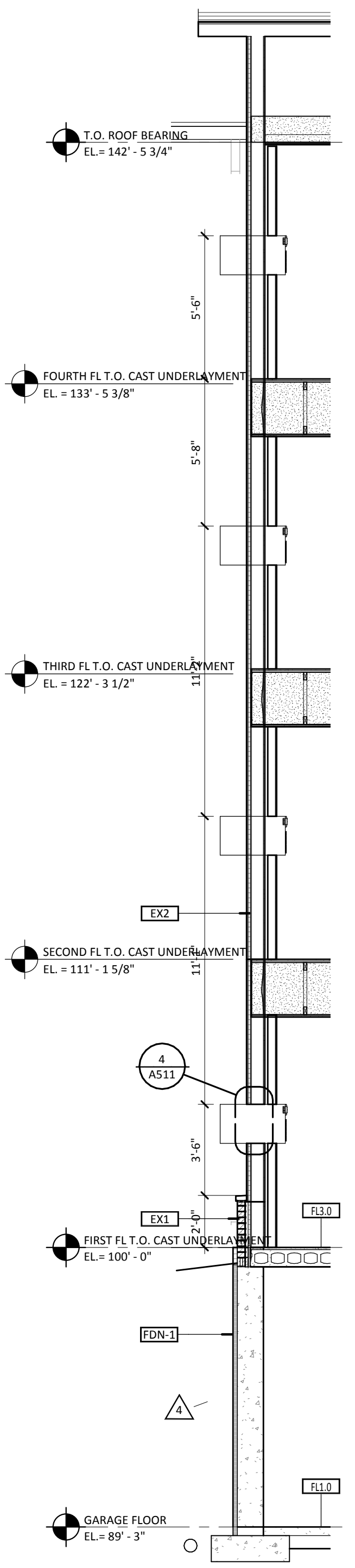
1 WALL SECTION AT GRID 1
 SCALE: 1/4" = 1'-0"



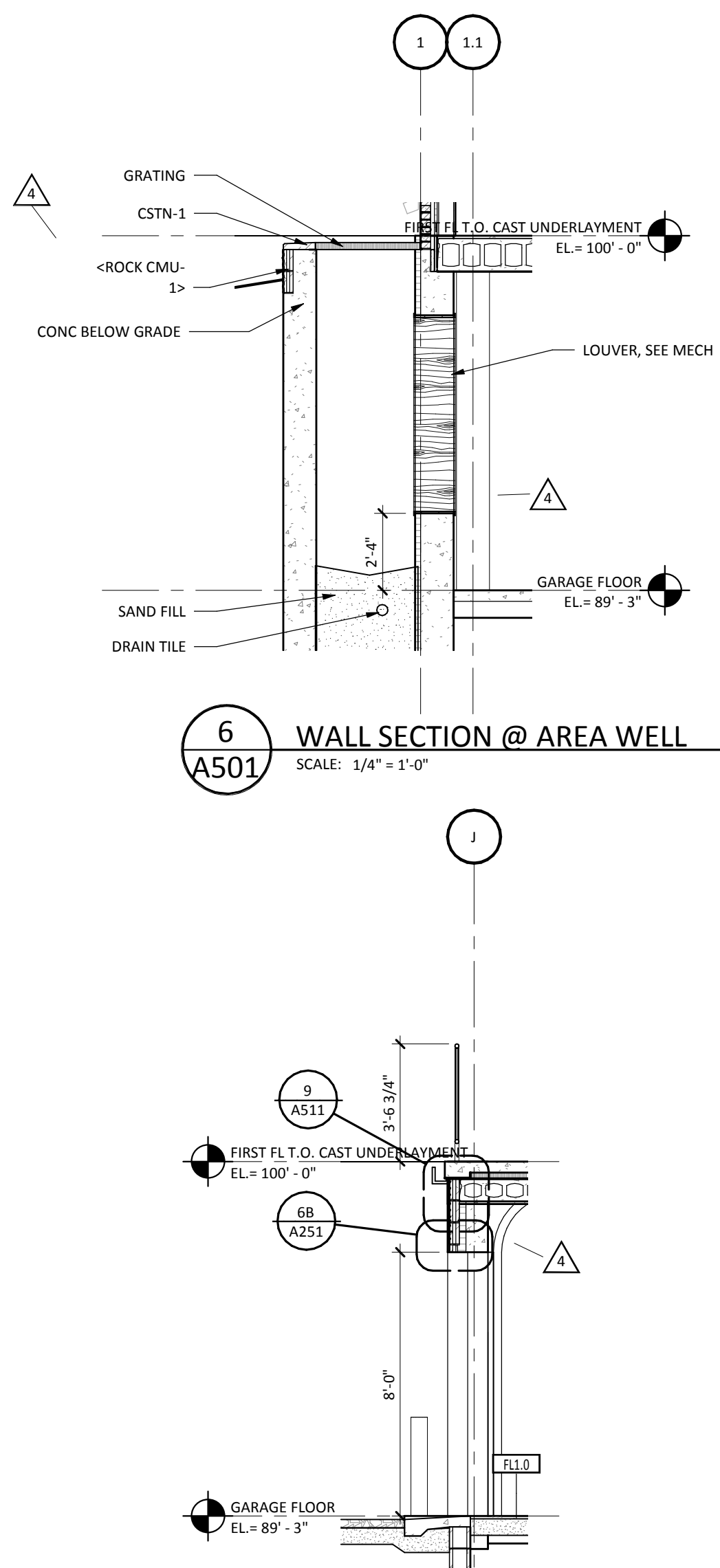
2 WALL SECTION AT GABLE
 SCALE: 1/4" = 1'-0"



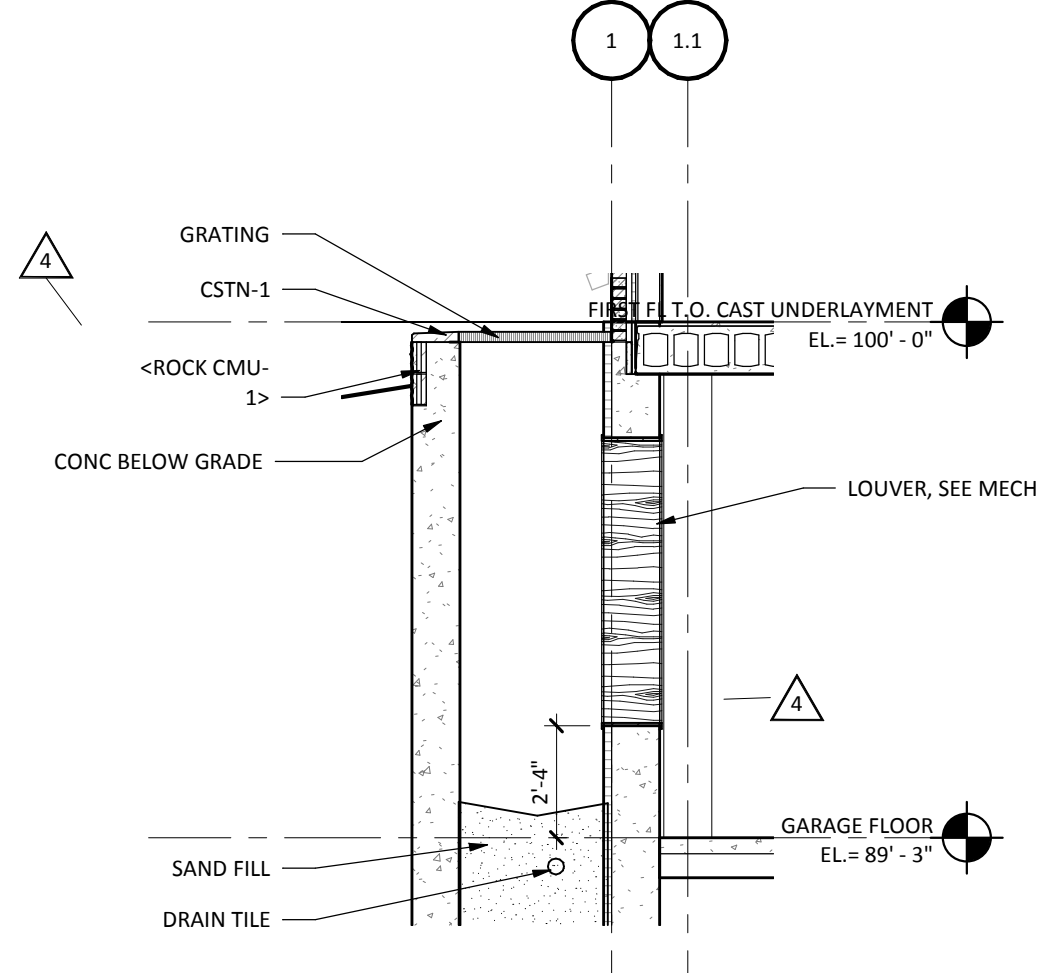
3 WALL SECTION @ ENTRY
 SCALE: 1/4" = 1'-0"



4 WALL SECTION
 SCALE: 1/4" = 1'-0"



5 WALL SECTION @ PATIO
 SCALE: 1/4" = 1'-0"



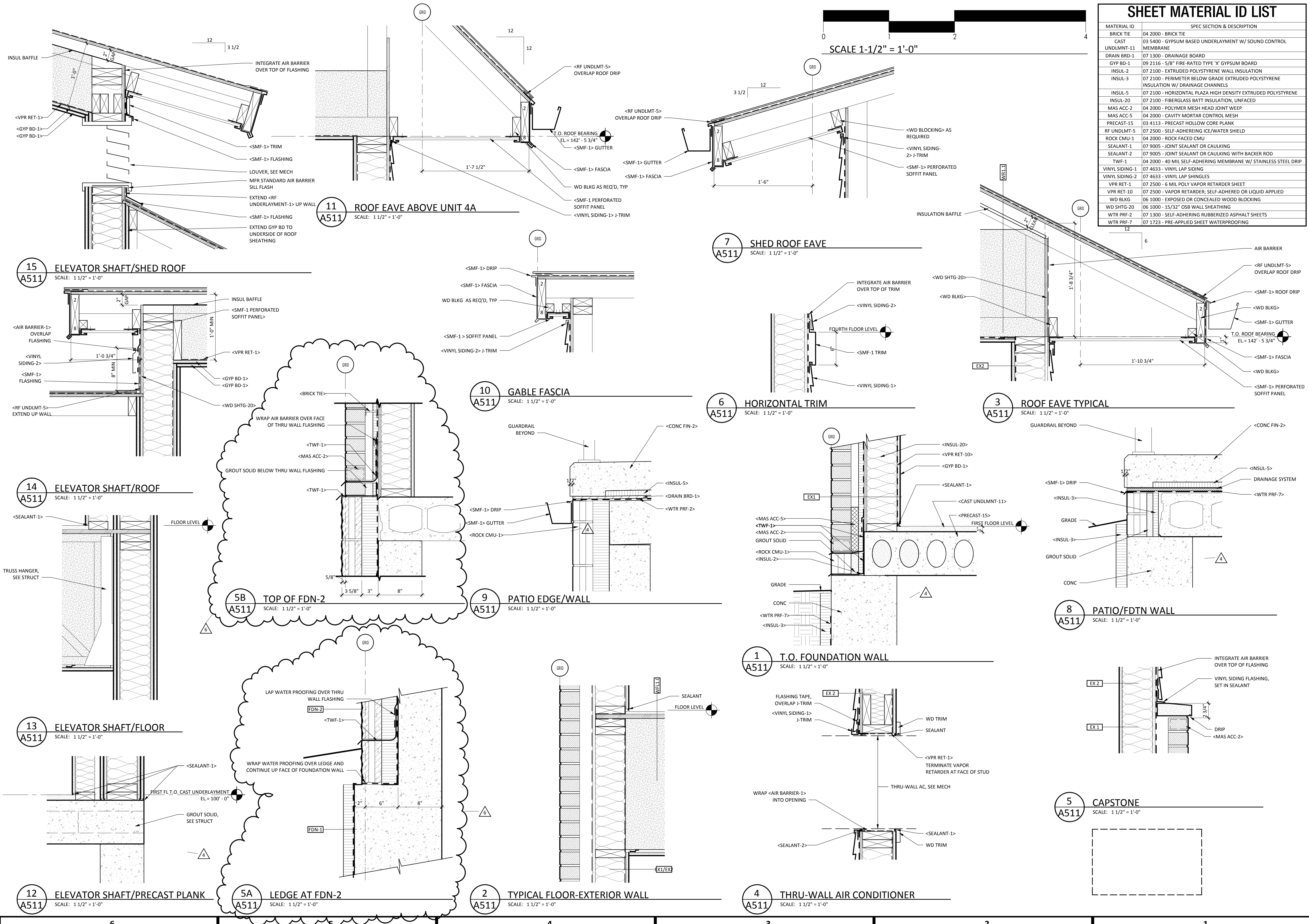
6 WALL SECTION @ AREA WELL
 SCALE: 1/4" = 1'-0"

4/20/2018 1:36:20 PM

NO.	DESCRIPTION	DATE
4	POST TENDER ADDENDUM #2	03/15/2018
6	ASI #001	4/23/2018

MATERIAL ID	SPEC SECTION & DESCRIPTION
BRICK TIE	04 2000 - BRICK TIE
CAST UNDLMT-11	03 5400 - GYPSUM BASED UNDERLAYMENT W/ SOUND CONTROL MEMBRANE
DRAIN BRD-1	07 1300 - DRAINAGE BOARD
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE "X" GYPSUM BOARD
INSUL-2	07 2100 - EXTRUDED POLYSTYRENE WALL INSULATION
INSUL-3	07 2100 - PERIMETER BELOW GRADE EXTRUDED POLYSTYRENE INSULATION W/ DRAINAGE CHANNELS
INSUL-5	07 2100 - HORIZONTAL PLAZA HIGH DENSITY EXTRUDED POLYSTYRENE
INSUL-20	07 2100 - FIBERGLASS BATT INSULATION, UNFACED
MAS ACC-2	04 2000 - POLYMER MESH HEAD JOINT WEEP
MAS ACC-5	04 2000 - CAVITY MORTAR CONTROL MESH
PRECAST-15	03 4113 - PRECAST HOLLOW CORE PLANK
RF UNDLMT-5	07 2500 - SELF-ADHERING ICE/WATER SHIELD
ROCK CMU-1	04 2000 - ROCK FACED CMU
SEALANT-1	07 9005 - JOINT SEALANT OR CAULKING
SEALANT-2	07 9005 - JOINT SEALANT OR CAULKING WITH BACKER ROD
TWF-1	04 2000 - 40 MIL SELF-ADHERING MEMBRANE W/ STAINLESS STEEL DRIP
VINYL SIDING-1	07 4633 - VINYL LAP SIDING
VINYL SIDING-2	07 4633 - VINYL LAP SHINGLES
VPR RET-1	07 2500 - 6 MIL POLY VAPOR RETARDER SHEET
VPR RET-10	07 2500 - VAPOR RETARDER; SELF-ADHERED OR LIQUID APPLIED
WD BLKG	06 1000 - EXPOSED OR CONCEALED WOOD BLOCKING
WD SHTG-20	06 1000 - 15/32" OSB WALL SHEATHING
WTR PRF-2	07 1300 - SELF-ADHERING RUBBERIZED ASPHALT SHEETS
WTR PRF-7	07 1723 - PRE-APPLIED SHEET WATERPROOFING

SCALE 1-1/2" = 1'-0"



4/20/2018 1:26:07 PM