

PARK PLACE APARTMENTS

RED WIND, MN.



PROJECT TEAM:

OWNER: A-I COMMERCIAL CLEANING
1489 HAY CREEK VALLEY RD.
RED WIND, MN. 55044
PHONE: (651) 385-8442
CONTACT: ANDREW BAARTMAN

ARCHITECT: COLE GROUP ARCHITECTS
216 PARK AVENUE SOUTH
SUITE 102
SAINT CLOUD, MN 56301
PHONE: (320) 454-4510
PROJECT ARCHITECT: NORM COLE

GENERAL CONTRACTOR: LUMBER ONE, AVON INC.
101 2ND. ST. NW
AVON, MN 56310
PHONE: (320) 354-1342
CONTACT: TED SCHMID

STRUCTURAL ENGINEER: SANDMAN STRUCTURAL ENGINEERS
1581 30TH AVE. S.
MOORHEAD, MN 56560
PHONE: (218) 221-0022
CONTACT: NATHAN BENSON

CIVIL ENGINEER: G-CUBED INC.
285 WESTVIEW DRIVE
WEST SAINT PAUL, MN. 55118
PHONE: (651) 283-1544
CONTACT: DANIEL TILSEN

MECHANICAL ENGINEER: DESIGN BUILD/DEFERRED SUBMITTAL

ELECTRICAL ENGINEER: DESIGN BUILD/DEFERRED SUBMITTAL

PLUMBING ENGINEER: DESIGN BUILD/DEFERRED SUBMITTAL

FIRE ALARM & FIRE SUPPRESSION CONSULTANT: DESIGN BUILD/DEFERRED SUBMITTAL

CODE SUMMARY

1. BUILDING DESCRIPTION:

A NEW (4) STORY 109,454 S.F. 108 UNIT APARTMENT OVER A 21,462 S.F. UNDERGROUND PARKING GARAGE ATTACHED TO A 11,990 BAY GARAGE VIA A 492 SF PEDESTRIAN WALKWAY

2. BLDG. SUMMARY:

2012 I.B.C., 2015 MINNESOTA STATE BUILDING CODE, AND OTHER RELATED CODES.

A. CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

R-2 OCCUPANCY - APARTMENT HOUSE - (SECTION 310.4)
S-2 OCCUPANCY - (1) LOW HAZARD UNDERGROUND PARKING GARAGE - (SECTION 311.3)
S-2 OCCUPANCY - (2) LOW HAZARD ON-GRADE PARKING GARAGE - (SECTION 311.3)

B. CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASE ON USE AND OCCUPANCY

- AUTOMATIC SPRINKLER REQUIRED FOR S-2 (1) (SECTION 404.6)
- WALLS SEPARATING DWELLING UNITS IN R-2 CONSTRUCTED AS FIRE PARTITIONS (SECTION 420.2)

C. CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE HEIGHT: (TABLE 503)
R2 OCCUPANCY ALLOWED: 4 STORIES OR 10'-0" (SPRINKLER INCREASE 504.2)
R2 OCCUPANCY ACTUAL: 4 STORIES & 45'-0"
S2 OCCUPANCY ALLOWED (1): 5 STORIES OR 10'-0" (SPRINKLER INCREASE 504.2)
S2 OCCUPANCY ACTUAL (1): 1 STORY (UNDERGROUND)
S2 OCCUPANCY ALLOWED (2): 2 STORIES OR 40'-0"
S2 OCCUPANCY ACTUAL (2): 1 STORY (ABOVE GRADE) OR 11'-0"

ALLOWABLE AREA: (TABLE 503)

EQUATION 5-2 (FRONTAGE INCREASE)
AVG. WIDTH (W) = ((A' X 30') + (B' X 30') + (C' X 30') + (D' X 30'))/A+B+C+D
AVG. WIDTH (W) = 30'

$$\left[\frac{F}{P} - 0.25 \right] \frac{W}{30} \text{ IF } = 15 \text{ (MAX)}$$

S-2 FRONTAGE INCREASE:
21,000 X 0.15 = 15,150 S.F.

$$\left[\frac{A+B+C+D}{\text{TOTAL}} - 0.25 \right] \frac{30'}{30'} \text{ IF } = 15$$

R-2 FRONTAGE INCREASE:
12,000 X 0.15 = 9,000 S.F.

BASIC ALLOWABLE FLOOR AREA: (FROM TABLE 503) FOR R2 = 12,000 S.F.
SPRINKLER AREA INCREASE: 24,000 S.F.
FRONTAGE AREA INCREASE: 9,000 S.F.

ALLOWABLE FLOOR AREA: 45,000 S.F.
ACTUAL FLOOR AREA (LARGEST FLOOR 1ST FLOOR): 21,214 S.F. (OKAY)

BASIC ALLOWABLE FLOOR AREA: (FROM TABLE 503) FOR S2 (1) = 21,000 S.F.
SPRINKLER AREA INCREASE: 42,000 S.F.
FRONTAGE AREA INCREASE: 15,150 S.F.

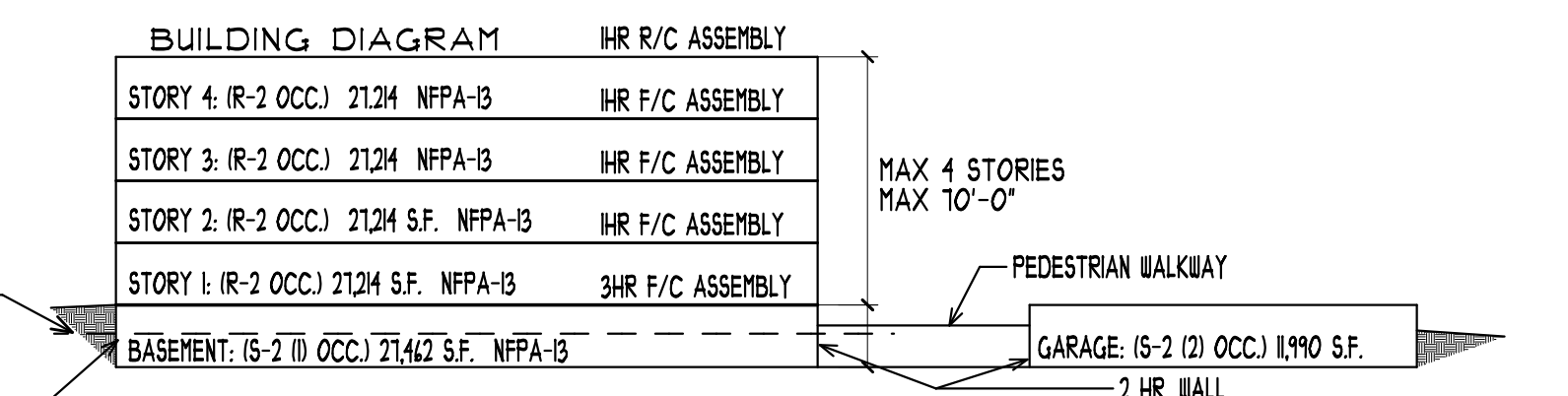
ALLOWABLE FLOOR AREA: 18,150 S.F.
ACTUAL FLOOR AREA: 21,462 S.F. (OKAY)

BASIC ALLOWABLE FLOOR AREA: (FROM TABLE 503) FOR S2 (2) = 13,500 S.F.

ALLOWABLE FLOOR AREA: 13,500 S.F.
ACTUAL FLOOR AREA: 11,990 S.F. (OKAY)

OCCUPANCY SEPARATION (SECTION 510.0):

- R2 OCCUPANCY TO S2 OCCUPANCY
1) BUILDINGS SEPARATED WITH HORIZ. ASSEMBLY HAVING A FIRE-RESISTANCE OF 3 HOURS.
2) S-2 (1) GARAGE IS ONLY ONE STORY ABOVE GRADE PLANE.
3) S-2 (1) GARAGE IS OF TYPE IA CONSTRUCTION.
EXTERIOR WALLS ALLOWED TO BE NON-RATED PER TABLE 402
4) SHAFT ENCLOSURES HAVE A 2 HOUR FIRE-RESISTANCE RATING.



D. CHAPTER 6 - TYPE OF CONSTRUCTION

TYPE V-A (ONE HOUR 402.5) OVER TYPE I-A (ONE HOUR 402.2) & ADJACENT TO TYPE V-B (NON-RATED 402.5)

E. CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

FIRE WALLS (SECTION 704) - (2) 2 HR RATED
PROVIDED AT EACH SIDE OF THE PEDESTRIAN WALKWAY
FIRE BARRIER (SECTION 701) - 2HR RATED (SECTION 713)
PROVIDED AT STAIRWAY & ELEVATOR SHAFTS.
FIRE PARTITION (SECTION 708) - 1HR RATED (SECTION 420.2)
PROVIDED AT WALLS SEPARATING DWELLING UNITS AND EXTERIOR/INTERIOR BEARING WALLS.
SMOKE BARRIERS (SECTION 709) - NOT REQUIRED.
SMOKE PARTITIONS (SECTION 710) - NOT REQUIRED.
HORIZONTAL ASSEMBLIES (SECTION 711) - 1HR RATED FLOOR/CEILING AND ROOF/CEILING REQUIRED AND PROVIDED AT EACH STORY OF R-2 OCC.

F. CHAPTER 8 - INTERIOR FINISHES

ALL FINISHES SHALL COMPLY WITH INTERIOR FINISH REQUIREMENTS, FLAME SPREAD RATINGS ETC.

G. CHAPTER 9 - FIRE PROTECTION SYSTEMS

S-2 (1) AUTOMATIC SPRINKLER NFPA-13 (SECTION 903.2.10)
R-2 AUTOMATIC SPRINKLER NFPA-13 (SECTION 903.3.11 & 903.2.8)
S-2 (2) NOT REQUIRED PER 903.2.10 (UNDER 12,000 SF)

H. CHAPTER 10 - MEANS OF EGRESS (TABLE 1004.1.2)

FOURTH FLOOR:
R-2 OCCUPANCY: 21,214 S.F.
21,214 S.F./200 S.F. PER OCC. = 131
(2) EXITS REQUIRED, (2) EXITS PROVIDED.

THIRD FLOOR:
R-2 OCCUPANCY: 21,214 S.F.
21,214 S.F./200 S.F. PER OCC. = 131
(2) EXITS REQUIRED, (2) EXITS PROVIDED.

SECOND FLOOR:
R-2 OCCUPANCY: 21,214 S.F.
21,214 S.F./200 S.F. PER OCC. = 131
(2) EXITS REQUIRED, (2) EXITS PROVIDED.

GARAGE FLOOR:
S-2 (1) OCCUPANCY: 21,462 S.F.
21,462 S.F./200 S.F. PER OCC. = 138
(2) EXITS REQUIRED, (2) EXITS PROVIDED.

S-2 (2) OCCUPANCY: 11,990 S.F.
11,990 S.F./200 S.F. PER OCC. = 60
(2) EXITS REQUIRED, (2) EXITS PROVIDED.

FIRST FLOOR:
COMMUNITY RM. (A-3): 1,021 S.F. (LESS THAN 10% OF FLOOR AREA)
1,021 S.F./15 S.F. PER OCC. = 69 (2) EXITS REQ'D.
FITNESS RM. (A-3): 1,042 S.F. (LESS THAN 10% OF FLOOR AREA)
1,042 S.F./50 S.F. PER OCC. = 21 (1) EXIT REQUIRED
R-2 OCCUPANCY: 25,151 S.F.
25,151 S.F./200 S.F. PER OCC. = 126
OCCUPANT LOAD ALL FLOORS 4TH (137) + 3RD (137) + 2ND (137) + 1ST (214) + GAR (138) = 765
(3) EXITS REQUIRED (1021.2.4) AND (2) REQ'D. TO BE ACCESSIBLE
(5) EXITS PROVIDED AND (4) ARE ACCESSIBLE MEANS OF EGRESS

I. CHAPTER 11 - ACCESSIBILITY

ALL INTERIOR AND EXTERIOR SPACES SHALL COMPLY REQUIRED UNIT TYPES (SECTION 1107.6.2.1.1):
R-2 REQUIRES 2% TYPE "A" UNITS THE REMAINDER TYPE "B" UNITS
108 TOTAL UNITS PROVIDED
(3) TYPE "A" UNITS ARE REQUIRED - (3) TYPE "A" UNITS ARE PROVIDED.
PUBLIC ENTRANCES (SECTION 1105.1):
(2) ACCESSIBLE ENTRANCES ARE REQUIRED, (2) ACCESSIBLE ENTRANCES PROVIDED
ACCESSIBLE PARKING SPACES (SECTION 1106.2):
R-2 REQUIRES 2% WHERE PARKING IS PROVIDED
(3) UNDERGROUND PARKING STALLS ARE REQUIRED (INCLUDES BAY GARAGE)
(3) UNDERGROUND PARKING STALLS ARE PROVIDED
MINIMUM OF 1'-0" CLEAR FROM GARAGE ENTRANCE OPENING TO THE VAN ACCESSIBLE PARKING STALL REQUIRED PER EXCEPTION IN 1106.5.

J. CHAPTER 13 - ENERGY EFFICIENCY

RADON MITIGATION (MN ADMIN RULES 1303.2400):
SUBP. 3. MIXED OCCUPANCIES; ALL ASSEMBLIES THAT SEPARATE THE NON-RESIDENTIAL (UNDERGROUND GARAGE). FROM THE RESIDENTIAL (APARTMENT) SHALL BE COMPLETELY SEALED TO PREVENT THE MOVEMENT OF AIRBORNE GASES. SEE DETAIL 20/A802.

2015 M.N. RESIDENTIAL ENERGY CODE (PRESCRIPTIVE METHOD - TABLE R402.1.1)
RED WIND, MN - GOODHUE COUNTY (ZONE 4)

CATEGORY	FENESTRATION	CEILING	WOOD FRAME WALL	BASEMENT
REQUIRED	0.32 U-FACTOR	R-49	R-21 CAVITY	RI5
PROVIDED	0.30 OR LOWER	R-49 MIN.	R-21 CAVITY	RI5 C.I.

*R-VALUES ARE MINIMUMS, U-FACTORS ARE MAXIMUMS

K. CHAPTER 21 - PLUMBING SYSTEMS

PLUMBING FIXTURE REQUIREMENTS (TABLE 2102.1):
R-2 (APARTMENT) = (1) TOILET & SINK PER UNIT
(1) TOILET & SINK PROVIDED PER UNIT
REQUIRED TUB/SHOWERS = (1) PER UNIT
(1) TUB/SHOWER PROVIDED PER UNIT
NO DRINKING FOUNTAIN REQUIRED, ONE DRINKING FOUNTAIN PROVIDED.
(1) SERVICE SINK REQUIRED, (3) SERVICE SINKS PROVIDED.

SHEET INDEX

ARCHITECTURAL:

- A001 COVER SHEET
- A030 BAY GARAGE PLANS
- A031 PEDESTRIAN WALKWAY PLANS
- A100 OVERALL BASEMENT & 1ST FL. PLAN - UNIT MIX
- A100A BASEMENT FLOOR PLAN AREA "A"
- A100B BASEMENT FLOOR PLAN AREA "B"
- A100C BASEMENT FLOOR PLAN AREA "C"
- A101A FIRST FLOOR PLAN AREA "A"
- A101B FIRST FLOOR PLAN AREA "B"
- A101C FIRST FLOOR PLAN AREA "C"
- A102 OVERALL 2ND & 3RD FLOOR PLAN - UNIT MIX
- A102A SECOND FLOOR PLAN AREA "A"
- A102B SECOND FLOOR PLAN AREA "B"
- A102C SECOND FLOOR PLAN AREA "C"
- A103A THIRD FLOOR PLAN AREA "A"
- A103B THIRD FLOOR PLAN AREA "B"
- A104 OVERALL 4TH FLOOR & ROOF PLAN - UNIT MIX
- A104A FOURTH FLOOR PLAN AREA "A"
- A104B FOURTH FLOOR PLAN AREA "B"
- A105A ROOF PLAN AREA "A"
- A105B ROOF PLAN AREA "B"
- A201 ENLARGED UNIT PLANS
- A202 ENLARGED UNIT PLANS
- A203 ENLARGED UNIT PLANS
- A204 ENLARGED UNIT PLANS
- A301 ACCESSIBILITY DETAILS
- A401 DOOR & WINDOW SCHEDULES
- A402 WALL TYPES
- A501 EXTERIOR ELEVATIONS
- A502 EXTERIOR ELEVATIONS
- A503 EXTERIOR ELEVATIONS
- A10 TYPICAL CROSS SECTION "A"
- A120 STAIR SECTION "A"
- A121 STAIR SECTION "B"
- A130 ELEVATOR SECTION(S)
- A140 LOBBY CROSS SECTION
- A141 LOBBY CROSS SECTION - WALL SECTIONS
- A801 TYPICAL BUILDING DETAILS
- A802 TYPICAL BUILDING DETAILS
- A803 UNDERGROUND GARAGE DETAILS
- A804 TYPICAL FIRE WALL DETAILS
- A901 UL ASSEMBLIES - WALLS / COLUMNS / BEAMS
- A902 UL ASSEMBLIES - FLOORS / CEILINGS / ROOFS

STRUCTURAL:

- S001 STRUCTURAL NOTES
- S002 SPECIAL INSPECTIONS
- S101A FOUNDATION PLAN AREA "A"
- S101B FOUNDATION PLAN AREA "B"
- S201A FIRST FLOOR FRAMING PLAN AREA "A"
- S201B FIRST FLOOR FRAMING PLAN AREA "B"
- S202A SECOND FLOOR FRAMING PLAN AREA "A"
- S202B SECOND FLOOR FRAMING PLAN AREA "B"
- S203A THIRD FLOOR FRAMING PLAN AREA "A"
- S203B THIRD FLOOR FRAMING PLAN AREA "B"
- S204A FOURTH FLOOR FRAMING PLAN AREA "A"
- S204B FOURTH FLOOR FRAMING PLAN AREA "B"
- S205A ROOF FRAMING PLAN AREA "A"
- S205B ROOF FRAMING PLAN AREA "B"
- S206 SHEAR WALL PLAN
- S207 SHEAR WALL DETAILS
- S301 FOUNDATION DETAILS
- S302 FOUNDATION DETAILS
- S401 FRAMING DETAILS
- S402 FRAMING DETAILS
- S403 FRAMING DETAILS
- S404 FRAMING DETAILS
- S405 FRAMING DETAILS

CIVIL:

-
-
-
-
-

REVISION LOG

△ -	△ -
△ -	△ -
△ -	△ -
△ -	△ -
△ -	△ -
△ -	△ -

THESE DOCUMENTS ARE NOT VALID FOR BUILDING PERMIT UNLESS SIGNED AND SEAL OF ARCHITECT IS PRESENT. COPIES ARE NOT VALID.
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.
 Date: 10-19-18 # 22286
 Norm Cole, MN 56301
 www.colegrouparchitects.com

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WIND, MN
 (651) 388-0000

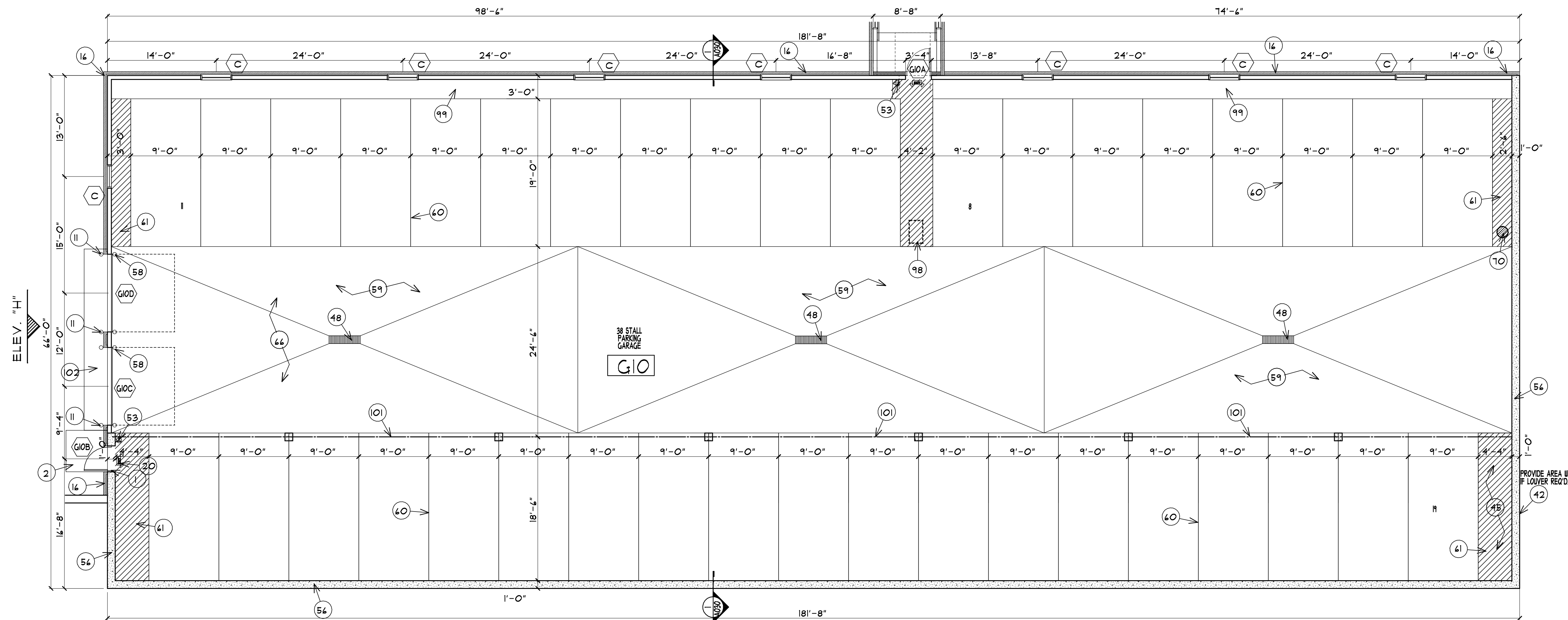
DEVELOPER:
KB KELLER/BAARTMAN
 PROFESSIONAL ARCHITECTS
 RED WIND, MN
 (651) 388-0000

ARCHITECT:
COLE GROUP
 ARCHITECTS LLC
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 www.colegrouparchitects.com

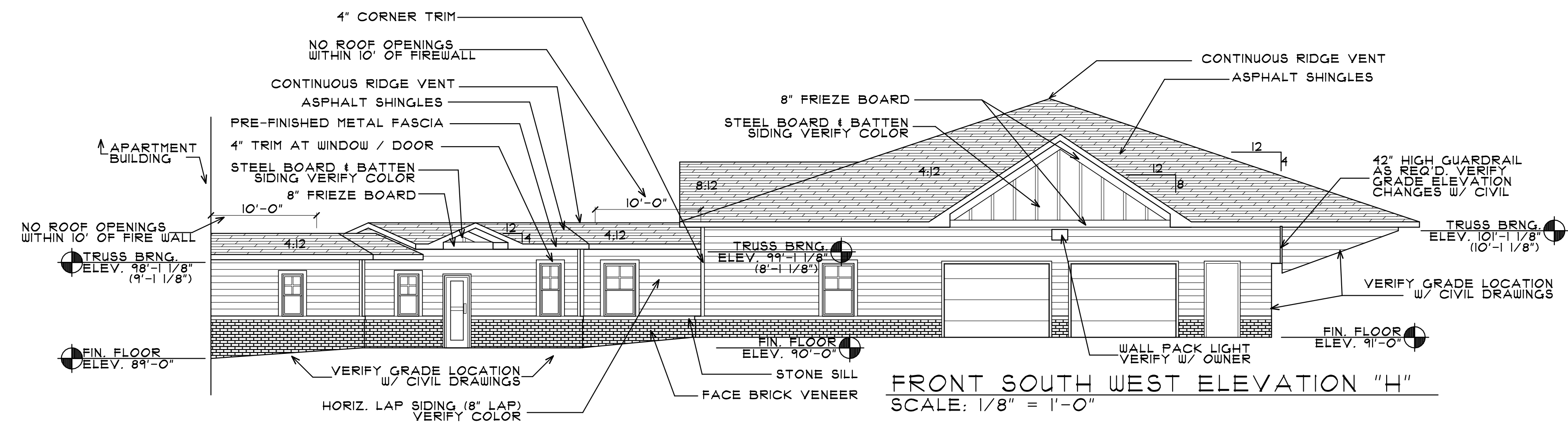
Project No. 18011
 Submittal Date: 10-4-18
 Document Set: PERMIT SET

FILE: 18011E.COM - 4
 PLOTTED: 10-4-18

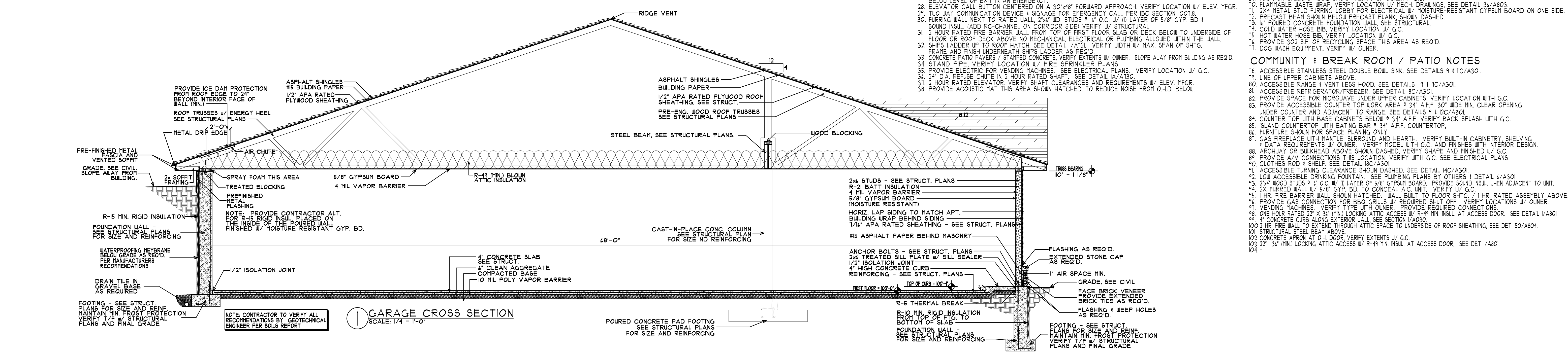
A001



BAY GARAGE PLAN 38 PARKING STALLS - 11,990 SF
SCALE: 1/8" = 1'-0"



FRONT SOUTH WEST ELEVATION "H"
SCALE: 1/8" = 1'-0"



GARAGE CROSS SECTION
SCALE: 1/4" = 1'-0"

FLOOR PLAN NUMBER NOTES

- EXTERIOR/ENTRY/LOBBY NOTES**
1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 IC/A301.
 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D. CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
 6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4" O.C.
 8. LINE OF ROOF / FLOOR BELOW.
 9. LINE OF ROOF / FLOOR OR BALCONY ABOVE. SHOWN DASHED.
 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 24/A802.
 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 12. STAIRWAY. VERIFY MATERIAL W/ OWNER. 3" MAX. RISE I 11" MIN. TREAD DEPTH.
 13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 41/A401 IF POST LESS THAN 8'x8'.
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
 15. NOT USED.
 16. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 18. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
 19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

- CORRIDOR/STAIR/GEN. NOTES**
20. EMERGENCY EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
 22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
 23. HANDRAIL POINTED 3/4"-3/8" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
 24. EXTEND HANDRAIL 12" PAST TOP RISER.
 25. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
 26. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
 27. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
 28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
 29. TWO WAY COMMUNICATION DEVICE 1 SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1007.8.
 30. FURRING WALL NEXT TO RATED WALL. 2x4 W/ STUDS 16" O.C. W/ 11" LAYER OF 5/8" GYP. BD I SOUND INSUL. LADD RC CHANNEL ON CORRIDOR SIDE. VERIFY W/ STRUCTURAL.
 31. 2 HOUR RATED FIRE BARRIER WALL. TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
 32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A71. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
 33. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
 34. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
 35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
 36. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SH. SEE DETAIL 1/A130.
 37. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
 38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED, TO REDUCE NOISE FROM O.H.D. BELOW.

- MECH./ELECT./STRUCT. NOTES**
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
 41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
 42. LOUVER FOR H/VAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
 43. SUMP PIT W/ PUMP. VERIFY LOCATION WITH MECHANICAL DRAWINGS.
 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
 45. GARAGE H/VAC UNIT. SEE MECHANICAL PLANS.
 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
 47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 I TC/A301.
 48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I TC/A301.
 50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 51. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.

- GARAGE NOTES**
52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
 53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
 55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
 56. POURED CONCRETE WALL. SEE STRUCTURAL.
 57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 59. FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
 60. PAINTED PARKING STRIPES.
 61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
 62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
 63. OPERATOR LOOP IN SLAB. FIELD VERIFY LOCATION W/ G.C.
 64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1/48.
 65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
 66. PRE-FABRICATED WASTE BIN. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 67. CONCRETE APRON. TRENCH DRAIN AT 0" DOOR DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
 68. PRE-FABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
 69. FR.P. ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
 70. FLAMMABLE WASTE BIN. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 71. 2x4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
 72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
 73. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 76. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
 77. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

- COMMUNITY & BREAK ROOM / PATIO NOTES**
78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 I IC/A301.
 79. LINE OF UPPER CABINETS ABOVE.
 80. ACCESSIBLE RANGE I VENT LESS HOOD. SEE DETAILS 9 I IC/A301.
 81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
 82. PROVIDE SPACE FOR MICROVAPE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
 83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I IC/A301.
 84. COUNTER TOP WITH BASE CABINETS BELOW 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
 85. ISLAND COUNTERTOP WITH EATING BAR 34" A.F.F. COUNTERTOP.
 86. FURNITURE SHOW FOR SPACE PLANNING ONLY.
 87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 88. ARCHWAY OR BULKHEAD ABOVE. SHOWN DASHED. VERIFY SHAPE AND FINISH WITH G.C.
 89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
 90. CLOTHES ROD I SHELF. SEE DETAIL 18C/A301.
 91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
 92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 4/A301.
 93. 2x4 WOOD STUDS 16" O.C. W/ 11" LAYER OF 5/8" GYPSUM BOARD PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
 94. 2x4 FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
 95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. I 1 HR. RATED ASSEMBLY ABOVE.
 96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
 97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
 98. ONE HOUR RATED 2 1/2" MIN. LOCKING ATTIC ACCESS W/ 8-4# MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
 99. 4" CONCRETE CURBS ALONG EXTERIOR WALL. SEE SECTION 1/A030.
 100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
 101. STRUCTURAL STEEL BEAM ABOVE.
 102. CONCRETE APRON AT 0" DOOR. VERIFY EXTENTS W/ G.C.
 103. 22" 3/4" MIN. LOCKING ATTIC ACCESS W/ R-41 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
 - 104.

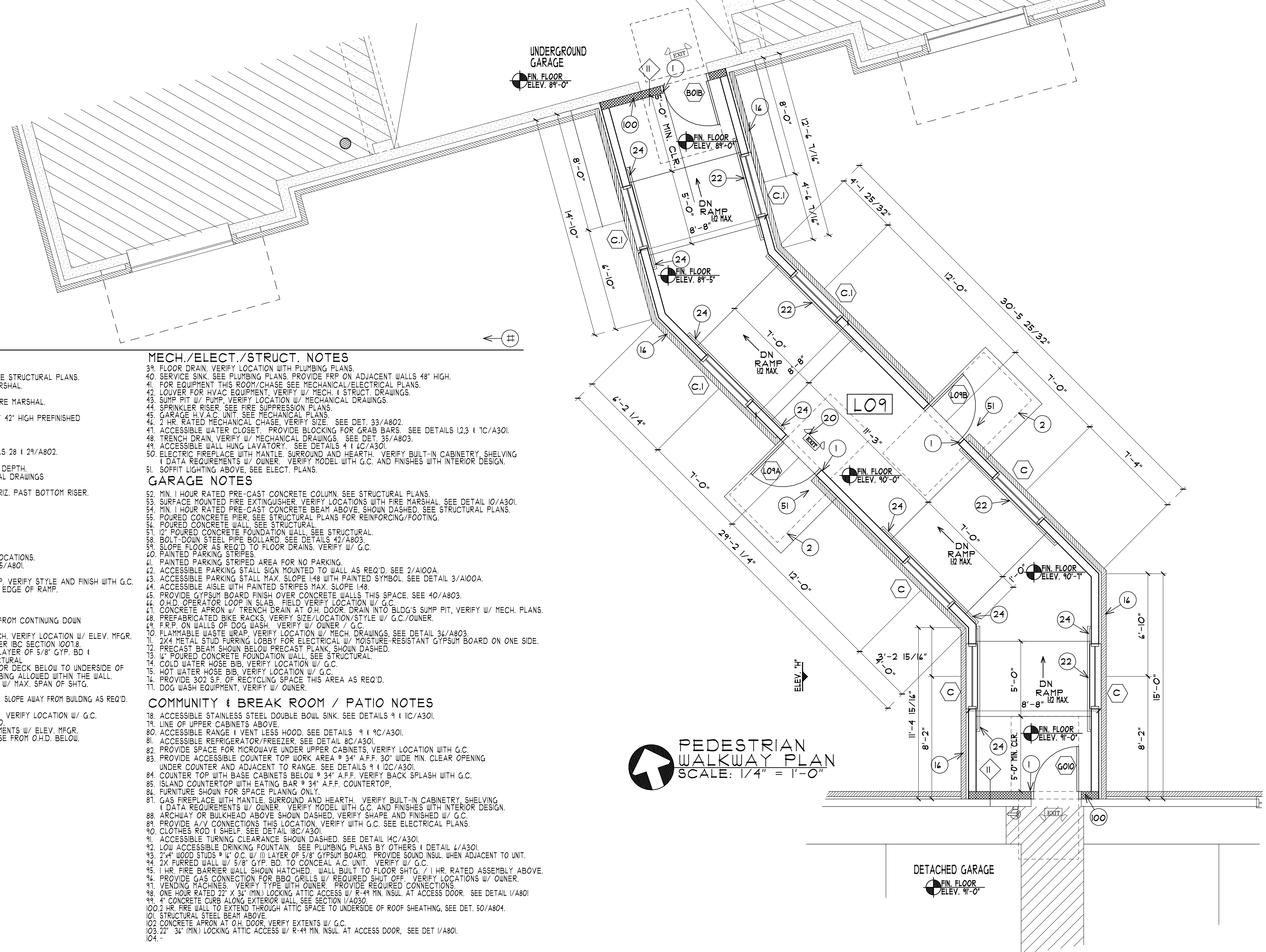
DEVELOPER: **KB KELLER/BAARTMAN ARCHITECTS LLC**
 214 Park Avenue South
 Saint Cloud, MN 56301
 Phone: (800) 454-4570
 www.dofgrouparchitects.com

PROJECT: **PARK PLACE APARTMENTS**
 1801 PARK PLACE
 SAINT CLOUD, MN 56301

PROPOSED 108 UNIT: **108 UNIT**
 (651) 388-0000

REVISIONS COMMENTS: **REVISIONS COMMENTS**
 FILE: 10777P
 Project No. **10-4-18**
 Submit Date: **10-4-18**
 Document Set: **PERMIT SET**

A030



FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 1 I IJC/A301.
2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4' O.C.
8. LINE OF ROOF / FLOOR BELOW.
9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. RECESSED HALL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 29/A802.
11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
12. STAIRWAY. VERIFY MATERIAL W/ OWNER. T' MAX. RISE 1 1/2" MIN. TREAD DEPTH.
13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 41/A801 IF POST LESS THAN 3'x3'.
14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER. NOT USED.
15. FACE BRICK VENEER. SEE ELEVATIONS. VERIFY W/ OWNER.
16. CULTURED STONE VENEER. SEE ELEVATIONS. VERIFY W/ OWNER.
17. ACCESSIBLE PUSH BUTTON DOOR OPENER 5" MIN. TO 48" MAX. A.F.F.
18. ACCESSIBLE PUSH BUTTON DOOR OPENER 5" MIN. TO 48" MAX. A.F.F.
19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
22. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
23. EXTEND HANDRAIL 1" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
24. EXTEND HANDRAIL 12" PAST TOP RISER.
25. 42" HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
26. 42" HIGH GUARDRAIL W/ INTERMEDIATE BALUSTERS 4' O.C. MAX.
27. SINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
29. TWO WAY COMMUNICATION DEVICE I SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1001.8.
30. FURRING WALL NEXT TO RATED WALL: 2"x4" JD. STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYP. BD. I SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE). VERIFY W/ STRUCTURAL.
31. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A121. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
33. CONCRETE PATIO PAVERS / STAINED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
34. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
36. 24" DIA. REFUGE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A130.
37. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
45. GARAGE HVAC UNIT. SEE MECHANICAL PLANS.
46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 I 10/A301.
48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I LC/A301.
50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
51. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.

GARAGE NOTES

52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
55. POURED CONCRETE FLOOR. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
56. POURED CONCRETE WALL. SEE STRUCTURAL.
57. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
58. 80-120 DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
60. PAINTED PARKING STRIPES.
61. PAINTED PARKING STRIPES AREA FOR NO PARKING.
62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
63. ACCESSIBLE PARKING STALL MAX. SLOPE 1/48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1/48.
65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
66. O.H.D. OPERATOR LOOP IN SLAB. FIELD. VERIFY LOCATION W/ G.C.
67. CONCRETE APRON W/ TRENCH DRAIN AT O.H. DOOR DRAIN INTO BLDGS SUMP PIT. VERIFY W/ MECH. PLANS.
68. PREFABRICATED BKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
69. F.R.P. ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
70. FLAMMABLE WASTE WRAP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
71. 2"x4" METAL STUD FURRING LOBBY FOR ELECTRICAL. W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
73. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
76. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
77. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOUL SINK. SEE DETAILS 9 I IC/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE I VENT LESS HOOD. SEE DETAILS 9 I 10/A301.
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I 12C/A301.
84. COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTERTOP WITH EATING BAR @ 34" A.F.F. COUNTERTOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
89. PROVIDE 4" V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD I SHELF. SEE DETAIL 8C/A301.
91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 4/A301.
93. 2"x4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYP. BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 2X FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 22" X 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A800.
100. 12 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
101. STRUCTURAL STEEL BEAM ABOVE.
102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
103. 22" 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
104. -

PEDESTRIAN WALKWAY PLAN
SCALE: 1/4" = 1'-0"

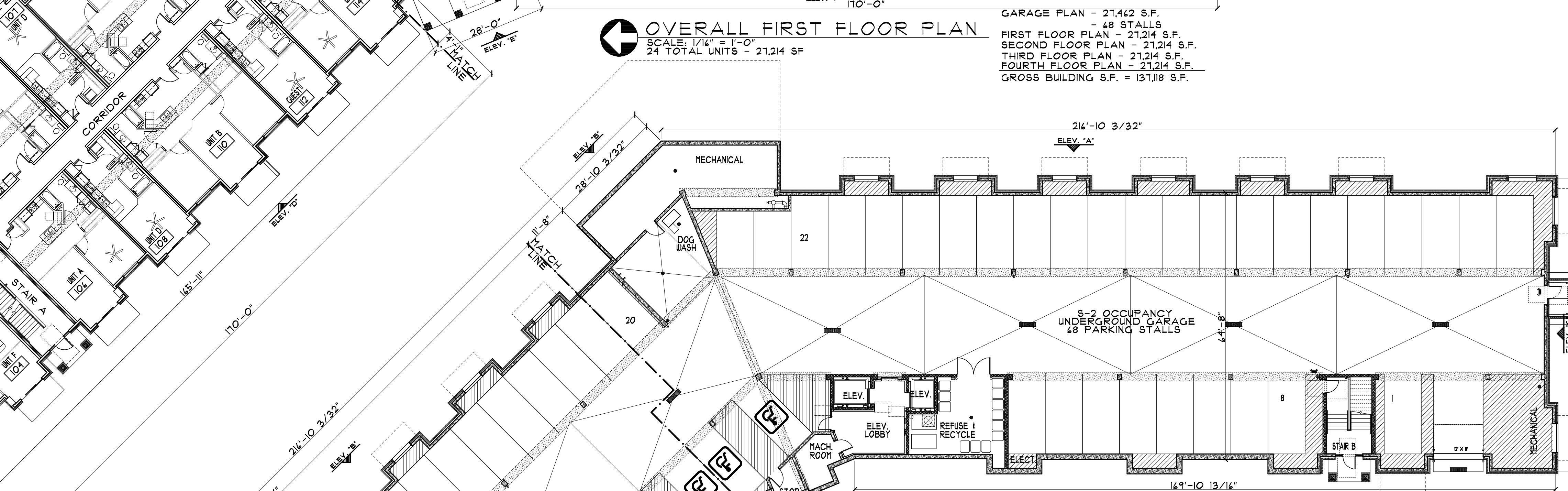
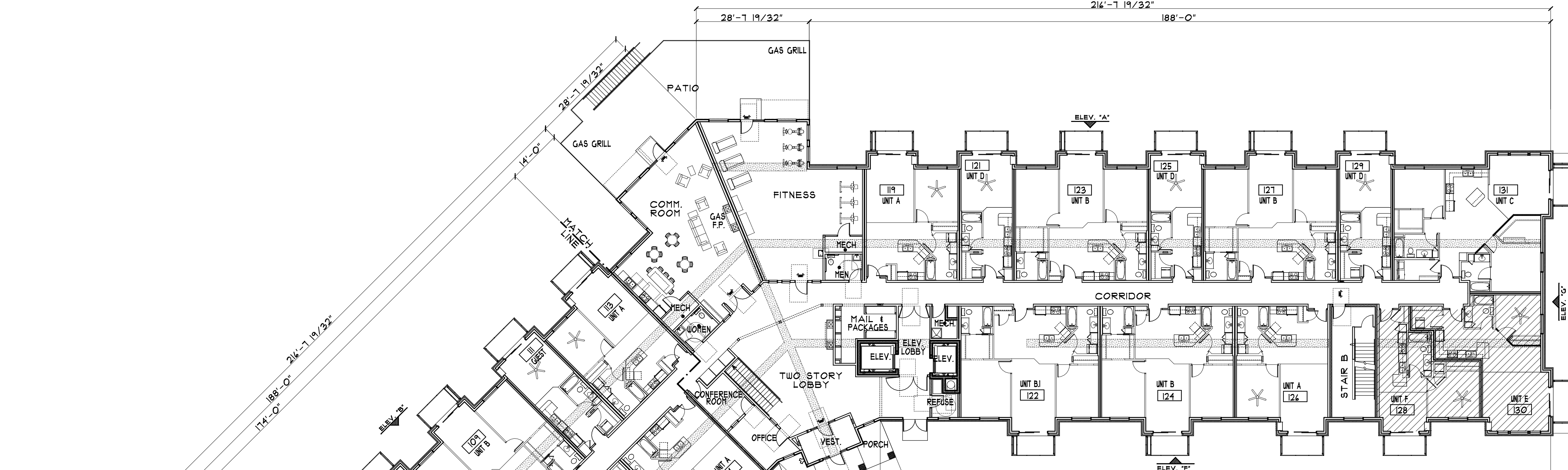
FILE: 17077P COM: 4
 PROJECTED: 10-4-18
 PROJECT NO. 1801
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET
 A031

DEVELOPER: **KB KELLER/BAARTMAN**
 ARCHITECTS LLC
 216 Park Avenue South
 Saint Cloud, MN 56301
 (320) 454-4570
 www.dofgrouparchitects.com

PROPOSED 108 UNIT: **PARK PLACE APARTMENTS**
 REID WING, MN (651) 388-0000
 REID WING, MN

REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS

These documents are not valid for building permit unless signed, in full, and used as sealed. Copies are not valid.
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.
 Date: 10-1-18 # 22288
 Name: MORHAN E. COLE Signature:



ACCESSIBILITY	UNIT MIX							% BY TYPE	
	UNIT TYPE	1ST FLR.	2ND FLR.	3RD FLR.	4TH FLR.	TOTAL	PATIO/BALCONY		
	"D" (STUDIO) (1 BATH)	6	6	8	8	28	YES	445 SF	26%
	"A" (1 BED)	5	0	0	0	5	YES	142 SF	
	"A1" (1 BED W/ DEN) (1 BATH)	0	2	2	2	6	YES	851 SF	
	"E" (1 BED) (1 BATH)	2	2	2	2	8	YES	598 SF	32.5%
	"F" (1 BED) (1 BATH)	2	2	2	2	8	YES	192 SF	
	"G" (1 BED W/ DEN) (1 BATH)	0	2	2	2	6	YES	936 SF	
	"J" (1 BED) (1 BATH)	0	0	1	0	1	NO	1,040 SF	
	"J1" (1 BED) (1 BATH)	0	0	0	1	1	NO	995 SF	
	"B" (2 BED) (2 BATH)	6	8	8	8	30	YES	1,021 SF	
	"B1" (2 BED) (2 BATH)	1	1	1	1	4	YES	1,078 SF	
	"B2" (2 BED) (2 BATH)	0	1	1	1	3	YES	1,035 SF	41.5%
	"C" (2 BED) (2 BATH)	1	2	2	2	7	YES	1,236 SF	
	"C1" (2 BED) (2 BATH)	1	-	-	-	1	YES	1,236 SF	
	TOTAL	24	24	29	29	108			100%

R2 OCCUPANCY REQUIRES 2% MINIMUM "TYPE A" UNITS
 108 TOTAL UNITS WILL REQUIRE 3 MINIMUM "TYPE A" UNITS

COLE GROUP ARCHITECTS LLC
 214 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (507) 451-6510
 info@colegrouparchitects.com

DEVELOPER: **KB KELLER/BAARTMAN**
 PHOTON FILE
 RED WING, MN
 (651) 388-0000

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WING, MN

REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS

Project No. 18011
 Submittal Date: 10-4-18
 Document Set: PERMIT SET

PLOTTED: 10-4-18 FILE: 18011P COM: 3

A100

FLOOR PLAN NUMBER NOTES

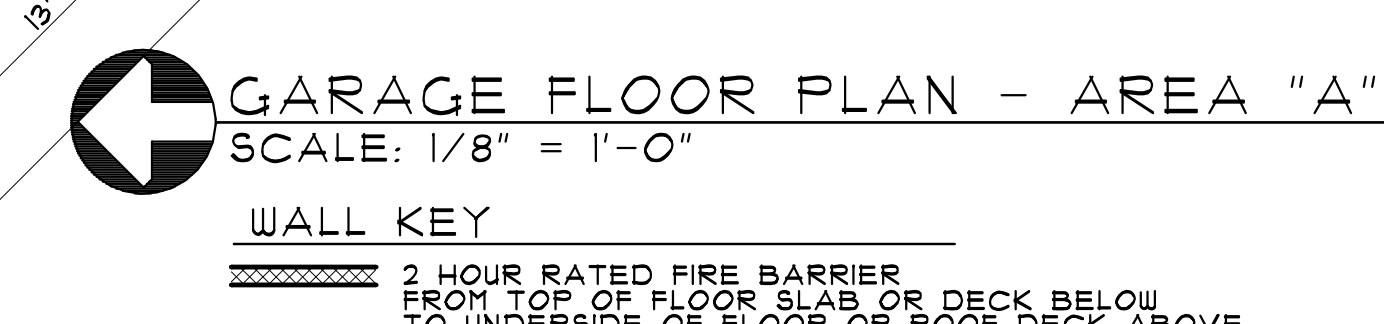
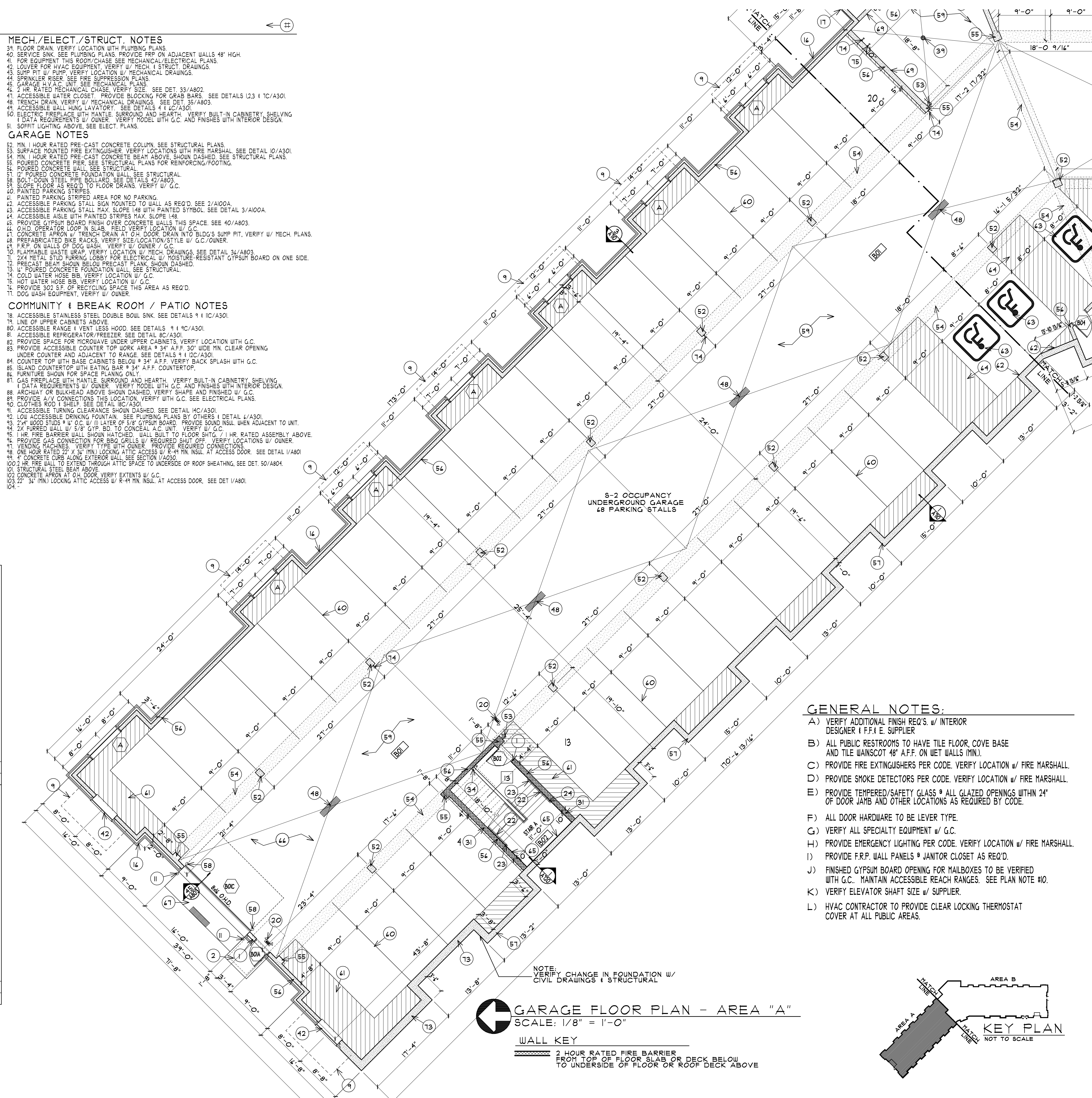
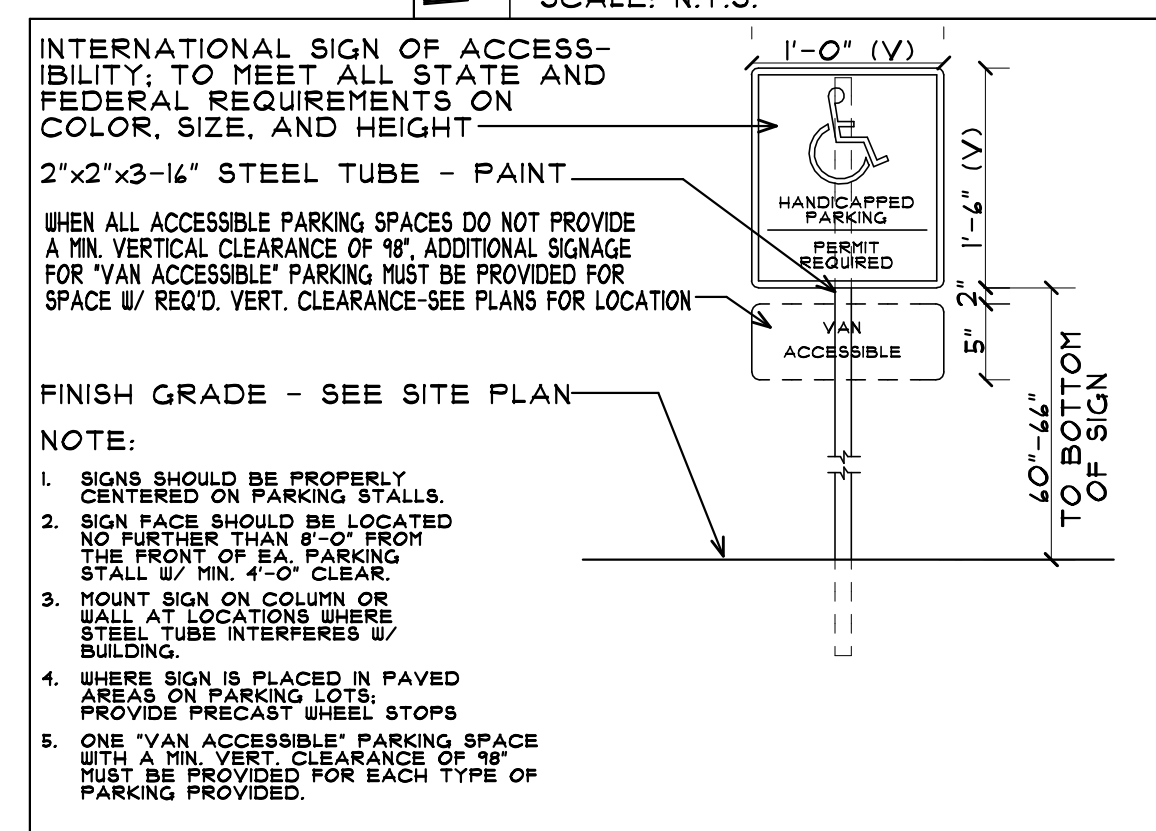
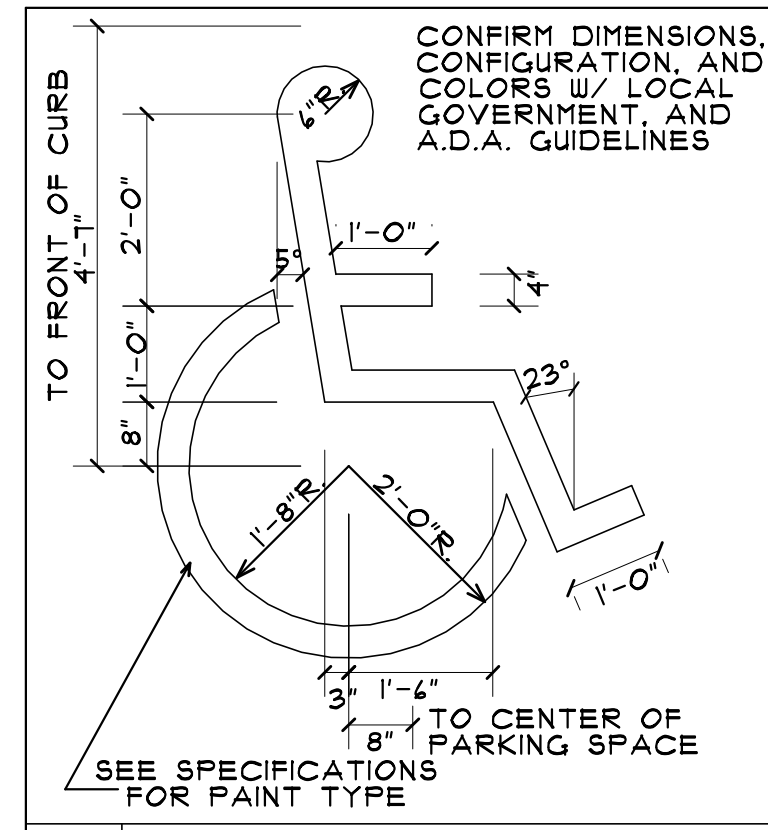
- EXTERIOR/ENTRY/LOBBY NOTES**
1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 IC/A301.
 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
 6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH FINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4' O.C.
 8. LINE OF ROOF / FLOOR BELOW.
 9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 29/A802.
 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 12. STAIRWAY. VERIFY MATERIAL W/ OWNER. TYP. MAX RISE 1" MIN. TREAD DEPTH.
 13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL W/A01 IF POST LESS THAN 6"x6".
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR. PLUS 12" HORIZ. PAST BOTTOM RISER. NOT USED.
 15. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 16. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 17. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
 18. HAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

- CORRIDOR/STAIR/GEN. NOTES**
20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
 22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
 23. HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
 24. EXTEND HANDRAIL 1' OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
 25. EXTEND HANDRAIL 2' PAST TOP RISER.
 26. 42" HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
 27. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4' O.C. MAX.
 28. SOUNDING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
 29. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
 30. TWO WAY COMMUNICATION DEVICE (SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1007.8).
 31. FLOORING NEXT TO RATED WALL. 2x4 WOOD STUDS 1/2" O.C. W/ 1/2" LAYER OF 5/8" GYP. BD. 1 SOUND INSUL. (ADD RC CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
 32. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
 33. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL I/A212. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
 34. CONCRETE PATIO PAVERS / STAMPED CONCRETE VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
 35. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
 36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
 37. 34" DIA. REVERSE CHUTE IN 2 HOUR RATED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
 38. 2 HOUR RATED ELEVATOR VENDING MACHINES. VERIFY REQUIRED CONNECTIONS.
 39. ONE HOUR RATED 22" x 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL I/A801.
 40. 4" CONCRETE CURB ABOVE EXTERIOR WALL. SEE SECTION I/A030.
 41. 100' 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
 42. STRUCTURAL STEEL BEAM ABOVE.
 43. CONCRETE AFFRON AT O.A. DOOR. VERIFY EXTENTS W/ G.C.
 44. 102' 22" 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET. I/A801.
 45. 104' -

- MECH./ELECT./STRUCT. NOTES**
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
 41. FLOOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
 42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
 43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
 45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
 47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS I2.3 I TC/A301.
 48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I 4C/A301.
 50. ELECTRIC FREPLAGE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETY. SHELVING (DATA REQUIREMENTS) W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 51. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.

- GARAGE NOTES**
52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
 53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
 55. POURED CONCRETE WITH PAINTED STRIPES MAX. SLOPE 1:49.
 56. POURED CONCRETE WALL. SEE STRUCTURAL.
 57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
 60. PAINTED PARKING STRIPES.
 61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
 62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
 63. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
 64. ACCESSIBLE ASILE WITH PAINTED STRIPES MAX. SLOPE 1:49.
 65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
 66. O.H.D. OPERATOR LOOP IN SLAB. FIELD VERIFY LOCATION W/ G.C.
 67. CONCRETE AFFRON W/ TRENCH DRAIN AT O.A. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
 68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
 69. F.R.P. ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
 70. FLAMMABLE WASTE URINAL. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 71. 2x4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
 72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
 73. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 76. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
 77. DOOG WASH EQUIPMENT. VERIFY W/ OWNER.

- COMMUNITY & BREAK ROOM / PATIO NOTES**
78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 I IC/A301.
 79. LINE OF UPPER CABINETS ABOVE.
 80. ACCESSIBLE RANGE 1 VENT LESS HOOD. SEE DETAILS 9 I 4C/A301.
 81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
 82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
 83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 9' 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I 12C/A301.
 84. COUNTER TOP WITH BASE CABINETS BELOW 9' 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
 85. ISLAND COUNTERTOP WITH EATING BAR 9' 34" A.F.F. COUNTERTOP.
 86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
 87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETY. SHELVING (DATA REQUIREMENTS) W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISHES W/ G.C.
 89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
 90. CLOTHES ROD 1 SHELF. SEE DETAIL 18C/A301.
 91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
 92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL I/A301.
 93. 2x4 WOOD STUDS 1/2" O.C. W/ 1/2" LAYER OF GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
 94. 2x FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
 95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. 1 HR. RATED ASSEMBLY ABOVE.
 96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
 97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
 98. ONE HOUR RATED 22" x 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL I/A801.
 99. 4" CONCRETE CURB ABOVE EXTERIOR WALL. SEE SECTION I/A030.
 100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
 101. STRUCTURAL STEEL BEAM ABOVE.
 102. CONCRETE AFFRON AT O.A. DOOR. VERIFY EXTENTS W/ G.C.
 103. 22" 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET. I/A801.
 104. -



- GENERAL NOTES:**
- A) VERIFY ADDITIONAL FINISH REQ'S. W/ INTERIOR DESIGNER & F.F.I.E. SUPPLIER
 - B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WANSCOAT 48" A.F.F. ON WET WALLS (MIN.)
 - C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
 - D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
 - E) PROVIDE TEMPERED/SAFETY GLASS 9' ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
 - F) ALL DOOR HARDWARE TO BE LEVER TYPE.
 - G) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
 - H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
 - I) PROVIDE F.R.P. WALL PANELS 9' JANITOR CLOSET AS REQ'D.
 - J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
 - K) VERIFY ELEVATOR SHAFT SIZE W/ SUPPLIER.
 - L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.

COLE GROUP ARCHITECTS LLC
216 Park Avenue South
Suite 102
Bloomington, MN 55401
(612) 251-4470
www.colegrouparchitect.com

DEVELOPER: **KB KELLER/BAARTMAN** PERFORMER FILES
RED WING, MN
RED WING, MN
(651) 388-0000

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
RED WING, MN

Project No. 18011
Submitted Date: 10-4-18
Document Set: PERMIT SET

FILE: 18011P
PLOTTED: 10-4-18

A100A

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 111/IC/A301
 2. FROST STOOP USED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
 6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4" O.C.
 8. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
 9. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 281/2A/A02.
 10. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 11. STAIRWAY. VERIFY MATERIAL W/ OWNER. T: MAX. RISE 1" MIN. TREAD DEPTH.
 12. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 41/A401 IF POST LESS THAN 8'x8'.
 13. NOT USED.
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR. W/ 12" HORIZ. PAST BOTTOM RISER.
 15. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 16. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
 17. ACCESSIBLE PUSH BUTTON DOOR OPERATOR 5" MIN. TO 48" MAX. A.F.F.
 18. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.
- CORRIDOR/STAIR/GEN. NOTES**
20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
 22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
 23. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
 24. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
 25. EXTEND HANDRAIL 12" PAST TOP RISER.
 26. HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
 27. GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
 28. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
 29. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFGR.
 30. TWO WAY COMMUNICATION DEVICE / SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1001.8.
 31. FURRING WALL NEXT TO RATED WALL. 2"x2" WOOD STUDS @ 12" O.C. W/ (II) LAYER OF 5/8" GYP. BD. I SOUND INSUL. (ADD RC CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
 32. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
 33. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A121. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
 34. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
 35. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
 36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
 37. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A130.
 38. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFGR.
 39. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

MECH/ELECT/STRUCT. NOTES

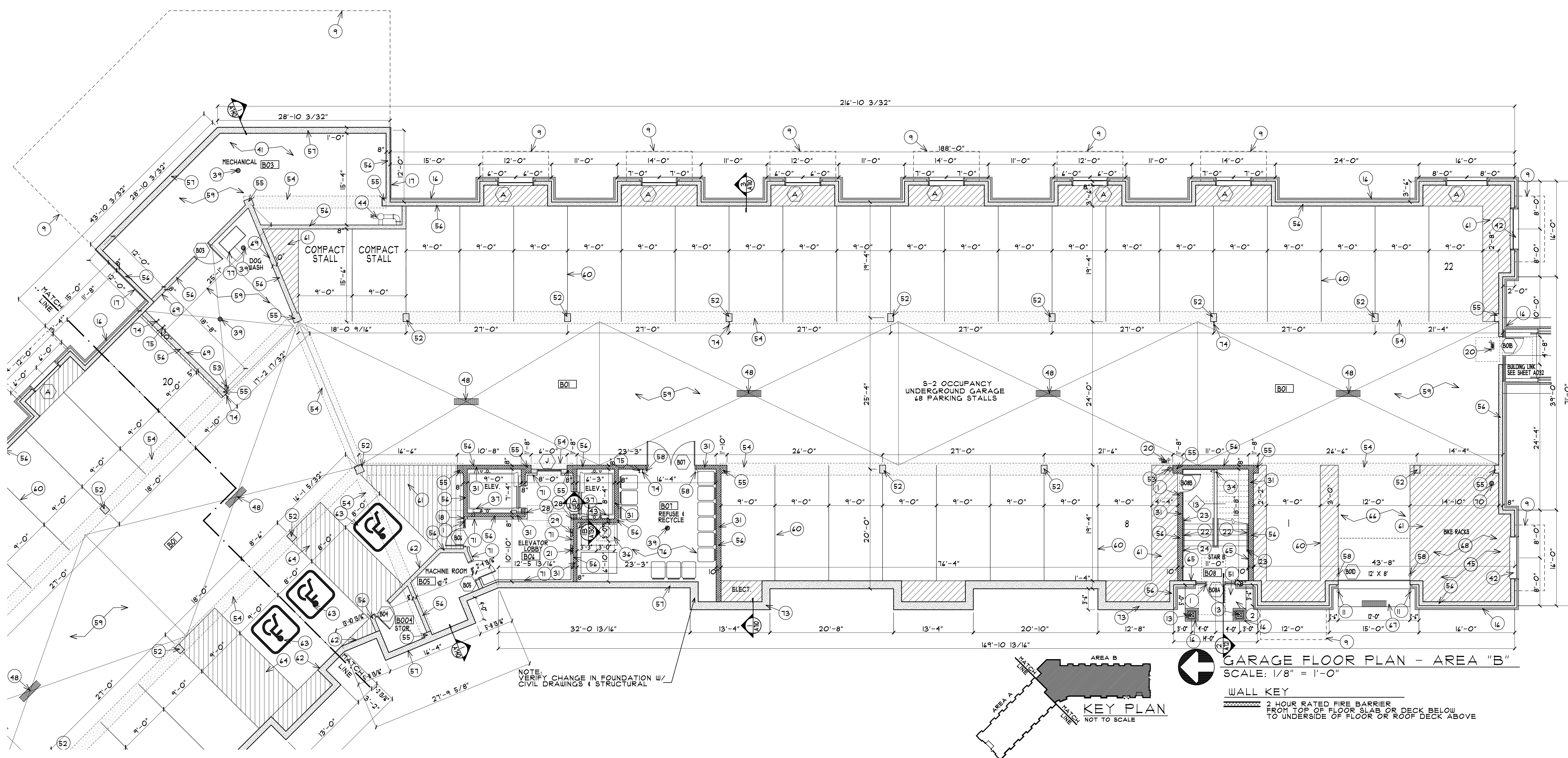
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE RFP ON ADJACENT WALLS 48" HIGH.
 41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
 42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. / STRUCT. DRAWINGS.
 43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
 45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
 47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123/1/IC/A301.
 48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 41/IC/A301.
 50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING / DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 51. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.
- GARAGE NOTES**
52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
 53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
 55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
 56. POURED CONCRETE WALL. SEE STRUCTURAL.
 57. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
 60. PAINTED PARKING STRIPES.
 61. PAINTED PARKING STRIPES AREA FOR NO PARKING.
 62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
 63. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
 64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
 65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
 66. O.H.D. OPERATOR LOOP IN 84" FIELD. VERIFY LOCATION WITH G.C.
 67. CONCRETE APRON W/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
 68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
 69. FR.F. ON WALLS OF DOG WASH. VERIFY W/ OWNER.
 70. FLAMMABLE WASTE WRAP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 71. 2X4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
 72. PRECAST BEAM SHOWN BELOW PRE-CAST PLANK. SHOWN DASHED.
 73. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
 76. PROVIDE 300 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
 77. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOIL. SINK. SEE DETAILS 91/IC/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE / VENT LESS HOOD. SEE DETAILS 91/IC/A301.
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 80/A301.
82. PROVIDE SPACE FOR MICROVAPE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 91/IC/A301.
84. COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTERTOP WITH SEATING BAR @ 34" A.F.F. COUNTERTOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING / DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD / SHELF. SEE DETAIL 180/A301.
91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 140/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS / DETAIL 4/A301.
93. 2"x4" WOOD STUDS @ 12" O.C. W/ (II) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 2X FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 27"x34" MIN. LOCKING ATTIC ACCESS W/ 5'-4" MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A030.
100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
101. STRUCTURAL STEEL BEAM ABOVE.
102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
103. 27" 3/4" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
- 104.

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. W/ INTERIOR DESIGNER / F.F.A.E. SUPPLIER.
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAINSCOT 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- I) PROVIDE F.R.P. WALL PANELS @ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE W/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.



GARAGE FLOOR PLAN - AREA "B"
SCALE: 1/8" = 1'-0"

WALL KEY
2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

DEVELOPER: **KB KELLER/BAARTMAN**
 PROPOSED 108 UNIT: **PARK PLACE APARTMENTS**
 RED WING, MN (651) 388-0000
 REVISIONS COMMENTS
 Project No. 18011
 Submit Date: 10-4-18
 Document Set: PERMIT SET
 A100B
 FILE: 18011P COM: 3
 PLOTTED: 10-4-18

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 IC/A301.
2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4" O.C.
8. LINE OF ROOF / FLOOR BELOW.
9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 29/A802.
11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
12. STAIRWAY VERIFY MATERIAL W/ OWNER. T MAX RISE 1" MIN. TREAD DEPTH.
13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A401 IF POST LESS THAN 8"Ø.
14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
15. NOT USED.
16. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
18. ACCESSIBLE PUSH BUTTON DOOR OPERATOR 5" MIN. TO 48" MAX. A.F.F.
19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
23. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
24. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
25. EXTEND HANDRAIL 12" PAST TOP RISER.
26. 42" HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
27. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
28. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
29. ELEVATOR CALL BUTTON CENTERED ON A 30"Ø 48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
30. TWO WAY COMMUNICATION DEVICE (1) SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 10018.
31. FURRING WALL NEXT TO RATED WALL. 2"x4" WD. STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYP. BD (1) SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
32. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
33. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A171. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
34. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
35. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
37. 24" DIA. REUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A130.
38. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
39. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED, TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
41. FOR EQUIPMENT THIS ROOM/CHASE. SEE MECHANICAL/ELECTRICAL PLANS.
42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET 33/A802.
47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 I TC/A301.
48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I IC/A301.
50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
51. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.

GARAGE NOTES

52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
56. POURED CONCRETE WALL. SEE STRUCTURAL.
57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
60. PAINTED PARKING STRIPES.
61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
63. ACCESSIBLE PARKING STALL. MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
64. ACCESSIBLE ASLE WITH PAINTED STRIPES. MAX. SLOPE 1:48.
65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
66. O.H.D. OPERATOR LOOP IN SLAB. FIELD. VERIFY LOCATION W/ G.C.
67. CONCRETE APRON W/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
69. FRP ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
70. FLAMMABLE WASTE WRAP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
71. LINE OF UPPER CABINETS ABOVE.
72. 2X4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
73. PRECAST BEAM SHOWN BELOW PRECAST FLANK. SHOWN DASHED.
74. 1/2" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
75. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
76. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
77. PROVIDE 302 SF. OF RECYCLING SPACE THIS AREA AS REQ'D.
78. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOUL SINK. SEE DETAILS 9 I IC/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
81. PROVIDE SPACE FOR MICROVAPE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
82. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I IC/A301.
83. COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
84. ISLAND COUNTERTOP WITH EATING BAR @ 34" A.F.F. COUNTERTOP.
85. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
86. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
87. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
88. PROVIDE A/V CONNECTIONS THIS LOBBY. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
89. CLOTHES ROD I SHELF. SEE DETAIL 18C/A301.
90. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
91. LOU ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 1/A301.
92. 2"x4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
93. 2X FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
94. 1 HR. FIRE BARRIER WALL SHOWN BUILT TO DOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
95. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
96. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
97. ONE HOUR RATED 2" X 3" MIN. LOCKING ATTIC ACCESS W/ R-4 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
98. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A030.
99. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
100. STRUCTURAL STEEL BEAM ABOVE.
101. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
102. 22" MIN. LOCKING ATTIC ACCESS W/ R-4 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
103. HATCH AREA INDICATES LOCATION FOR UNDERLAMENT ACOUSTICAL TREATMENT.



GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. w/ INTERIOR DESIGNER I.F.F.I.E. SUPPLIER
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAINSCOT 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- E) PROVIDE TEMPERED/SAFETY GLASS w/ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- I) PROVIDE F.R.P. WALL PANELS w/ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE w/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

- 1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11/15C/A301.
- 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
- 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
- 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
- 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
- 6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
- 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK w/ 42" HIGH PREFINISHED METAL GUARD RAIL w/ INTERMEDIATE BALUSTERS 4' C.C.
- 8. LINE OF ROOF / FLOOR BELOW.
- 9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
- 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 1 24/A802.
- 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
- 12. STAIRWAY. VERIFY MATERIAL w/ OWNER. MAX. RISE 1" MIN. TREAD DEPTH.
- 13. STRUCTURAL COLUMN w/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 44/A401 IF POST LESS THAN 8'X8'.
- 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER. 6. NOT USED.
- 15. FACE BRICK VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
- 16. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
- 17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
- 18. ACCESSIBLE PUSH BUTTON DOOR OPENER 5' MIN. TO 48" MAX. A.F.F.
- 19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS w/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

- 20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
- 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
- 22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
- 23. HANDRAIL MOUNTED 34" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
- 24. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
- 25. EXTEND HANDRAIL 12" PAST TOP RISER.
- 26. 42" HIGH HALF WALL w/ WOOD CAP. SLOPE AS REQ'D w/ STAIR.
- 27. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4' C.C. MAX.
- 28. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF ELEVATOR IN AN EMERGENCY.
- 29. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION w/ ELEV. MFR.
- 30. TWO WAY COMMUNICATION DEVICE / SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 007.8.
- 31. FURRING WALL NEXT TO RATED WALL: 2"x4" WD. STUDS @ 16" O.C. w/ 1/2" LAYER OF 5/8" GYP. BD (SOUND INSUL. / ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY w/ STRUCTURAL.
- 32. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
- 33. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A741. VERIFY WIDTH w/ MAX. SPAN OF SHG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
- 34. CONCRETE PATIO PAVERS / STAMPE CONCRETE. VERIFY EXTENTS w/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
- 35. STAND PIPE. VERIFY LOCATION w/ FIRE SPRINKLER PLANS.
- 36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION w/ G.C.
- 37. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A730.
- 38. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS w/ ELEV. MFR.
- 39. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

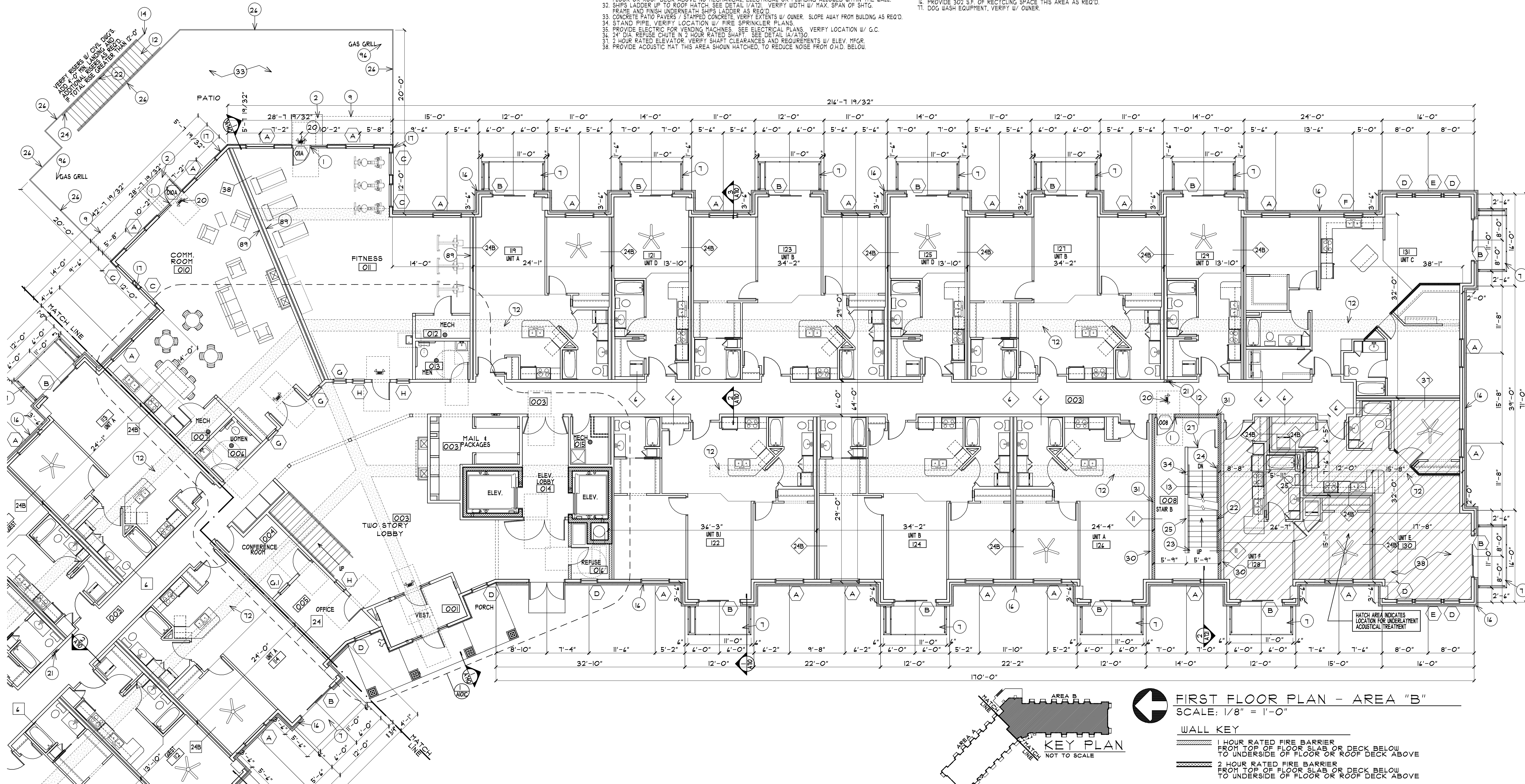
- 39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
- 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
- 41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
- 42. LOUVER FOR HVAC EQUIPMENT. VERIFY w/ MECH / STRUCT. DRAWINGS.
- 43. SUMP PIT w/ PUMP. VERIFY LOCATION w/ MECHANICAL DRAWINGS.
- 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
- 45. GARAGE H.V.A.C. UNIT SEE MECHANICAL PLANS.
- 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
- 47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 1 1C/A301.
- 48. TRENCH DRAIN. VERIFY w/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
- 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 12/A301.
- 50. ACCESSIBLE FIREPLACE WITH MANTLE. SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING 1 DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
- 51. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.

GARAGE NOTES

- 52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
- 53. SURFACE MOUNTED FIRE EXTINGUISHER VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
- 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
- 55. POURED CONCRETE FLOOR. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
- 56. POURED CONCRETE WALL. SEE STRUCTURAL.
- 57. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 58. BOLT DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
- 59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY w/ G.C.
- 60. PAINTED PARKING STRIPES.
- 61. PAINTED PARKING STOPPED AREA FOR NO PARKING.
- 62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
- 63. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
- 64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
- 65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
- 66. O.H.D. OPERATOR LOOP IN SLAB. FIELD VERIFY LOCATION w/ G.C.
- 67. CONCRETE APRON w/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY w/ MECH. PLANS.
- 68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE w/ G.C./OWNER.
- 69. FRP ON WALLS OF DOG WASH. VERIFY w/ OWNER / G.C.
- 70. FLAMMABLE WASTE WRAP. VERIFY LOCATION w/ MECH. DRAWINGS. SEE DETAIL 34/A803.
- 71. 2"x4" METAL STUD FURRING LOBBY FOR ELECTRICAL w/ MOISTURE RESISTANT GYPSUM BOARD ON ONE SIDE.
- 72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
- 73. 1/2" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 74. COLD WATER HOSE BIB. VERIFY LOCATION w/ G.C.
- 75. HOT WATER HOSE BIB. VERIFY LOCATION w/ G.C.
- 76. PROVIDE 302 SF. OF RECYCLING SPACE THIS AREA AS REQ'D.
- 77. DOG WASH EQUIPMENT. VERIFY w/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

- 78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 1 1C/A301.
- 79. LINE OF UPPER CABINETS ABOVE.
- 80. ACCESSIBLE RANGE 1 VENT LESS HOOD. SEE DETAILS 9 1 1C/A301.
- 81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
- 82. PROVIDE SPACE FOR MICROVAPE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
- 83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 1 1C/A301.
- 84. COUNTER TOP WITH BASE CABINETS BELOW 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
- 85. ISLAND COUNTERTOP WITH EATING BAR 34" A.F.F. COUNTERTOP.
- 86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
- 87. GAS FIREPLACE WITH MANTLE. SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING 1 DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
- 88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH w/ G.C.
- 89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
- 90. CLOTHES ROD 1 SHELVE. SEE DETAIL 18C/A301.
- 91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 1C/A301.
- 92. 2"x4" WOOD STUDS @ 16" O.C. w/ 1/2" LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
- 93. 2"x4" FURRED WALL w/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY w/ G.C.
- 94. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHG. / 1 HR. RATED ASSEMBLY ABOVE.
- 95. PROVIDE GAS CONNECTION FOR BBQ GRILLS w/ REQUIRED SHUT OFF. VERIFY LOCATIONS w/ OWNER.
- 96. PROVIDE VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
- 97. ONE HOUR RATED 22" X 34" MIN. LOCKING ATTIC ACCESS w/ 4" MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
- 98. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A030.
- 99. 1 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
- 100. 2" CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS w/ G.C.
- 101. 103" 22" 3/4" (MIN) LOCKING ATTIC ACCESS w/ 4" MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.



FIRST FLOOR PLAN - AREA "B"
SCALE: 1/8" = 1'-0"

- WALL KEY**
- 1 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE
 - 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

DEVELOPER: **PROPOSED 108 UNIT: PARK PLACE APARTMENTS**
 REID WING, MN (651) 388-0000
 REID WING, MN

THESE DOCUMENTS ARE NOT VALID FOR BUILDING PERMIT UNLESS SIGNED BY ME AND DATED AS SHOWN. CHANGES ARE NOT VALID UNLESS APPROVED BY ME IN WRITING. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 10/11/18
 PROJECT NO. 18011
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET

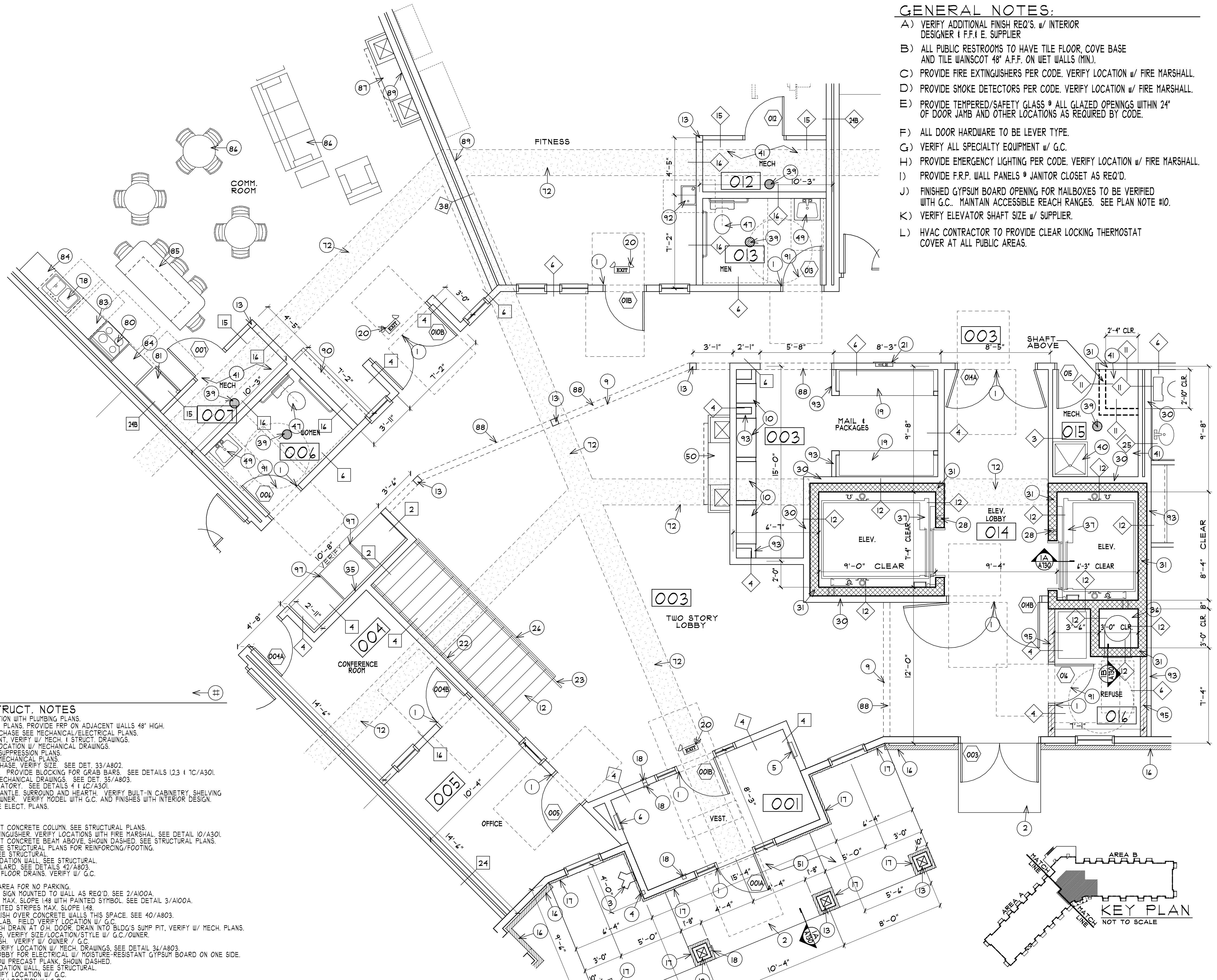
NAME: **KOBEL/BAARTMAN**
 ARCHITECTS LLC
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 Phone: (507) 325-4450
 www.kobelbaartmanarchitect.com

FILE: 18011P
 PLOTTED: 10-4-18
 COM: 3

A101B

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. w/ INTERIOR DESIGNER / F.F.E. SUPPLIER
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAJNSCOT 48" A.F.F. ON WET WALLS (MIN.).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION w/ FIRE MARSHAL.
- I) PROVIDE F.R.P. WALL PANELS @ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE w/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.



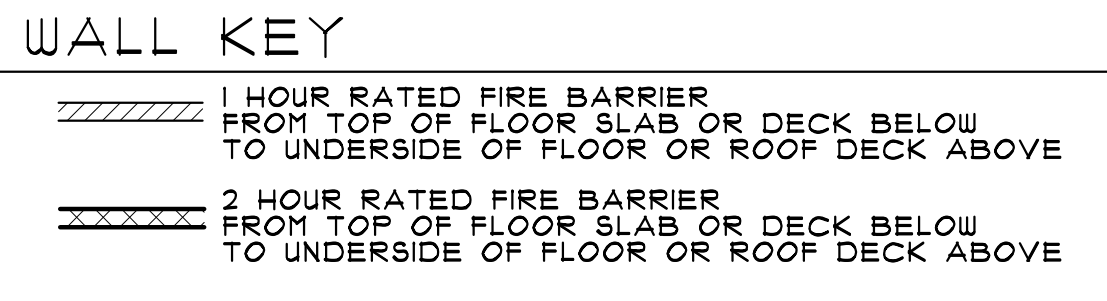
FLOOR PLAN NUMBER NOTES

- EXTERIOR/ENTRY/LOBBY NOTES**
1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 (IC/A301).
 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
 6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK w/ 42" HIGH PREFINISHED METAL GUARD RAIL w/ INTERMEDIATE BALUSTERS 4" O.C.
 8. LINE OF ROOF / FLOOR BELOW.
 9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 / 29/A802.
 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 12. STAIRWAY VERIFY MATERIAL w/ OWNER. TYP. MAX. RISE 11" MIN. TREAD DEPTH.
 13. STRUCTURAL COLUMN w/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL #1/A801 IF POST LESS THAN 8" X 8".
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR. PLUS 12" HORIZ. PAST BOTTOM RISER. NOT USED.
 15. FACE BRICK VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
 16. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
 17. ACCESSIBLE PUSH BUTTON DOOR OPENER 5" MIN. TO 48" MAX. A.F.F.
 18. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS w/ OWNER / G.C.
- CORRIDOR/STAIR/GEN. NOTES**
20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
 22. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
 23. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
 24. EXTEND HANDRAIL 12" PAST TOP RISER.
 25. 42" HIGH HALF WALL w/ WOOD CAP. SLOPE AS REQ'D w/ STAIR.
 26. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
 27. SOUNGING METAL GATES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
 28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION w/ ELEV. MFR.
 29. TWO WAY COMMUNICATION DEVICE / SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1007.4.
 30. FURNISH WALL NEXT TO RATED WALL 2" x 4" WOOD STUDS @ 16" O.C. w/ (1) LAYER OF 5/8" GYP. BD. (1) SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY w/ STRUCTURAL.
 31. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
 32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A721. VERIFY WIDTH w/ MAX. SPAN OF SHGT. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
 33. CONCRETE PATIO RAVERS / STAMPED CONCRETE. VERIFY EXTENTS w/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
 34. STAND PIPE. VERIFY LOCATION w/ FIRE SPRINKLER PLANS.
 35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION w/ G.C.
 36. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A730.
 37. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS w/ ELEV. MFR.
 38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

- MECH./ELECT./STRUCT. NOTES**
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
 41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
 42. LOUVER FOR HVAC EQUIPMENT. VERIFY w/ MECH. (STRUCT. DRAWINGS).
 43. SUMP PIT w/ PUMP. VERIFY LOCATION w/ MECHANICAL DRAWINGS.
 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
 45. GARAGE H.V.B.C. UNIT. SEE FIRE SUPPRESSION PLANS.
 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
 47. ACCESSIBLE WATER CLOSET. PROVIDE LOCKING FOR GRAB BARS. SEE DETAILS 123 / 1C/A301.
 48. TRENCH DRAIN. VERIFY w/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 / 1C/A301.
 50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING 1" DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 51. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.
- GARAGE NOTES**
52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
 53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
 55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
 56. POURED CONCRETE WALL. SEE STRUCTURAL.
 57. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 58. BOLT DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY w/ G.C.
 60. PAINTED PARKING STRIPES.
 61. PAINTED PARKING STRIPES.
 62. ACCESSIBLE PARKING STALL AREA FOR NO PARKING.
 63. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
 64. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
 65. ACCESSIBLE AISLE WITH PAINTED STRIPES. MAX. SLOPE 1:48.
 66. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
 67. O.H.D. OPERATOR LOOP IN SLAB FIELD. VERIFY LOCATION w/ G.C.
 68. CONCRETE APRON w/ TRENCH DRAIN AT O.H. DOOR DRAIN INTO BLDG'S SUMP PIT. VERIFY w/ MECH. PLANS.
 69. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE w/ G.C./OWNER.
 70. FRP ON WALLS OF DOG WASH. VERIFY w/ OWNER / G.C.
 71. FLAMMABLE WASTE WRAP. VERIFY LOCATION w/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 72. 2" x 4" WOOD STUDS @ 16" O.C. w/ (1) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
 73. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
 74. 16" FOURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
 75. COLD WATER HOSE BIB. VERIFY LOCATION w/ G.C.
 76. HOT WATER HOSE BIB. VERIFY LOCATION w/ G.C.
 77. PROVIDE 30% SF. OF RECYCLING SPACE THIS AREA AS REQ'D.
 78. DOG WASH EQUIPMENT. VERIFY w/ OWNER.

- COMMUNITY & BREAK ROOM / PATIO NOTES**
79. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 / 1C/A301.
 80. LINE OF UPPER CABINETS ABOVE.
 81. ACCESSIBLE RANGE. VERIFY WITH G.C. SEE DETAILS 9 / 1C/A301.
 82. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
 83. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
 84. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 / 1C/A301.
 85. ISLAND COUNTERTOP WITH EATING BAR @ 34" A.F.F. COUNTERTOP.
 86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
 87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING 1" DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISHED w/ G.C.
 89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
 90. CLOTHES ROD / SHELF. SEE DETAIL 8C/A301.
 91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
 92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS / DETAIL 4/A301.
 93. 2" x 4" WOOD STUDS @ 16" O.C. w/ (1) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
 94. 2" x FURRED WALL w/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY w/ G.C.
 95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHGT. / 1 HR. RATED ASSEMBLY ABOVE.
 96. PROVIDE GAS CONNECTION FOR BBQ GRILLS w/ REDUCED SHUT OFF. VERIFY LOCATIONS w/ OWNER.
 97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
 98. ONE HOUR RATED 22" x 24" MIN. LOCKING ATTIC ACCESS w/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
 99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A802.
 100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
 101. STRUCTURAL STEEL BEAM ABOVE.
 102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS w/ G.C.
 103. 22" x 34" (MIN.) LOCKING ATTIC ACCESS w/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET. 1/A801.
 - 104.

FIRST FLOOR PLAN - LOBBY AREA
SCALE: 1/4" = 1'-0"



DEVELOPER: **KB KELLER/BAARTMAN**
 ARCHITECTS PLLC
 214 Park Avenue South
 Suite 102
 Bant, MN 55401
 (952) 454-4450
 www.kellerbaartman.com

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WING, MN
 RED WING, MN (651) 388-0000

Project No. 18011
 Submit Date: 10-4-18
 Document Set: PERMIT SET

PLOTTED: 10-4-18 FILE: 18011P COW: 3

A101C



OVERALL THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 21 TOTAL UNITS - 21,214 S.F.

OVERALL SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 26 TOTAL UNITS - 21,214 SF

		UNIT MIX							
	ACCESSIBILITY	1ST FLR.	2ND FLR.	3RD FLR.	4TH FLR.	TOTAL	PATIO/BALCONY	UNIT AREA	% BY TYPE
35 TOTAL	D "D" (STUDIO) (1 BATH)	4	4	8	8	28	YES	445 SF	26%
	A "A" (1 BED) (1 BATH)	5	0	0	0	5	YES	742 SF	
	A "A" (1 BED W/ DEN) (1 BATH)	0	2	2	2	4	YES	851 SF	
	E "E" (1 BED) (1 BATH)	2	2	2	2	8	YES	598 SF	32.5%
	F "F" (1 BED) (1 BATH)	2	2	2	2	8	YES	792 SF	
	G "G" (1 BED W/ DEN) (1 BATH)	0	2	2	2	4	YES	934 SF	
	J "J" (1 BED) (1 BATH)	0	0	1	0	1	NO	1,040 SF	
	J "J" (1 BED) (1 BATH)	0	0	0	1	1	NO	995 SF	
	B "B" (2 BED) (2 BATH)	4	8	8	8	30	YES	1,021 SF	
	B "B.1" (2 BED) (2 BATH)	1	1	1	1	4	YES	1,078 SF	
45 TOTAL	B "B.2" (2 BED) (2 BATH)	0	1	1	1	3	YES	1,035 SF	41.5%
	C "C" (2 BED) (2 BATH)	1	2	2	2	7	YES	1,234 SF	
	C "C.1" (2 BED) (2 BATH)	1	-	-	-	1	YES	1,234 SF	
	TOTAL	24	24	29	29	108			100%

R2 OCCUPANCY REQUIRES 2% MINIMUM "TYPE A" UNITS
 108 TOTAL UNITS WILL REQUIRE 3 MINIMUM "TYPE A" UNITS

COLE GROUP ARCHITECTS LLC
 214 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 www.colegrouparchitects.com
 Phone: 763-228-2288
 Fax: 763-228-2289
 Name: NORMAN E. COLE, Signature

DEVELOPER: **KB KELLER/BAARTMAN**
 RED WING, MN
 (651) 388-0000

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WING, MN

REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS

Project No. 18011
 Submittal Date: 10-4-18
 Document Set: PERMIT SET

PLOTTED: 10-4-18 FILE: 18011P.COM: 3

A102

FLOOR PLAN NUMBER NOTES

- EXTERIOR/ENTRY/LOBBY NOTES**
1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 1 I 1C/A301.
 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
 6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK $\frac{1}{4}$ " 42" HIGH PREFINISHED METAL GUARD RAIL $\frac{1}{4}$ " INTERMEDIATE BALUSTERS 4" O.C.
 8. LINE OF ROOF / FLOOR BELOW.
 9. LINE OF ROOF, FLOOR OR BALCONY ABOVE, SHOWN DASHED.
 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 2I/A802.
 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 12. STAIRWAY. VERIFY MATERIAL $\frac{1}{4}$ " OUNER. 1" MAX RISE 11" MIN TREAD DEPTH.
 13. STRUCTURAL COLUMN $\frac{1}{4}$ " DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A801 IF POST LESS THAN 8'X8'.
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER. NOT USED.
 15. FACE BRICK VENEER. SEE ELEVATIONS. VERIFY $\frac{1}{4}$ " OUNER.
 16. CULTURED STONE VENEER. SEE ELEVATIONS. VERIFY $\frac{1}{4}$ " OUNER.
 17. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
 18. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS $\frac{1}{4}$ " OUNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
22. HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
23. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
24. EXTEND HANDRAIL 12" PAST TOP RISER.
25. 2" HIGH HALF WALL $\frac{1}{4}$ " WOOD CAP. SLOPE AS REQ'D $\frac{1}{4}$ " STAIR.
26. 2" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
27. SUNGLASS METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION $\frac{1}{4}$ " ELEV. MFR.
29. TWO WAY COMMUNICATION DEVICE I SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1001.8.
30. FURRING WALL NEXT TO RATED WALL. 2"x4" UD STUDS 4" O.C. $\frac{1}{4}$ " LAYER OF 5/8" GYP. BD I SOUND INSUL. ADD RC-CHANNEL ON CORRIDOR SIDE. VERIFY $\frac{1}{4}$ " STRUCTURAL.
31. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A701. VERIFY WIDTH $\frac{1}{4}$ " MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
33. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS $\frac{1}{4}$ " OUNER. SLOPE AWAY FROM BUILDING AS REQ'D.
34. STAND PIPE. VERIFY LOCATION $\frac{1}{4}$ " FIRE SPRINKLER PLANS.
35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION $\frac{1}{4}$ " G.C.
36. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A710.
37. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS $\frac{1}{4}$ " ELEV. MFR.
38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED, TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
40. SERVICES SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
42. LOWER FOR HVAC EQUIPMENT. VERIFY $\frac{1}{4}$ " MECH. I STRUCT. DRAWINGS.
43. SUMP PIT $\frac{1}{4}$ " SUMP. VERIFY LOCATION $\frac{1}{4}$ " MECHANICAL DRAWINGS.
44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
46. 2 HR RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 I 1C/A301.
48. TRENCH DRAIN. VERIFY $\frac{1}{4}$ " MECHANICAL DRAWINGS. SEE DET. 35/A803.
49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I 1C/A301.
50. ELECTRIC FIREPLACE WITH MANTLE, SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS, SHELVING I DATA REQUIREMENTS $\frac{1}{4}$ " OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
51. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.

GARAGE NOTES

52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE, SHOWN DASHED. SEE STRUCTURAL PLANS.
55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
56. POURED CONCRETE WALL. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY $\frac{1}{4}$ " G.C.
60. PAINTED PARKING STRIPES.
61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
63. ACCESSIBLE PARKING STALL. MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
66. O.H.D. OPERATOR LOOP IN SLAB. FIELD VERIFY LOCATION $\frac{1}{4}$ " G.C.
67. CONCRETE APRON $\frac{1}{4}$ " TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY $\frac{1}{4}$ " MECH. PLANS.
68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE $\frac{1}{4}$ " G.C./OUNER.
69. FRP ON WALLS OF DOG WASH. VERIFY $\frac{1}{4}$ " OUNER / G.C.
70. FLAMMABLE WASTE WRAP. VERIFY LOCATION $\frac{1}{4}$ " MECH. DRAWINGS. SEE DETAIL 34/A803.
71. 2"x4" METAL STUD FURRING LOBBY FOR ELECTRICAL $\frac{1}{4}$ " MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
73. 1" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
74. COLD WATER HOSE BIB. VERIFY LOCATION $\frac{1}{4}$ " G.C.
75. HOT WATER HOSE BIB. VERIFY LOCATION $\frac{1}{4}$ " G.C.
76. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
77. DOG WASH EQUIPMENT. VERIFY $\frac{1}{4}$ " OUNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOIL SINK. SEE DETAILS 9 I 1C/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE I VENT LESS HOOD. SEE DETAILS 9 I 1C/A301.
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 9' 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I 1C/A301.
84. COUNTER TOP WITH BASE CABINETS BELOW 9' 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTERTOP WITH EATING BAR 9' 34" A.F.F. COUNTERTOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE, SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS, SHELVING I DATA REQUIREMENTS $\frac{1}{4}$ " OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH WITH G.C.
89. PROVIDE 4" V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD I SHELF. SEE DETAIL 18C/A301.
91. ACCESSIBLE TURNING CLEARANCES SHOWN DASHED. SEE DETAIL 14C/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 4/A301.
93. 2"x4" WOOD STUDS 4" O.C. $\frac{1}{4}$ " LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 3" FURRED WALL $\frac{1}{4}$ " 5/8" GYP. BOARD. PROVIDE SOUND INSUL. VERIFY $\frac{1}{4}$ " G.C.
95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS $\frac{1}{4}$ " REQUIRED SHUT OFF. VERIFY LOCATIONS $\frac{1}{4}$ " OUNER.
97. VENDING MACHINES. VERIFY TYPE WITH OUNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 22" X 34" MIN. LOCKING ATTIC ACCESS $\frac{1}{4}$ " R-4 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A803.
100. 1 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
101. STRUCTURAL STEEL BEAM ABOVE.
102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS $\frac{1}{4}$ " G.C.
103. 22" X 34" MIN. LOCKING ATTIC ACCESS $\frac{1}{4}$ " R-4 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
- 104.

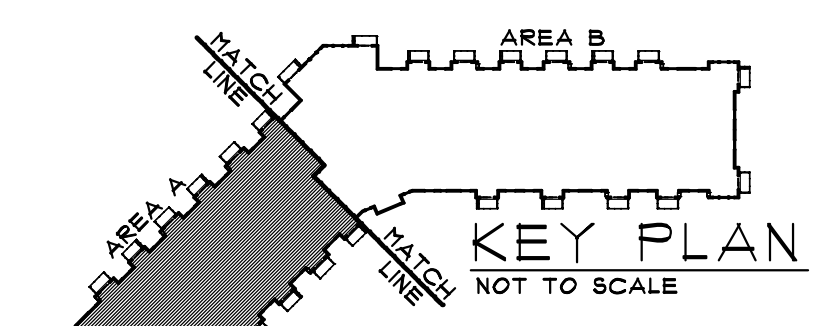


GENERAL NOTES:

- VERIFY ADDITIONAL FINISH REQ'S. $\frac{1}{4}$ " INTERIOR DESIGNER I F.F.I.E. SUPPLIER.
- ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAINSCOT 48" A.F.F. ON WET WALLS (MIN.).
- PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION $\frac{1}{4}$ " FIRE MARSHAL.
- PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION $\frac{1}{4}$ " FIRE MARSHAL.
- PROVIDE TEMPERED/SAFETY GLASS 9" ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- ALL DOOR HARDWARE TO BE LEVER TYPE.
- VERIFY ALL SPECIALTY EQUIPMENT $\frac{1}{4}$ " G.C.
- PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION $\frac{1}{4}$ " FIRE MARSHAL.
- PROVIDE FRP WALL PANELS 9" JANITOR CLOSET AS REQ'D.
- FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- VERIFY ELEVATOR SHAFT SIZE $\frac{1}{4}$ " SUPPLIER.
- HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.

SECOND FLOOR PLAN - AREA "A"
SCALE: 1/8" = 1'-0"

WALL KEY
2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE



DEVELOPER: **KB KELLER/BAARTMAN** ARCHITECTS LLC
 216 Park Avenue South, Suite 102, Saint Cloud, MN 56301
 (507) 354-4450
 www.kbbaartmanarchitects.com

PROPOSED 108 UNIT: **PARK PLACE APARTMENTS**
 RED WING, MN
 RED WING, MN (651) 388-0000

PROJECT NO. 18011
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET

A102A

PLOTTED: 10-4-18 FILE: 18011P.COM: 3

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 1 (15C/A30).
2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
3. FIRE DEPARTMENT HOSE CONNECTION VERIFY LOCATION WITH FIRE MARSHAL.
4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
6. INTERCOM SECURITY SYSTEM. SEE ELEC'T PLANS.
7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 4" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4" O.C.
8. LINE OF ROOF / FLOOR BELOW.
9. LINE OF ROOF/FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 (29/A802).
11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
12. STAIRWAY. VERIFY MATERIAL W/ OWNER. T MAX. RISE 11" MIN. TREAD DEPTH. STRUCTURAL COLUMN/RESISTIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A801 IF POST LESS THAN 8'X8'.
13. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
14. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
15. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
16. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
17. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING. VERIFY ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
22. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
23. EXTEND HANDRAIL 11" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
24. EXTEND HANDRAIL 12" PAST TOP RISER.
25. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
26. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
27. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
28. TWO WAY COMMUNICATION DEVICE 1 SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 0018.
29. FURRING WALL NEXT TO RATED WALL. 2"x4" UD. STUDS 16" O.C. W/ (1) LAYER OF 5/8" GYP. BD. 1 SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
30. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
31. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 17/A71. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
32. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
33. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
34. PROVIDE ELECTRIC FOR VENDING MACHINES. VERIFY ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
35. 24" DIA. REEFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 17/A71.
36. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
37. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

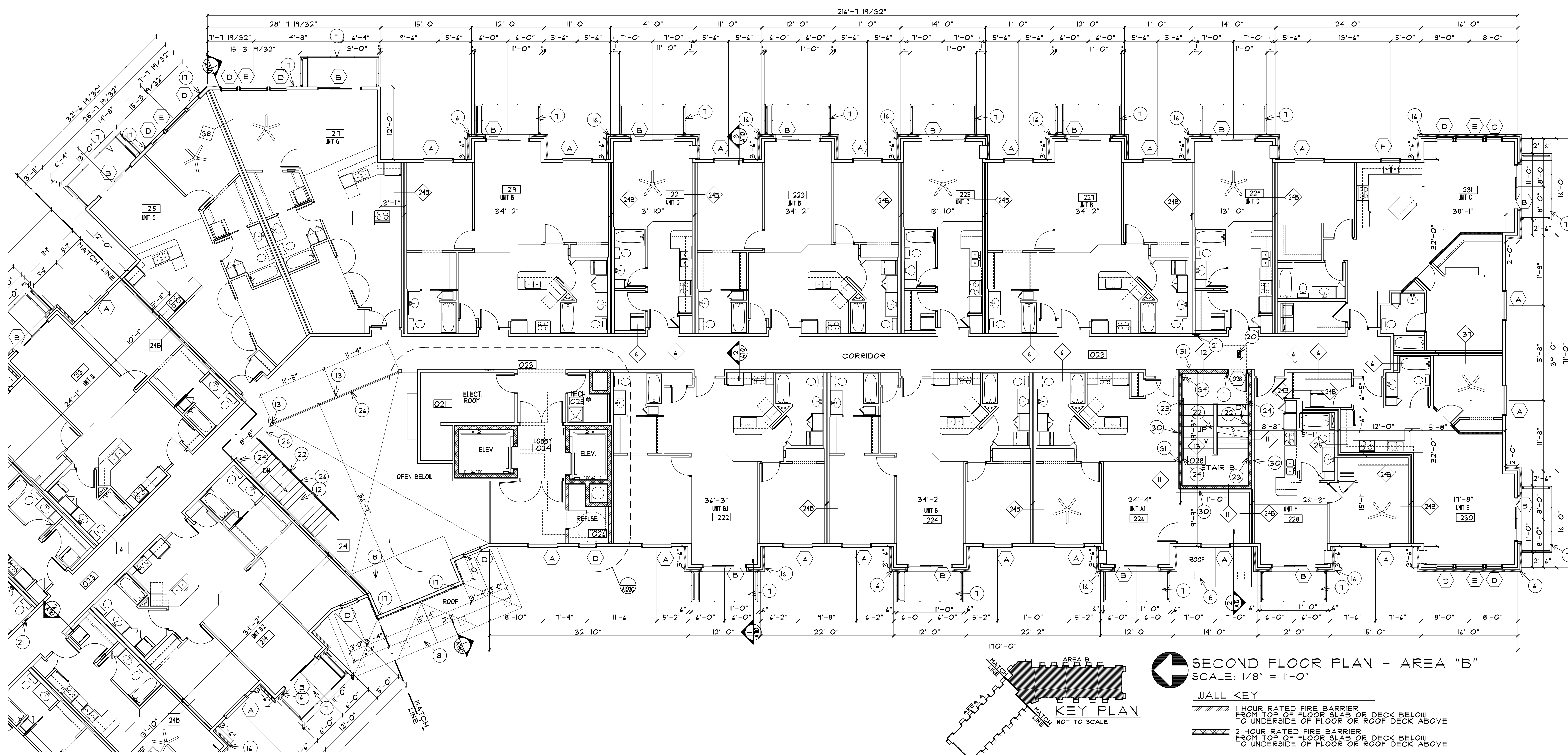
38. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
39. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
40. FOR EQUIPMENT THIS ROOF/CHASE. SEE MECHANICAL/ELECTRICAL PLANS.
41. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
42. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
43. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
44. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
45. 2 HR RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
46. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 (1C/A30).
47. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
48. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 (1C/A30).
49. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY. SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
50. SOFFIT LIGHTING ABOVE. SEE ELEC'T PLANS.

GARAGE NOTES

51. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
52. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
53. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
54. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
55. POURED CONCRETE WALL. SEE STRUCTURAL.
56. FOUNDED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
57. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
58. FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
59. PAINTED PARKING STRIPES.
60. PAINTED PARKING STRIPED AREA FOR NO PARKING.
61. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
62. ACCESSIBLE PARKING STALL MAX. SLOPE 1/8" WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
63. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1/8".
64. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
65. O.H.D. OPERATOR LOOP IN FIELD. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 36/A803.
66. CONCRETE APRON W/ TRENCH DRAIN AT G.C. DOOR DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
67. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
68. FRP ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
69. FLAMMABLE WASTE WRAP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 36/A803.
70. 2X4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
71. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
72. FOUNDATION WALL. SEE STRUCTURAL.
73. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
74. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
75. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
76. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY + BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 (1C/A30).
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE I VENT LESS HOOD. SEE DETAILS 9 (1C/A30).
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
82. PROVIDE SPACE FOR MICROVAPE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 9' 3" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 (1C/A30).
84. COUNTER TOP WITH BASE CABINETS BELOW 9' 3" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTER TOP WITH EATING BAR 9' 3" A.F.F. COUNTER TOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY. SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR SILKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD I SHELF. SEE DETAIL 8C/A301.
91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 14/A301.
93. 2"X WOOD STUDS 16" O.C. W/ (1) LAYER OF 5/8" GYPSUM BOARD. VERIFY SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 2X FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 22" X 34" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 17/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A030.
100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
101. CONCRETE BEAM ABOVE.
102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
103. 22" X 34" (MIN) LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 17/A801.
- 104.



SECOND FLOOR PLAN - AREA "B"
 SCALE: 1/8" = 1'-0"

WALL KEY

- 1 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR OR DECK BELOW TO UNDERSIDE OF FLOOR OR DECK ABOVE
- 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR DECK ABOVE

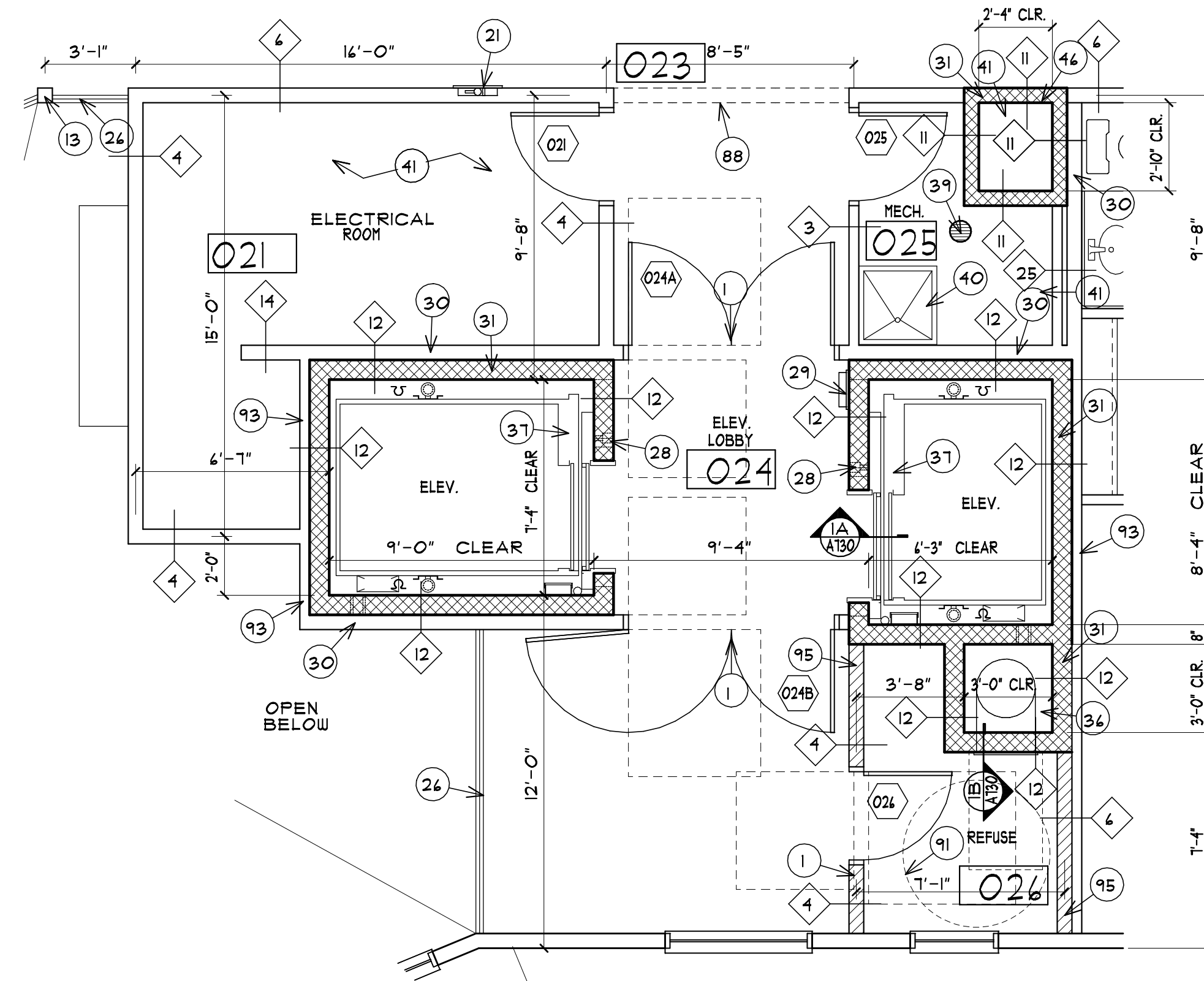
KEY PLAN
 NOT TO SCALE

DEVELOPER: **KB KELLER/BAARTMAN**
 PROJECT: **PARK PLACE APARTMENTS**
 REID WING, MN
 REID WING, MN
 (651) 388-0000

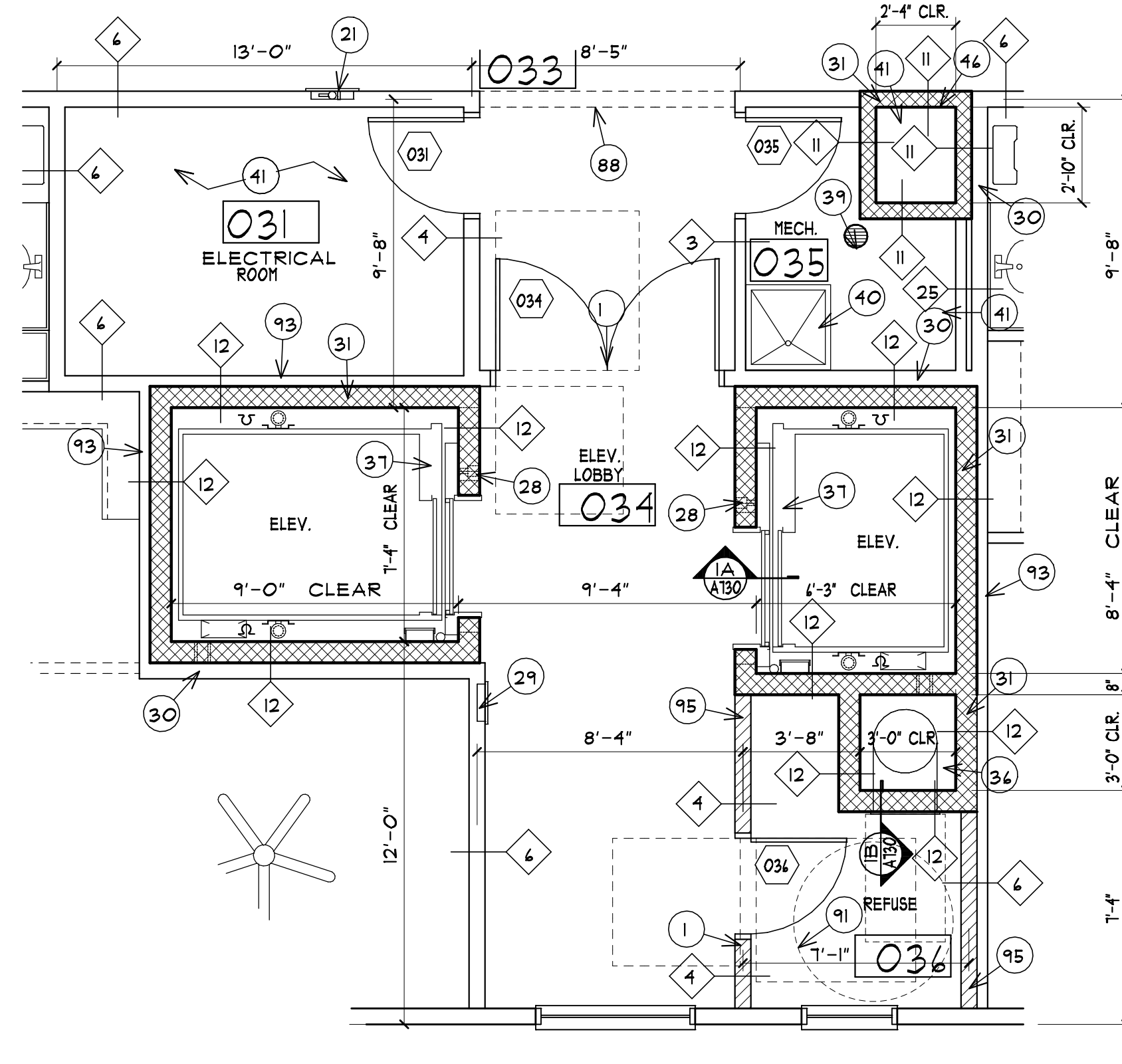
PROJECT NO. 18011
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET

PLOTTED: 10-4-18 FILE: 1801P1 COM: 3

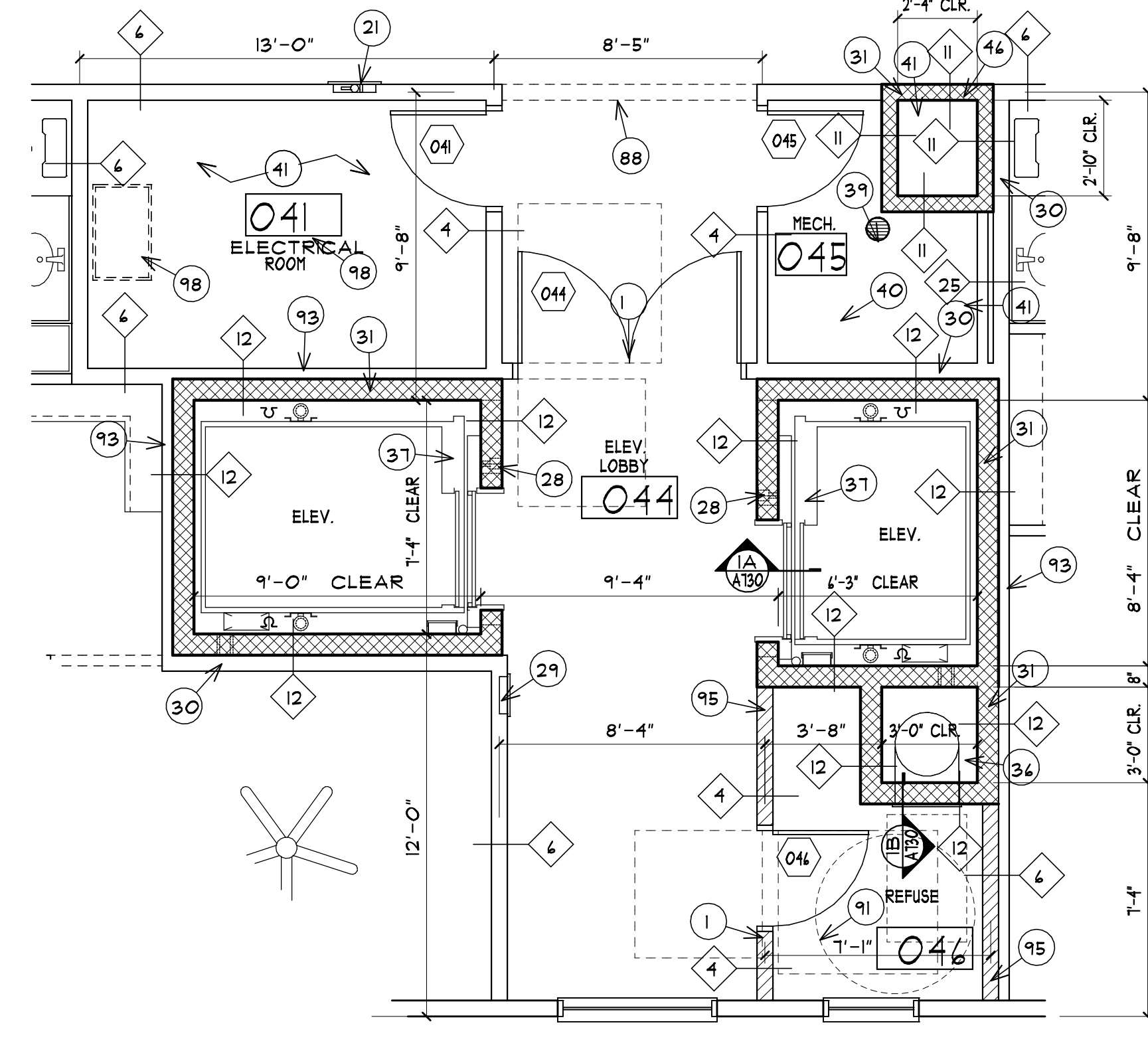
THESE DOCUMENTS ARE NOT VALID FOR BUILDING PERMIT UNLESS SIGNED IN MN AND OVER SEALED. CHANGES ARE NOT VALID UNLESS CERTIFIED THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 DATE: 10-11-18 1:22PM
 NAME: MORRIS E. COLE, LICENSE NO. 12218
 SIGNATURE: [Signature]



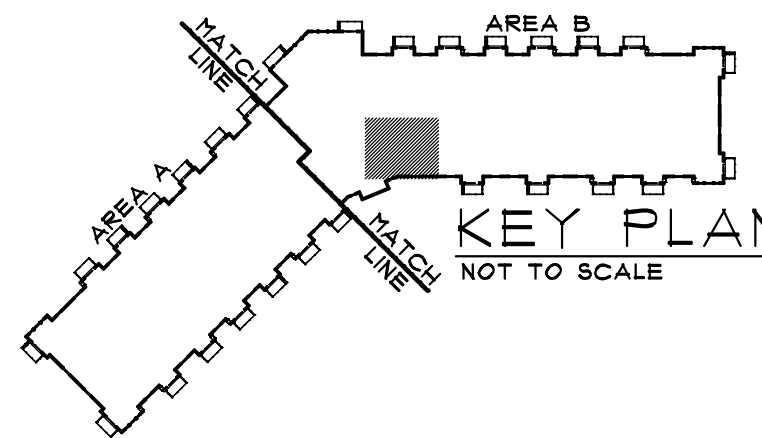
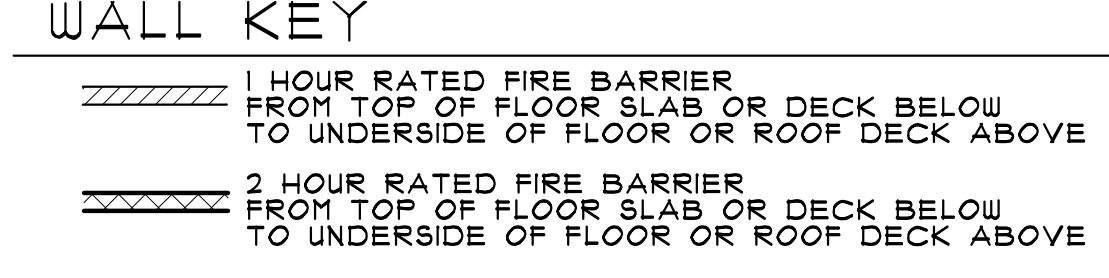
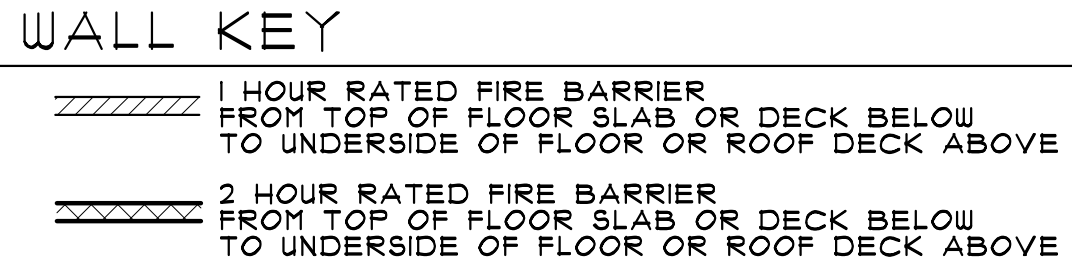
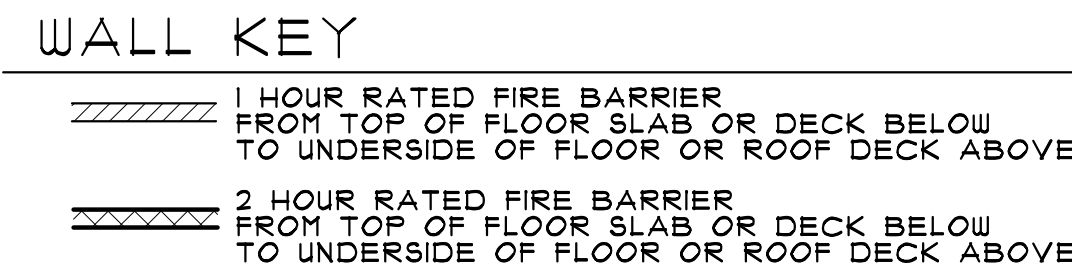
① SECOND FLOOR PLAN - ELEVATOR LOBBY
SCALE: 1/4" = 1'-0"



② THIRD FLOOR PLAN - ELEVATOR LOBBY
SCALE: 1/4" = 1'-0"



③ FOURTH FLOOR PLAN - ELEVATOR LOBBY
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- A) VERIFY ADDITIONAL FINISH REQ'S. w/ INTERIOR DESIGNER I F.F.I.E. SUPPLIER
 - B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAINSCOT 48" A.F.F. ON WET WALLS (MIN).
 - C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
 - D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
 - E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
 - F) ALL DOOR HARDWARE TO BE LEVER TYPE.
 - G) VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
 - H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
 - I) PROVIDE F.R.P. WALL PANELS @ JANITOR CLOSET AS REQ'D.
 - J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
 - K) VERIFY ELEVATOR SHAFT SIZE w/ SUPPLIER.
 - L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.

- FLOOR PLAN NUMBER NOTES**
- EXTERIOR/ENTRY/LOBBY NOTES**
1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 & 12/A301.
 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D. ADA CLEARANCES. SEE STRUCTURAL PLANS.
 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHALL.
 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHALL.
 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHALL.
 6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK w/ 42" HIGH PREFINISHED METAL GUARD RAIL w/ INTERMEDIATE BALUSTERS 4" O.C.
 8. LINE OF ROOF / FLOOR BELOW.
 9. LINE OF ROOF, FLOOR OR BALCONY ABOVE SHOWN DASHED.
 10. RECESSED MAIL BOXES. VERIFY STYLE AND SITE WITH G.C. SEE DETAILS 28 & 29/A802.
 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 12. STAIRWAY. VERIFY MATERIAL w/ OWNER. 1" MAX. RISE 11" MIN. TREAD DEPTH.
 13. STRUCTURAL COLUMN w/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 41/A301 IF POST LESS THAN 8"X8".
 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
 15. NOT USED.
 16. FACE BRICK VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
 17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
 18. ACCESSIBLE PUSH BUTTON DOOR OPENER 5" MIN. TO 48" MAX. A.F.F.
 19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS w/ OWNER / G.C.
- CORRIDOR/STAIR/GEN. NOTES**
20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
 21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHALL.
 22. HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
 23. EXTEND HANDRAIL 12" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
 24. EXTEND HANDRAIL 12" PAST TOP RISER.
 25. 42" HIGH HALF WALL w/ WOOD CAP. SLOPE AS REQ'D w/ STAIR.
 26. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS # 4" O.C. MAX.
 27. SINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
 28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION w/ ELEV. MFGR.
 29. TWO WAY COMMUNICATION DEVICE & SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1001.8.
 30. FURRING WALL NEXT TO RATED WALL. 2"x2" WOOD STUDS # 18" O.C. w/ (1) LAYER OF 5/8" GYP. BD & SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY w/ STRUCTURAL.
 31. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL, OR PIPING ALLOWED WITHIN THE WALL.
 32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 11/A121. VERIFY WIDTH w/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
 33. CONCRETE PATIERS / STAINED CONCRETE. VERIFY EXTENTS w/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
 34. STAND PIPE. VERIFY LOCATION w/ FIRE SPRINKLER PLANS.
 35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION w/ G.C.
 36. 24" DIA. REVERSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 14/A301.
 37. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS w/ ELEV. MFGR.
 38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

- MECH./ELECT./STRUCT. NOTES**
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
 41. LOUVER FOR HVAC EQUIPMENT. VERIFY w/ MECH. I STRUCT. DRAWINGS.
 42. SUMP PIT w/ PUMP. VERIFY LOCATION w/ MECHANICAL DRAWINGS.
 43. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
 44. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
 45. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
 46. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 12.3 & 13/A301.
 47. TRENCH DRAIN. VERIFY w/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
 48. ACCESSIBLE WALL HUNG LAVATORY. VERIFY DETAILS 4 & 10/A301.
 49. ELECTRIC FIREPLACE WITH MANTLE, SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING & DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 50. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.
- GARAGE NOTES**
51. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
 52. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHALL. SEE DETAIL 10/A301.
 53. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
 54. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
 55. POURED CONCRETE WALL. SEE STRUCTURAL.
 56. 12" POURED CONCRETE FOUNDATION. VERIFY WITH STRUCTURAL.
 57. BOL. DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
 58. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY w/ G.C.
 59. PAINTED PARKING STRIPES.
 60. PAINTED PARKING STRIPED AREA FOR NO PARKING.
 61. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
 62. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
 63. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
 64. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
 65. O.H.D. OPERATOR LOOP IN SLAB. FIELD VERIFY LOCATION w/ G.C.
 66. CONCRETE APRON w/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY w/ MECH. PLANS.
 67. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE w/ G.C./OWNER.
 68. FR.P. ON WALLS OF DOG WASH. VERIFY w/ OWNER / G.C.
 69. FLAMMABLE WASTE URN. VERIFY LOCATION w/ MECH. DRAWINGS. SEE DETAIL 34/A803.
 70. 2X4 METAL STUD FURRING LOBBY FOR ELECTRICAL w/ MOISTURE RESISTANT GYPSUM BOARD ON ONE SIDE.
 71. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
 72. 12" POURED CONCRETE FOUNDATION. VERIFY WITH STRUCTURAL.
 73. COLD WATER HOSE BIB. VERIFY LOCATION w/ G.C.
 74. HOT WATER HOSE BIB. VERIFY LOCATION w/ G.C.
 75. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
 76. DOG WASH EQUIPMENT. VERIFY w/ OWNER.

- COMMUNITY & BREAK ROOM / PATIO NOTES**
77. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
 78. ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 14/A301.
 79. LINE OF UPPER CABINETS ABOVE.
 80. ACCESSIBLE RANGE 1 VENT LESS HOOD. SEE DETAILS 9 & 9C/A301.
 81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
 82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
 83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 & 10C/A301.
 84. COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
 85. ISLAND COUNTERTOP WITH EATING BAR @ 34" A.F.F. COUNTERTOP.
 86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
 87. GAS FIREPLACE WITH MANTLE, SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING & DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
 88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH w/ G.C.
 89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
 90. CLOTHES ROD 1 SHELF. SEE DETAIL 18C/A301.
 91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
 92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 14/A301.
 93. 2"x4" WOOD STUDS # 18" O.C. w/ (1) LAYER OF 5/8" GYP. BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
 94. 2X FURRED WALL w/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY w/ G.C.
 95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. 7' 1 HR. RATED ASSEMBLY ABOVE.
 96. PROVIDE GAS CONNECTION FOR BBQ GRILLS w/ REQUIRED SHUT OFF. VERIFY LOCATIONS w/ OWNER.
 97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
 98. ONE HOUR RATED 22" x 34" MIN. LOCKING ATTIC ACCESS w/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
 99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A800.
 100. 2 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
 101. STRUCTURAL STEEL BEAM ABOVE.
 102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS w/ G.C.
 103. 22" x 34" MIN. LOCKING ATTIC ACCESS w/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
 104. -

These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.

Date: 10-14-18 # 22288
 New YORKMAN E. COLE, License # 154301
 Signature

DEVELOPER: **KB KELLER/BAARTMAN** PERFORMING ARTISTS
 RED WING, MN
 (651) 388-0000

PROPOSED 108 UNIT: **PARK PLACE APARTMENTS**
 RED WING, MN

REVISIONS COMMENTS

Project No. 18011
 Submittal Date: 10-4-18
 Document Set: PERMIT SET

A102C

FILE: 18011P COM: 3
 PLOTTED: 10-4-18

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 1 I 1C/A301.
2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
3. FIRE DEPARTMENT HOSE CONNECTION VERIFY LOCATION WITH FIRE MARSHAL.
4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4" O.C.
8. LINE OF ROOF / FLOOR BELOW.
9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 I 29/A802.
11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
12. STAIRWAY VERIFY MATERIAL W/ OWNER. T MAX RISE 1" MIN. TREAD DEPTH.
13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A301 IF POST LESS THAN 8"x8".
14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
15. NOT USED.
16. FACE BRICK VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY W/ OWNER.
18. ACCESSIBLE PUSH BUTTON DOOR OPENER 5" MIN. TO 48" MAX. A.F.F.
19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
22. HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
23. EXTEND HANDRAIL 1" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
24. EXTEND HANDRAIL 12" PAST TOP RISER.
25. 42" HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
26. 42" HIGH GUARDRAIL W/ INTERMEDIATE BALUSTERS 4" O.C. MAX.
27. SWINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
29. TWO WAY COMMUNICATION DEVICE I SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 10018.
30. FURRING WALL NEXT TO RATED WALL. 2"x2" WD. STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYP. BD I SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
31. FLOOR OR ROOF DECK ABOVE NO MECHANICAL ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A71. VERIFY WIDTH W/ MAX. SPAN OF SHGT.
33. NAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
34. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
35. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
37. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A730.
38. 2 HOUR RATED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
39. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED, TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

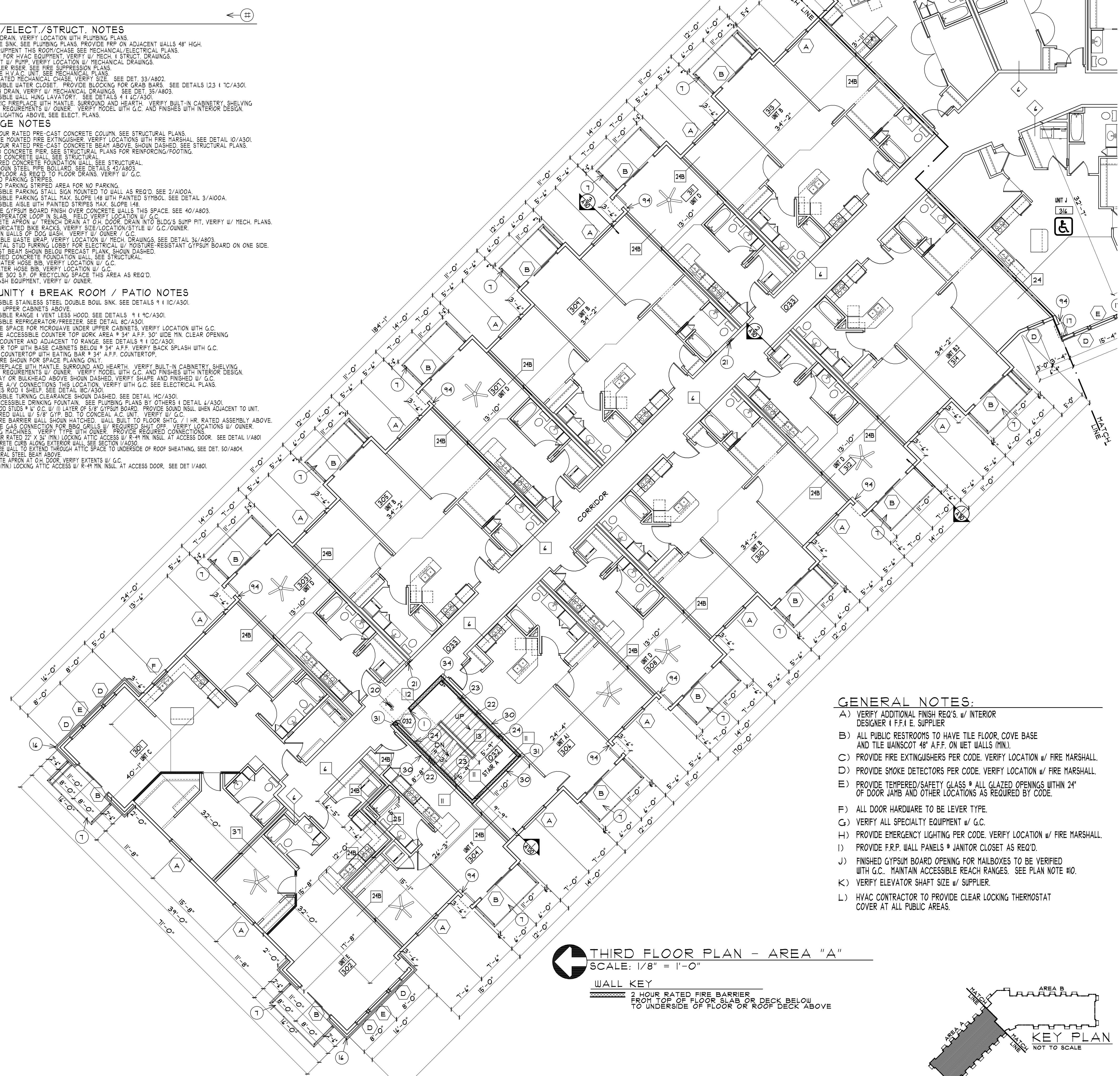
39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
41. FOR EQUIPMENT THIS ROOM/CHASE. SEE MECHANICAL ELECTRICAL PLANS.
42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. I STRUCT. DRAWINGS.
43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
44. SPRINKLER RISER. SEE FIRE SUPPRESSION AND MECHANICAL PLANS.
45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET 33/A802.
47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 I 7C/A301.
48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET 35/A803.
49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 I 1C/A301.
50. ELECTRIC FIREPLACE WITH MANTLE. SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
51. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.

GARAGE NOTES

52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
56. POURED CONCRETE WALL. SEE STRUCTURAL.
57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
60. PAINTED PARKING STRIPES.
61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
63. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
66. O.H.D. OPERATOR LOCK ON SLAB FIELD. VERIFY LOCATION W/ G.C.
67. CONCRETE APRON W/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
68. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE W/ G.C./OWNER.
69. FRP ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
70. FLAMMABLE WASTE WRAP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 31/A803.
71. 2X4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE RESISTANT GYPSUM BOARD ON ONE SIDE.
72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
73. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
76. PROVIDE 30% S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
77. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 I 1C/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE I VENT LESS HOOD. SEE DETAILS 9 I 1C/A301.
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 9' 3" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 I 1C/A301.
84. COUNTER TOP WITH BASE CABINETS BELOW 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTER TOP WITH EATING BAR 34" A.F.F. COUNTER TOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE, SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY, SHELVING I DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
89. PROVIDE A/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD I SHELF. SEE DETAIL 8C/A301.
91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 1C/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 1/A301.
93. 2"x4" WOOD STUDS @ 16" O.C. W/ (1) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 2X FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
95. 1 HR. FIRE BARRIER ABOVE HATCHED FLOOR SHGT. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 22" X 24" MIN. LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A030.
00. 3 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
01. STRUCTURAL STEEL BEAM ABOVE.
02. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
03. 22" 3/4" (MIN.) LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
- 04.

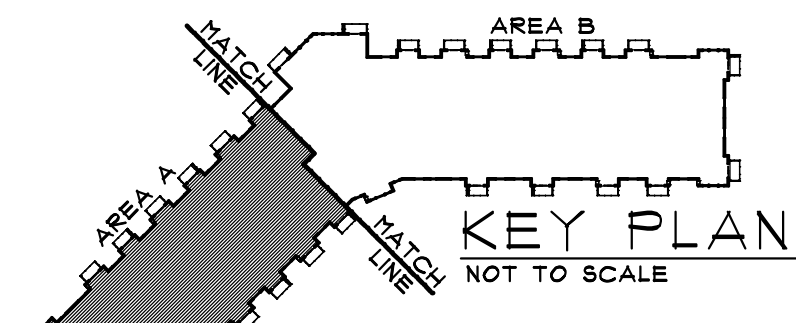


THIRD FLOOR PLAN - AREA "A"
SCALE: 1/8" = 1'-0"

WALL KEY
2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. W/ INTERIOR DESIGNER I F.F.I.E. SUPPLIER
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAJSCOTT 48" A.F.F. ON WET WALLS (MIN.)
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- I) PROVIDE FRP WALL PANELS @ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE W/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.



DEVELOPER: PROPOSED 108 UNIT: **PARK PLACE APARTMENTS** RED WING, MN
 (651) 388-0000
 DEVELOPER: **COLE GROUP ARCHITECTS LLC**
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (320) 454-4450
 www.colegrouparchitect.com
 These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid.
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.
 Date: 10/1/18
 No. 22288
 Name: MORRIS E. COLE
 Signature:

Project No. 18011
 Submit Date: 10-4-18
 Document Set: PERMIT SET
 PLOTTED: 10-4-18 FILE: 18011P.COM: 3
A103A

FLOOR PLAN NUMBER NOTES

EXTERIOR/ENTRY/LOBBY NOTES

1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 1 & 15C/A301.
2. FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHAL.
4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHAL.
6. INTERCOM SECURITY SYSTEM. SEE ELEC. PLANS.
7. CONCRETE RATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK W/ 42" HIGH PREFINISHED METAL GUARD RAIL W/ INTERMEDIATE BALUSTERS 4' O.C.
8. LINE OF ROOF / FLOOR BELOW.
9. LINE OF ROOF, FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 & 29/A802.
11. FLOORING MATERIAL. VERIFY WITH G.C. SEE DETAILS 42/A803.
12. STAIRWAY. VERIFY MATERIAL W/ OWNER. T' MAX. RISE 11" MIN. TREAD DEPTH.
13. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A801 IF POST LESS THAN 8'x8'.
14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
15. NOT USED.
16. FACE BRICK VENEER. SEE ELEVATIONS. VERIFY W/ OWNER.
17. CULTURED STONE VENEER. SEE ELEVATIONS. VERIFY W/ OWNER.
18. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS W/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
21. FIRE EXTINGUISHER IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
22. HANDRAIL MOUNTED 34"-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
23. EXTEND HANDRAIL 1" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
24. EXTEND HANDRAIL 12" PAST TOP RISER.
25. 42" HIGH HALF WALL W/ WOOD CAP. SLOPE AS REQ'D W/ STAIR.
26. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4' O.C. MAX.
27. SINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF AN EMERGENCY.
28. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION W/ ELEV. MFR.
29. TWO WAY COMMUNICATION DEVICE + SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1007.8.
30. FURRING WALL NEXT TO RATED WALL: 2" X 4" UD. STUDS @ 16" O.C. W/ (II) LAYER OF 5/8" GYP. BD. 1 SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY W/ STRUCTURAL.
31. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
32. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A713. VERIFY WIDTH W/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
33. CONCRETE FATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
34. STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
35. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION W/ G.C.
36. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAF. SEE DETAIL 1/A7130.
37. 2 HOUR RATED ELEVATOR. VERIFY SHAF CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
38. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED. TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
42. LOUVER FOR HVAC EQUIPMENT. VERIFY W/ MECH. / STRUCT. DRAWINGS.
43. SUMP PIT W/ PUMP. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 & 10/A301.
48. TRENCH DRAIN. VERIFY W/ MECHANICAL DRAWINGS. SEE DET. 33/A803.
49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 & 15C/A301.
50. ELECTRIC FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY SHELVING. DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
51. SOFFIT LIGHTING ABOVE. SEE ELEC. PLANS.

GARAGE NOTES

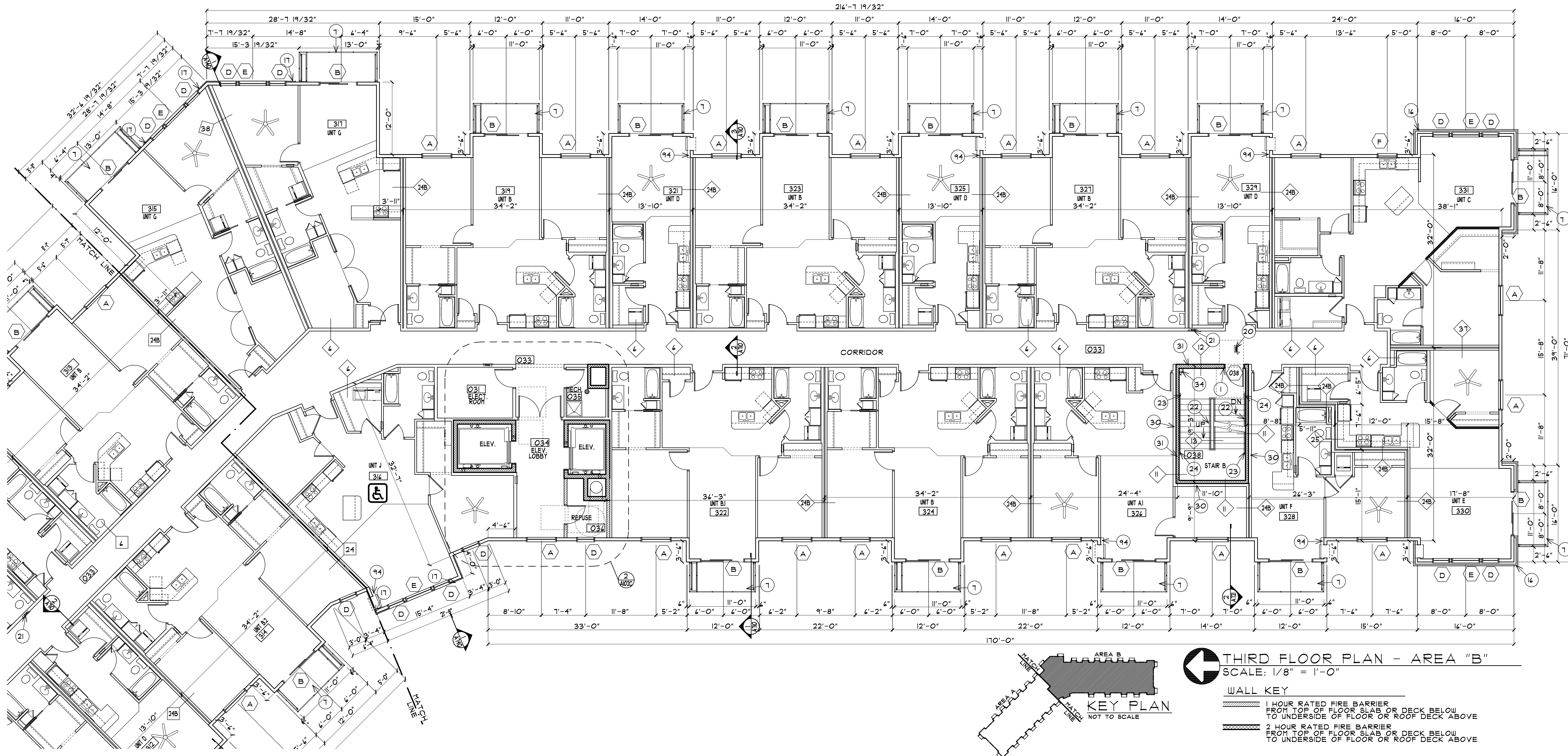
52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHAL. SEE DETAIL 10/A301.
54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
55. POURED CONCRETE PIER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
56. POURED CONCRETE WALL. SEE STRUCTURAL.
57. 12" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
58. BOLT-DOWN STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY W/ G.C.
60. PAINTED PARKING STRIPES.
61. PAINTED PARKING STRIPED AREA FOR NO PARKING.
62. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
63. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
64. ACCESSIBLE AISLE WITH PAINTED STRIPES MAX. SLOPE 1:48.
65. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
66. O.H.D. OPERATOR LOOP IN SLAB. FIELD. VERIFY LOCATION W/ G.C.
67. CONCRETE APRON W/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY W/ MECH. PLANS.
68. PREFABRICATED BKE RACKS. VERIFY SEE LOCATION/STYLE W/ G.C./OWNER.
69. FRP ON WALLS OF DOG WASH. VERIFY W/ OWNER / G.C.
70. FLAMMABLE WASTE W/REP. VERIFY LOCATION W/ MECH. DRAWINGS. SEE DETAIL 34/A803.
71. 2x4 METAL STUD FURRING LOBBY FOR ELECTRICAL W/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
72. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
73. 4" POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
74. COLD WATER HOSE BIB. VERIFY LOCATION W/ G.C.
75. HOT WATER HOSE BIB. VERIFY LOCATION W/ G.C.
76. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
77. DOG WASH EQUIPMENT. VERIFY W/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

78. ACCESSIBLE STAINLESS STEEL DOUBLE BOWL SINK. SEE DETAILS 9 & 10/A301.
79. LINE OF UPPER CABINETS ABOVE.
80. ACCESSIBLE RANGE 1 VENT LESS HOOD. SEE DETAILS 9 & 10/A301.
81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 80/A301.
82. PROVIDE SPACE FOR MICROVAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA 9'34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 & 10/A301.
84. COUNTER TOP WITH BASE CABINETS BELOW 9'34" A.F.F. VERIFY BACK SPLASH WITH G.C.
85. ISLAND COUNTERTOP WITH EATING BAR 9'34" A.F.F. COUNTERTOP.
86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
87. GAS FIREPLACE WITH MANTLE SURROUND AND HEARTH. VERIFY BUILT-IN CABINETRY SHELVING. DATA REQUIREMENTS W/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
88. ARCHWAY OR BULKHEAD ABOVE SHOWN DASHED. VERIFY SHAPE AND FINISH W/ G.C.
89. PROVIDE 4"X" CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
90. CLOTHES ROD 1 SHELF. SEE DETAIL 102/A301.
91. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
92. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS + DETAIL 4/A301.
93. 2"X4" WOOD STUDS 16" O.C. W/ (II) LAYER OF 5/8" GYP. BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
94. 2"X4" FURRED WALL W/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY W/ G.C.
95. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHG. / 1 HR. RATED ASSEMBLY ABOVE.
96. PROVIDE GAS CONNECTION FOR BBQ GRILLS W/ REQUIRED SHUT OFF. VERIFY LOCATIONS W/ OWNER.
97. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
98. ONE HOUR RATED 22" X 34" (MIN) LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
99. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A800.
100. 3 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
101. STRUCTURAL STEEL BEAM ABOVE.
102. CONCRETE APRON AT O.H. DOOR. VERIFY EXTENTS W/ G.C.
103. 22" X 34" (MIN) LOCKING ATTIC ACCESS W/ R-49 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
104. -

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. W/ INTERIOR DESIGNER / F.F.I.E. SUPPLIER
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE MAINSCOT 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- I) PROVIDE F.R.P. WALL PANELS @ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C.. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE W/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.



THIRD FLOOR PLAN - AREA "B"
 SCALE: 1/8" = 1'-0"

WALL KEY

- 1 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE
- 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

KEY PLAN
 NOT TO SCALE

DEVELOPER: **KB KELLER/BAARTMAN**
 PROJECT: **PARK PLACE APARTMENTS**
 REID WING, MN
 REID WING, MN
 (651) 388-0000

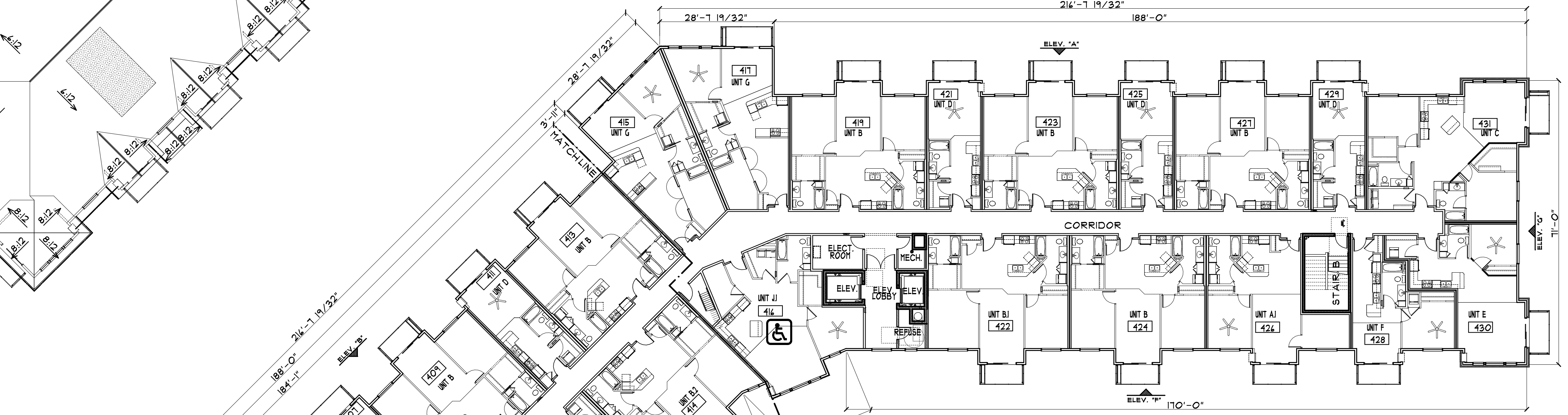
PROJECT NO. 18011
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET

THESE DOCUMENTS ARE NOT VALID FOR BUILDING PERMIT UNLESS SIGNED IN INK AND OVER SEALED. CHANGES ARE NOT VALID UNLESS CERTIFIED THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 DATE: 10/1/18
 PROJECT NO. 18011
 PROJECT NAME: PARK PLACE APARTMENTS
 ARCHITECT: **COLE GROUP ARCHITECTS LLC**
 214 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (320) 454-4470
 www.colegrouparchitects.com

PLOTTED: 10-4-18 FILE: 18011P COM: 3



OVERALL ROOF PLAN
SCALE: 1/4" = 1'-0"



OVERALL FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"
21 TOTAL UNITS - 21,214 SF

ACCESSIBILITY	UNIT TYPE	UNIT MIX				PATIO/BALCONY	UNIT AREA	% BY TYPE
		1ST FLR	2ND FLR	3RD FLR	4TH FLR			
	B "D" (STUDIO) (1 BATH)	4	4	8	8	YES	445 SF	24%
	B "A" (1 BED) (1 BATH)	5	0	0	0	YES	142 SF	
	B "A1" (1 BED w/ DEN) (1 BATH)	0	2	2	2	YES	851 SF	
	B "E" (1 BED) (1 BATH)	2	2	2	2	YES	598 SF	32.5%
	B "F" (1 BED) (1 BATH)	2	2	2	2	YES	792 SF	
	B "G" (1 BED w/ DEN) (1 BATH)	0	2	2	2	YES	936 SF	
	A "J" (1 BED) (1 BATH)	0	0	1	0	NO	1,060 SF	
	A "I" (1 BED) (1 BATH)	0	0	0	1	NO	995 SF	
	B "B" (2 BED) (2 BATH)	4	8	8	8	YES	1,021 SF	
	B "B1" (2 BED) (2 BATH)	1	1	1	1	YES	1,078 SF	
	B "B2" (2 BED) (2 BATH)	0	1	1	1	YES	1,035 SF	41.5%
	B "C" (2 BED) (2 BATH)	1	2	2	2	YES	1,236 SF	
	A "C1" (2 BED) (2 BATH)	1	-	-	-	YES	1,236 SF	
	TOTAL	24	24	29	29			100%

R2 OCCUPANCY REQUIRES 2% MINIMUM "TYPE A" UNITS
108 TOTAL UNITS WILL REQUIRE 3 MINIMUM "TYPE A" UNITS

DEVELOPER: **KB KELLER/BAITMAN** PERFORMER: **COLE GROUP ARCHITECTS LLC**
 PROPOSED 108 UNIT: **PARK PLACE APARTMENTS** RED WING, MN (651) 388-0000
 PROJECT NO. 18011
 SUBMITTAL DATE: 10-4-18
 DOCUMENT SET: PERMIT SET
 A104

These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA. Date 10-11-18 # 22288 Name NORKAN E. COLE Signature

PLOTTED: 10-4-18 FILE: 18011P COM: 3

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQ'S. w/ INTERIOR DESIGNER I.F.F.I.E. SUPPLIER
- B) ALL PUBLIC RESTROOMS TO HAVE TILE FLOOR, COVE BASE AND TILE WAINSCOT 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- E) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- F) ALL DOOR HARDWARE TO BE LEVER TYPE.
- G) VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
- H) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- I) PROVIDE F.R.P. WALL PANELS @ JANITOR CLOSET AS REQ'D.
- J) FINISHED GYPSUM BOARD OPENING FOR MAILBOXES TO BE VERIFIED WITH G.C.. MAINTAIN ACCESSIBLE REACH RANGES. SEE PLAN NOTE #10.
- K) VERIFY ELEVATOR SHAFT SIZE w/ SUPPLIER.
- L) HVAC CONTRACTOR TO PROVIDE CLEAR LOCKING THERMOSTAT COVER AT ALL PUBLIC AREAS.

EXTERIOR/ENTRY/LOBBY NOTES

- 1. MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 (C)/A301.
- 2. FROST STOOP SIZED TO ACCOMMODATE REQ'D. ADA CLEARANCES. SEE STRUCTURAL PLANS.
- 3. FIRE DEPARTMENT HOSE CONNECTION. VERIFY LOCATION WITH FIRE MARSHALL.
- 4. FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHALL.
- 5. FIRE DEPARTMENT SPRINKLER ALARM PANEL. VERIFY LOCATION WITH FIRE MARSHALL.
- 6. INTERCOM SECURITY SYSTEM. SEE ELECT. PLANS.
- 7. CONCRETE PATIO SLOPED AWAY FROM BLDG. OR SUSPENDED DECK w/ 42" HIGH PREFINISHED METAL GUARD RAIL w/ INTERMEDIATE BALUSTERS 4" O.C.
- 8. LINE OF ROOF / FLOOR BELOW.
- 9. LINE OF ROOF, FLOOR OR BALCONY. ABOVE, SHOWN DASHED.
- 10. RECESSED MAIL BOXES. VERIFY STYLE AND SIZE WITH G.C. SEE DETAILS 28 1 29/A802.
- 11. CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAILS 42/A803.
- 12. STAIRWAY. VERIFY MATERIAL w/ OWNER. T MAX RISE 1" MIN. TREAD DEPTH.
- 13. STRUCTURAL COLUMN w/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL #4001 IF POST-LESS COLUMN TYPE.
- 14. EXTEND HANDRAIL WIDTH OF TREAD AT ANGLE OF STAIR, PLUS 12" HORIZ. PAST BOTTOM RISER.
- 15. NOT USED.
- 16. FACE BRICK VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
- 17. CULTURED STONE VENEER SEE ELEVATIONS. VERIFY w/ OWNER.
- 18. ACCESSIBLE PUSH BUTTON DOOR OPENER 15" MIN. TO 48" MAX. A.F.F.
- 19. MAIL PACKAGING SYSTEM. VERIFY REQUIREMENTS w/ OWNER / G.C.

CORRIDOR/STAIR/GEN. NOTES

- 20. EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
- 21. FIRE EXTINGUISHER IN RECESSED CABINET. VERIFY LOCATIONS WITH FIRE MARSHALL.
- 22. VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHALL.
- 23. HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY / RAMP. VERIFY STYLE AND FINISH WITH G.C.
- 24. EXTEND HANDRAIL 1' OR WIDTH OF TREAD MIN. PAST BOTTOM RISER / EDGE OF RAMP.
- 25. EXTEND HANDRAIL 2' PAST TOP RISER.
- 26. 42" HIGH HALL WALL w/ WOOD CAP. SLOPE AS REQ'D w/ STAIR.
- 27. 42" HIGH GUARDRAIL WITH INTERMEDIATE BALUSTERS 4" O.C. MAX.
- 28. SINGING METAL GATE WITH SPRING HINGES TO PREVENT OCCUPANTS FROM CONTINUING DOWN BELOW LEVEL OF EXIT IN AN EMERGENCY.
- 29. ELEVATOR CALL BUTTON CENTERED ON A 30"x48" FORWARD APPROACH. VERIFY LOCATION w/ ELEV. MFR.
- 30. TWO WAY COMMUNICATION DEVICE / SIGNAGE FOR EMERGENCY CALL PER IBC SECTION 1007.8.
- 31. FURRING WALL NEXT TO RATED WALL: 2"x4" WOOD STUDS @ 16" O.C. w/ (II) LAYER OF 5/8" GYP. BD 1 SOUND INSUL. (ADD RC-CHANNEL ON CORRIDOR SIDE) VERIFY w/ STRUCTURAL.
- 32. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
- 33. SHIPS LADDER UP TO ROOF HATCH. SEE DETAIL 1/A721. VERIFY WIDTH w/ MAX. SPAN OF SHTG. FRAME AND FINISH UNDERNEATH SHIPS LADDER AS REQ'D.
- 34. CONCRETE PATIO PAVERS / STAMPED CONCRETE. VERIFY EXTENTS w/ OWNER. SLOPE AWAY FROM BUILDING AS REQ'D.
- 35. STAND PIPE. VERIFY LOCATION w/ FIRE SPRINKLER PLANS.
- 36. PROVIDE ELECTRIC FOR VENDING MACHINES. SEE ELECTRICAL PLANS. VERIFY LOCATION w/ G.C.
- 37. 24" DIA. REFUSE CHUTE IN 2 HOUR RATED SHAFT. SEE DETAIL 1/A730.
- 38. 2 HOUR RATED ELEVATOR VERIFY SHAFT CLEARANCES AND REQUIREMENTS w/ ELEV. MFR.
- 39. PROVIDE ACOUSTIC MAT THIS AREA SHOWN HATCHED, TO REDUCE NOISE FROM O.H.D. BELOW.

MECH./ELECT./STRUCT. NOTES

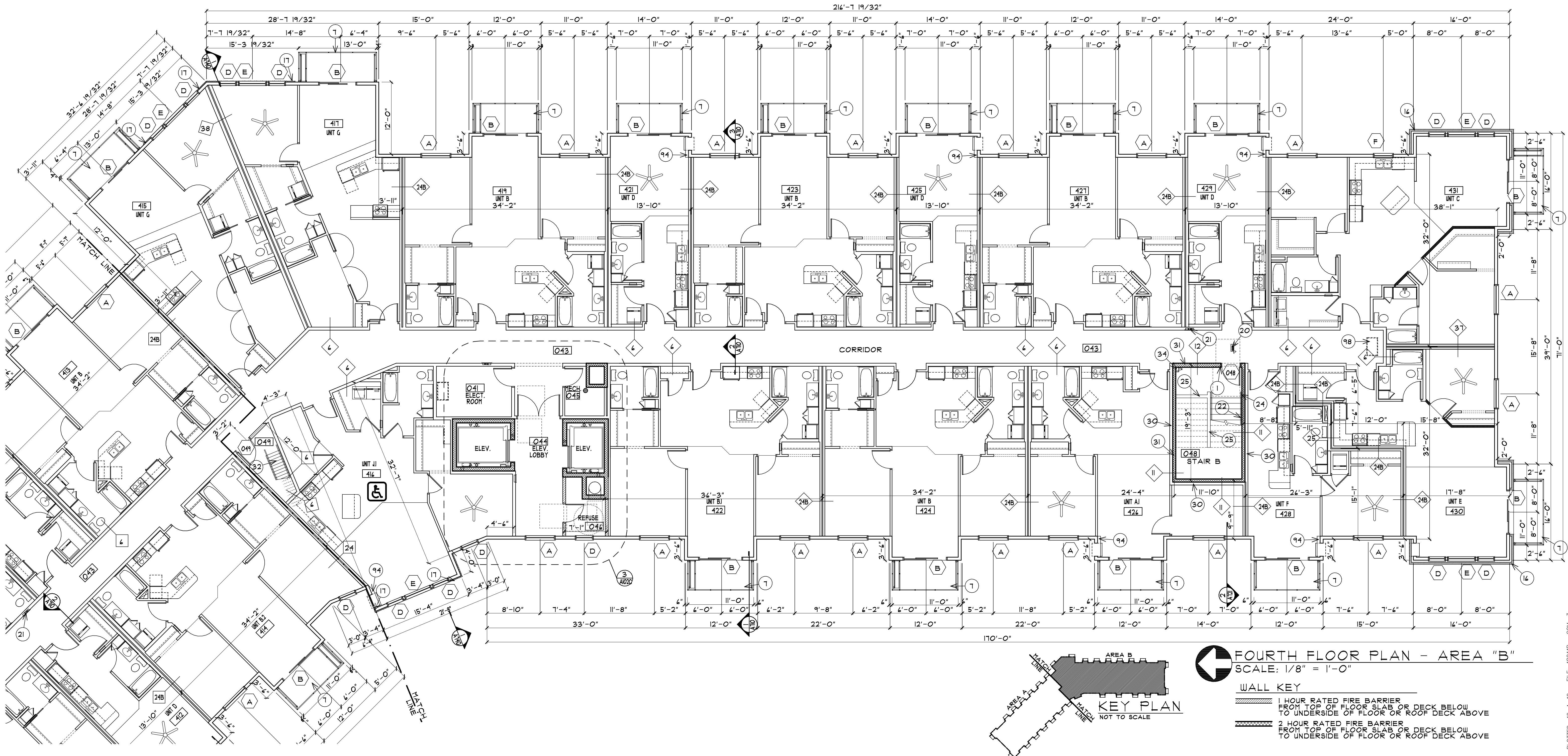
- 39. FLOOR DRAIN. VERIFY LOCATION WITH PLUMBING PLANS.
- 40. SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
- 41. FOR EQUIPMENT THIS ROOM/CHASE SEE MECHANICAL/ELECTRICAL PLANS.
- 42. LOUVER FOR HVAC EQUIPMENT. VERIFY w/ MECH. I STRUCT. DRAWINGS.
- 43. SUMP PIT w/ PUMP. VERIFY LOCATION w/ MECHANICAL DRAWINGS.
- 44. SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS.
- 45. GARAGE H.V.A.C. UNIT. SEE MECHANICAL PLANS.
- 46. 2 HR. RATED MECHANICAL CHASE. VERIFY SIZE. SEE DET. 33/A802.
- 47. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 12.3 1 7C/A301.
- 48. TRENCH DRAIN. VERIFY w/ MECHANICAL DRAWINGS. SEE DET. 35/A803.
- 49. ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 1 4C/A301.
- 50. ELECTRIC FREELACE WITH MANTLE. SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS. SHELVING.
- 51. DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
- 52. SOFFIT LIGHTING ABOVE. SEE ELECT. PLANS.

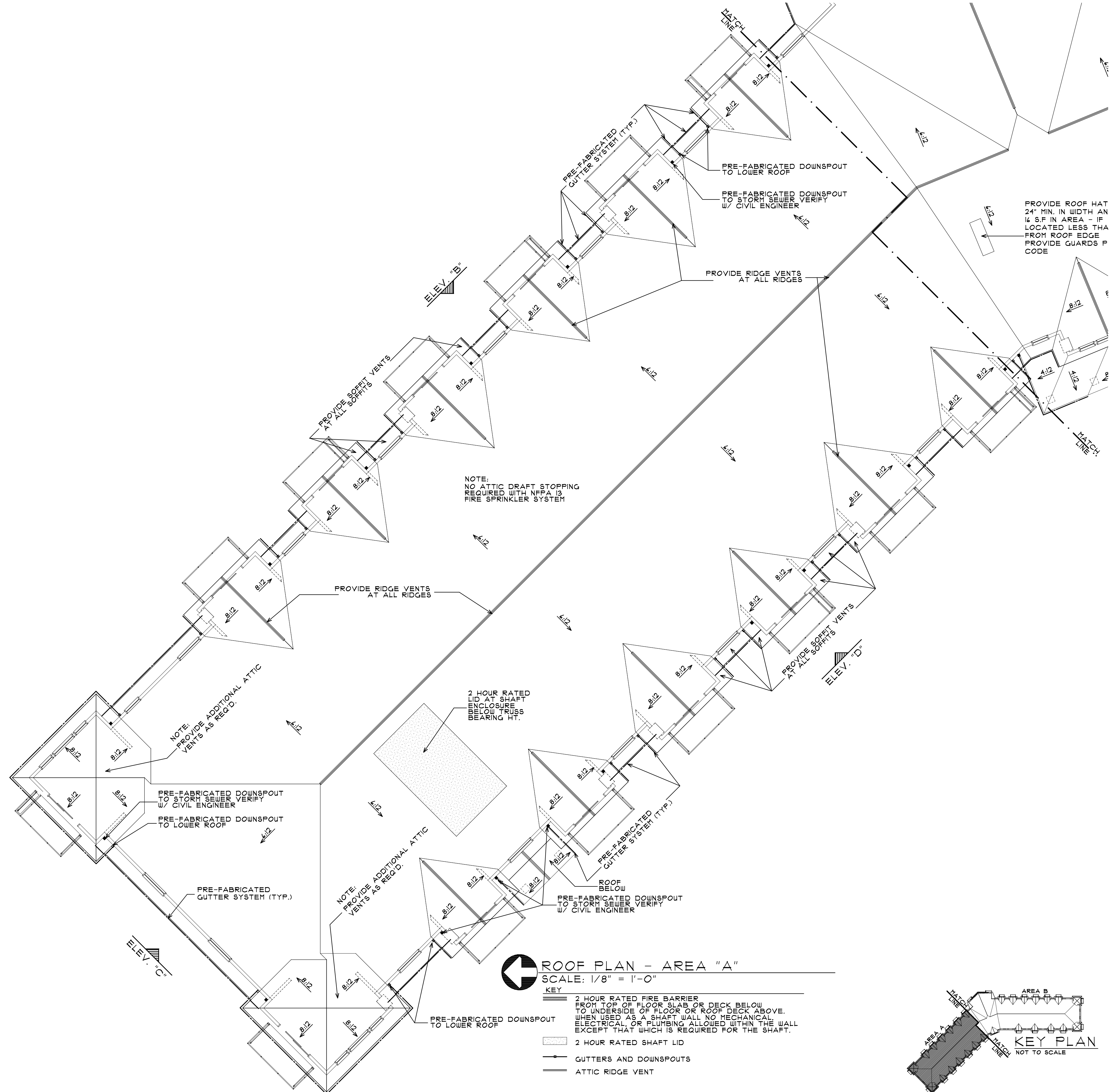
GARAGE NOTES

- 52. MIN. 1 HOUR RATED PRE-CAST CONCRETE COLUMN. SEE STRUCTURAL PLANS.
- 53. SURFACE MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS WITH FIRE MARSHALL. SEE DETAIL 10/A301.
- 54. MIN. 1 HOUR RATED PRE-CAST CONCRETE BEAM ABOVE. SHOWN DASHED. SEE STRUCTURAL PLANS.
- 55. POURED CONCRETE FIBER. SEE STRUCTURAL PLANS FOR REINFORCING/FOOTING.
- 56. POURED CONCRETE WALL. SEE STRUCTURAL.
- 57. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 58. BOLT-DOWN STEEL FIBER BOLTS. SEE DETAILS 42/A803.
- 59. SLOPE FLOOR AS REQ'D TO FLOOR DRAINS. VERIFY w/ G.C.
- 60. PAINTED PARKING STRIPES.
- 61. ACCESSIBLE PARKING STALL SIGN MOUNTED TO WALL AS REQ'D. SEE 2/A100A.
- 62. ACCESSIBLE PARKING STALL MAX. SLOPE 1:48 WITH PAINTED SYMBOL. SEE DETAIL 3/A100A.
- 63. ACCESSIBLE AISLE WITH PAINTED STRIPES. MAX. SLOPE 1:48.
- 64. PROVIDE GYPSUM BOARD FINISH OVER CONCRETE WALLS THIS SPACE. SEE 40/A803.
- 65. O.H.D. OPERATOR LOOP IN SLAB. VERIFY LOCATION w/ G.C.
- 66. CONCRETE AFFRON w/ TRENCH DRAIN AT O.H. DOOR. DRAIN INTO BLDG'S SUMP PIT. VERIFY w/ MECH. PLANS.
- 67. PREFABRICATED BIKE RACKS. VERIFY SIZE/LOCATION/STYLE w/ G.C./OWNER.
- 68. FRP ON WALLS OF DOG WASH. VERIFY w/ OWNER / G.C.
- 69. FLAMMABLE WASTE URINAL. VERIFY LOCATION w/ MECH. DRAWINGS. SEE DETAIL 34/A803.
- 70. 24" METAL STUD FURRING LOBBY FOR ELECTRICAL w/ MOISTURE-RESISTANT GYPSUM BOARD ON ONE SIDE.
- 71. PRECAST BEAM SHOWN BELOW PRECAST PLANK. SHOWN DASHED.
- 72. POURED CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
- 73. COLD WATER HOSE BIB. VERIFY LOCATION w/ G.C.
- 74. HOT WATER HOSE BIB. VERIFY LOCATION w/ G.C.
- 75. PROVIDE 302 S.F. OF RECYCLING SPACE THIS AREA AS REQ'D.
- 76. DOG WASH EQUIPMENT. VERIFY w/ OWNER.

COMMUNITY & BREAK ROOM / PATIO NOTES

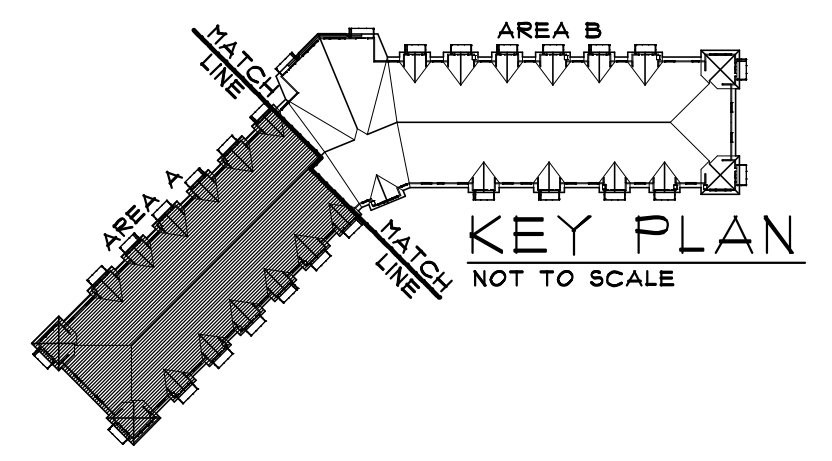
- 78. ACCESSIBLE STAINLESS STEEL DOUBLE BOUL. SINK. SEE DETAILS 9 1 1C/A301.
- 79. LINE OF UPPER CABINETS ABOVE.
- 80. ACCESSIBLE RANGE 1 VENT LESS HOOD. SEE DETAILS 9 1 1C/A301.
- 81. ACCESSIBLE REFRIGERATOR/FREEZER. SEE DETAIL 8C/A301.
- 82. PROVIDE SPACE FOR MICROWAVE UNDER UPPER CABINETS. VERIFY LOCATION WITH G.C.
- 83. PROVIDE ACCESSIBLE COUNTER TOP WORK AREA @ 34" A.F.F. 30" WIDE MIN. CLEAR OPENING UNDER COUNTER AND ADJACENT TO RANGE. SEE DETAILS 9 1 1C/A301.
- 84. COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
- 85. ISLAND COUNTERTOP WITH EATING BAR @ 34" A.F.F. COUNTERTOP.
- 86. FURNITURE SHOWN FOR SPACE PLANNING ONLY.
- 87. GAS FIREPLACE WITH MANTLE. SURROUND AND HEARTH. VERIFY BUILT-IN CABINETS. SHELVING.
- 88. DATA REQUIREMENTS w/ OWNER. VERIFY MODEL WITH G.C. AND FINISHES WITH INTERIOR DESIGN.
- 89. ARCHWAY OR BULKHEAD ABOVE. SHOWN DASHED. VERIFY SHAPE AND FINISH w/ G.C.
- 90. PROVIDE 4/V CONNECTIONS THIS LOCATION. VERIFY WITH G.C. SEE ELECTRICAL PLANS.
- 91. CLOTHES ROD 1 SHELF. SEE DETAIL 10C/A301.
- 92. ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
- 93. LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 6/A301.
- 94. 2"x4" WOOD STUDS @ 16" O.C. w/ (II) LAYER OF 5/8" GYPSUM BOARD. PROVIDE SOUND INSUL. WHEN ADJACENT TO UNIT.
- 95. 3" FURRED WALL w/ 5/8" GYP. BD. TO CONCEAL A.C. UNIT. VERIFY w/ G.C.
- 96. 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
- 97. PROVIDE GAS CONNECTION FOR BBQ GRILLS w/ REQUIRED SHUT OFF. VERIFY LOCATIONS w/ OWNER.
- 98. VENDING MACHINES. VERIFY TYPE WITH OWNER. PROVIDE REQUIRED CONNECTIONS.
- 99. ONE HOUR RATED 22" X 30" MIN. LOCKING ATTIC ACCESS w/ R-4 MIN. INSUL. AT ACCESS DOOR. SEE DETAIL 1/A801.
- 100. 4" CONCRETE CURB ALONG EXTERIOR WALL. SEE SECTION 1/A300.
- 100.1 HR. FIRE WALL TO EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF SHEATHING. SEE DET. 50/A804.
- 101. STRUCTURAL STEEL BEAR ABOVE.
- 102. CONCRETE AFFRON AT O.H. DOOR. VERIFY EXTENTS w/ G.C.
- 103. 22" 34" MIN. LOCKING ATTIC ACCESS w/ R-4 MIN. INSUL. AT ACCESS DOOR. SEE DET 1/A801.
- 104.





ROOF PLAN - AREA "A"
 SCALE: 1/8" = 1'-0"

- KEY**
- 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. WHEN USED AS A SHAFT WALL NO MECHANICAL, ELECTRICAL, OR PLUMBING ALLOWED WITHIN THE WALL EXCEPT THAT WHICH IS REQUIRED FOR THE SHAFT.
 - 2 HOUR RATED SHAFT LID
 - GUTTERS AND DOWNSPOUTS
 - ATTIC RIDGE VENT

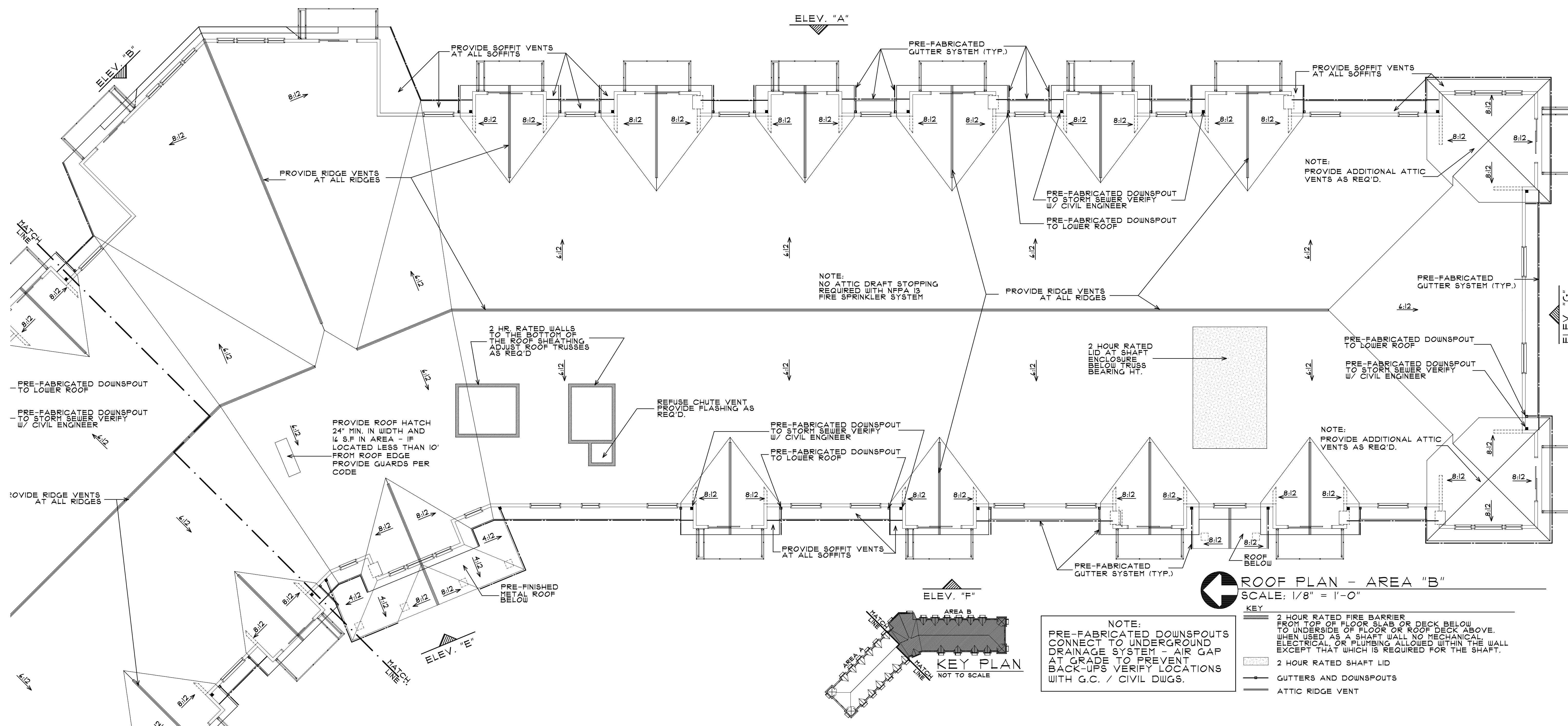


PLOTTED: 10-4-18 FILE: 1801P COM: 3
 Project No. 1801
 Submittal Date: 10-4-18
 Document Set: PERMIT SET
 DEVELOPER: **KB KELLER/BAARTMAN** ARCHITECTS LLC
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (507) 338-4450
 www.kellerbaartman.com
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA
 Date 10-1-18 # 2228
 New YORKMAN E. COLE Signature

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WING, MN
 (651) 388-0000

COLE GROUP ARCHITECTS LLC
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (507) 338-4450
 www.kellerbaartman.com

A105A



ROOF PLAN - AREA "B"
 SCALE: 1/8" = 1'-0"

- KEY**
- 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. WHEN USED AS A SHAFT WALL NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL EXCEPT THAT WHICH IS REQUIRED FOR THE SHAFT.
 - 2 HOUR RATED SHAFT LID
 - GUTTERS AND DOWNSPOUTS
 - ATTIC RIDGE VENT

NOTE:
 PRE-FABRICATED DOWNSPOUTS CONNECT TO UNDERGROUND DRAINAGE SYSTEM - AIR GAP AT GRADE TO PREVENT BACK-UPS. VERIFY LOCATIONS WITH G.C. / CIVIL DWGS.

These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA. Date 10/11/18 # 22288 Name NORKAN E. COLE Signature

DEVELOPER:
KB KELLER/BAARTMAN
 PERFORMER FILES
 RED WING, MN
 (651) 388-0000

PROPOSED 108 UNIT:
PARK PLACE APARTMENTS
 RED WING, MN

Project No. 18011
 Submittal Date: 10-4-18
 Document Set: PERMIT SET

A105B

COLE GROUP ARCHITECTS LLC
 216 Park Avenue South
 Suite 102
 Saint Cloud, MN 56301
 (320) 454-4450
 www.colegrouparchitects.com