

West Birch Apartments

1103 W Branch Street, Princeton, MN

TITLE SHEET	DATE	ISSUE
T TITLE SHEET	02/05/19	06/07/19

CIVIL	DATE	ISSUE
C1 SITE AND UTILITY PLAN	02/05/19	06/07/19
C2 SWAPP NOTES AND NARRATIVE	06/10/19	06/07/19
C3 GRADING AND EROSION CONTROL PLAN	02/05/19	06/07/19

ARCHITECTURAL	DATE	ISSUE
A001 CODE DATA	02/05/19	06/07/19
A002 CODE PLAN	02/05/19	06/07/19
A101 ARCHITECTURAL SITE PLAN	02/05/19	06/07/19
A102 SITE DETAILS	02/05/19	06/07/19
A103 SITE DETAILS	02/05/19	06/07/19
A104 SITE DETAILS	02/05/19	06/07/19
A111 FIRST FLOOR PLAN	02/05/19	06/07/19
A112 SECOND FLOOR PLAN	02/05/19	06/07/19
A113 ATTIC PLAN	02/05/19	06/07/19
A121 ROOF PLAN	02/05/19	06/07/19
A130 FINISH PLANS	02/05/19	06/07/19
A201 BUILDING ELEVATIONS	02/05/19	06/07/19
A301 BUILDING SECTIONS	02/05/19	06/07/19
A310 WALL SECTIONS	02/05/19	06/07/19
A320 STAIR SECTIONS	02/05/19	06/07/19
A401 ENLARGED PLANS - COMMON AREA	02/05/19	06/07/19
A402 ENLARGED PLANS - STAIRS	02/05/19	06/07/19
A410 ENLARGED PLANS - UNIT TYPES A, A.1, B, & F	02/05/19	06/07/19
A411 ENLARGED PLANS - UNIT TYPES C, C.1 & D	02/05/19	06/07/19
A412 ENLARGED PLANS - UNIT TYPES E (ACC) & C.2 (ACC)	02/05/19	06/07/19
A501 REFLECTED CEILING PLANS	02/05/19	06/07/19
A502 REFLECTED CEILING PLANS - COMMON AREA	02/05/19	06/07/19
A601 BUILDING ENTRY	02/05/19	06/07/19
A602 EXTERIOR DETAILS	02/05/19	06/07/19
A603 EXTERIOR DETAILS AT OPENINGS	02/05/19	06/07/19
A604 EXTERIOR DETAILS - ROOF	02/05/19	06/07/19
A701 INTERIOR ELEVATIONS - STANDARD AND HV UNITS	02/05/19	06/07/19
A702 INTERIOR ELEVATIONS - COMMON AREAS AND ACC UNITS	02/05/19	06/07/19
A801 INTERIOR DETAILS	02/05/19	06/07/19
A802 INTERIOR DETAILS	02/05/19	06/07/19
A803 INTERIOR DETAILS	02/05/19	06/07/19
A901 TYPES & SCHEDULES	02/05/19	06/07/19
A902 WALL TYPES	02/05/19	06/07/19

STRUCTURAL	DATE	ISSUE
S000 STRUCTURAL COVER SHEET	02/05/19	06/07/19
S001 GENERAL STRUCTURAL NOTES	02/05/19	06/07/19
S002 GENERAL STRUCTURAL NOTES (CONT)	02/05/19	06/07/19
S003 TYPICAL DETAILS - FOUNDATION	02/05/19	06/07/19
S004 TYPICAL DETAILS - CMU	02/05/19	06/07/19
S005 TYPICAL DETAILS - WOOD SCHEDULES	02/05/19	06/07/19
S006 TYPICAL DETAILS - WOOD SCHEDULES	02/05/19	06/07/19
S007 TYPICAL DETAILS - WOOD STAIR FRAMING	02/05/19	06/07/19
S111 FIRST FLOOR FOUNDATION PLAN	02/05/19	06/07/19
S112 SECOND FLOOR FOUNDATION PLAN	02/05/19	06/07/19
S121 ROOF FRAMING PLAN	02/05/19	06/07/19
S501 FOUNDATION DETAILS	02/04/19	06/07/19
S601 WOOD FRAMING DETAILS	02/05/19	06/07/19
S602 WOOD FRAMING DETAILS	02/05/19	06/07/19

MECHANICAL	DATE	ISSUE
M111 FIRST FLOOR WASTE AND VENT PLAN	02/05/19	06/07/19
M112 FIRST FLOOR DOMESTIC WATER AND GAS PLAN	02/05/19	06/07/19
M113 SECOND FLOOR PLUMBING PLAN	02/05/19	06/07/19
M211 FIRST FLOOR HVAC PLAN	02/05/19	06/07/19
M212 SECOND FLOOR HVAC PLAN	02/05/19	06/07/19
M311 UNIT HVAC PLANS	02/05/19	06/07/19
M312 UNIT HVAC PLANS	02/05/19	06/07/19
M411 PLUMBING RISERS	02/05/19	06/07/19
M412 MECHANICAL DETAILS	02/05/19	06/07/19
M413 MECHANICAL DETAILS	02/05/19	06/07/19
M414 MECHANICAL DETAILS	02/05/19	06/07/19
M511 MECHANICAL EQUIPMENT SCHEDULES	02/05/19	06/07/19
M512 MECHANICAL EQUIPMENT SCHEDULES	02/05/19	06/07/19

ELECTRICAL	DATE	ISSUE
E111 SITE ELECTRICAL PLAN	02/05/19	06/07/19
E112 SITE PHOTOMETRIC PLAN	02/05/19	06/07/19
E211 FIRST FLOOR LIGHTING PLAN	02/05/19	06/07/19
E212 SECOND FLOOR LIGHTING PLAN	02/05/19	06/07/19
E311 FIRST FLOOR POWER & SYSTEMS PLAN	02/05/19	06/07/19
E312 SECOND FLOOR POWER & SYSTEMS PLANS	02/05/19	06/07/19
E411 UNIT ELECTRICAL PLANS	02/05/19	06/07/19
E412 UNIT ELECTRICAL PLANS	02/05/19	06/07/19
E511 ELECTRICAL RISER DIAGRAM AND SCHEDULES	02/05/19	06/07/19
E611 MECHANICAL EQUIPMENT SCHEDULES	02/05/19	06/07/19
E612 MECHANICAL EQUIPMENT SCHEDULES	02/05/19	06/07/19



VICINITY MAP
W Branch Street, Princeton, MN



REFERENCE VIEW

UNIT TYPE	A	A.1	B	C	C.1	C.2	D	E	F	TOTAL UNITS/BLDG.
# OF BEDROOMS	3	3	1	2	2	2	4	3	3	7
# OF BATHROOMS	2	2	1	1	1	1	2	2	2	9
ACCESSIBLE						X		X		
H/V IMPAIRED		X								
FLOOR LEVEL										TOTAL UNITS/BLDG.
1ST FLOOR	--	1	2	1	--	1	1	1	1	7
2RD FLOOR	2	--	2	2	1	--	1	--	1	9
BUILDING/UNIT TOTALS	2	1	4	2	1	1	2	1	2	16
UNIT SF (GROSS)	1,480	1,480	711	1,001	1,008	1,001	1,636	1,480	1,428	
TOTAL UNIT SF (GROSS)	2,960	1,480	2,844	2,002	1,008	1,001	3,272	1,480	2,856	18,903

*REFER TO CODE PLAN FOR FIRST FLOOR COMMON SPACE SF
*COMMON AREAS, OFFICE, UTILITY AND STAIRS ARE NOT INCLUDED IN FLOOR GROSS SF

UNIT TABULATION AND BUILDING AREA INFORMATION IS PROVIDED FOR FUNDERS AND NOT INTENDED FOR BIDDING PURPOSES. BIDDERS SHALL OBTAIN AREAS AND QUANTITIES THROUGH A COMPLETE REVIEW OF PROJECT DOCUMENTS INCLUDING DRAWINGS, SPECIFICATIONS, AND OTHER REFERENCED DOCUMENTS, AND A SITE VERIFICATION AS WARRANTED.

BUILDING/UNIT/PARKING TABULATION

STALL LOCATION	STANDARD STALLS	ACCESSIBLE STALLS	OTHER STALLS	TOTAL STALLS
SURFACE PARKING	34	3	--	37

PROJECT DIRECTORY

OWNER
WEST BIRCH ESTATES OF PRINCETON LP
c/o CENTRAL MINNESOTA HOUSING PARTNERSHIP
37 28TH AVENUE NORTH, SUITE 102
ST. CLOUD, MN 56303

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SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD
Issue Date
07/22/19

△ SUBMITTALS / REVISIONS
02/16/18 MHFA REVIEW - SD
04/20/18 50% CD
06/21/18 90% CD
08/24/18 100% MHFA REVIEW
02/05/19 ISSUED FOR CITY REVIEW
02/21/19 ADDENDUM #2
1 06/07/19 ISSUED FOR CONSTRUCTION

SCALE
1/2" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

TITLE SHEET

T



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02/21/19	ADDENDUM #2
06/07/19	ISSUED FOR CONSTRUCTION

SCALE
 As indicated

West Birch Apartments

1103 West Branch Street
 Princeton, MN

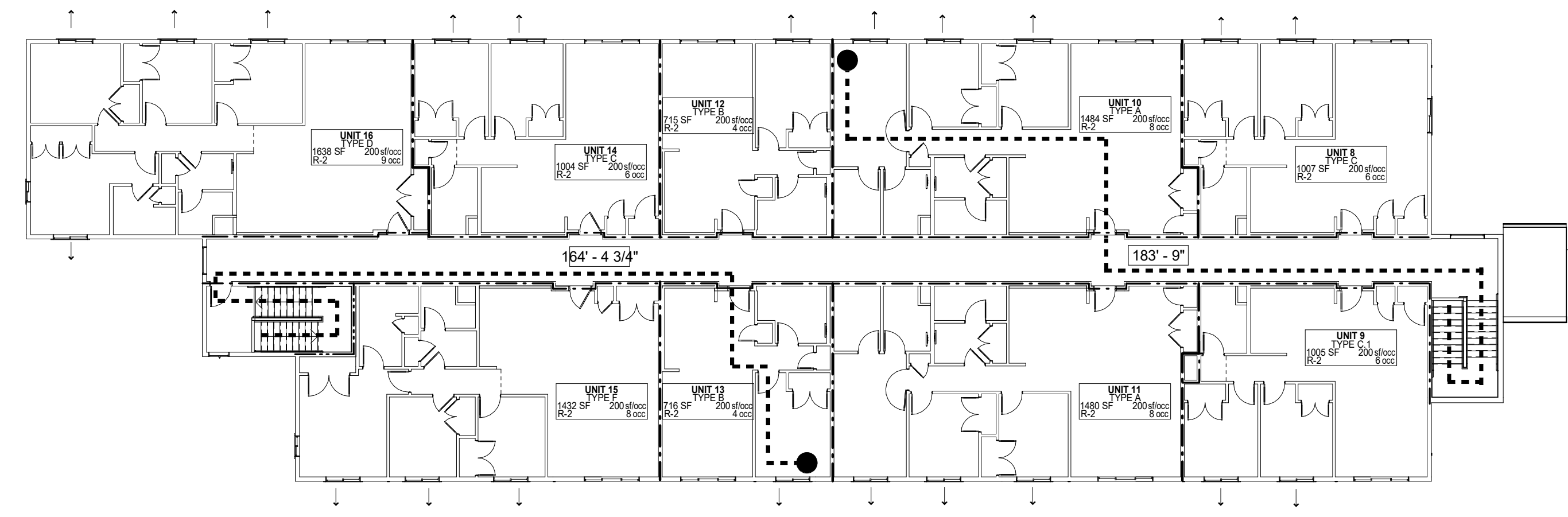
CODE PLAN

A002

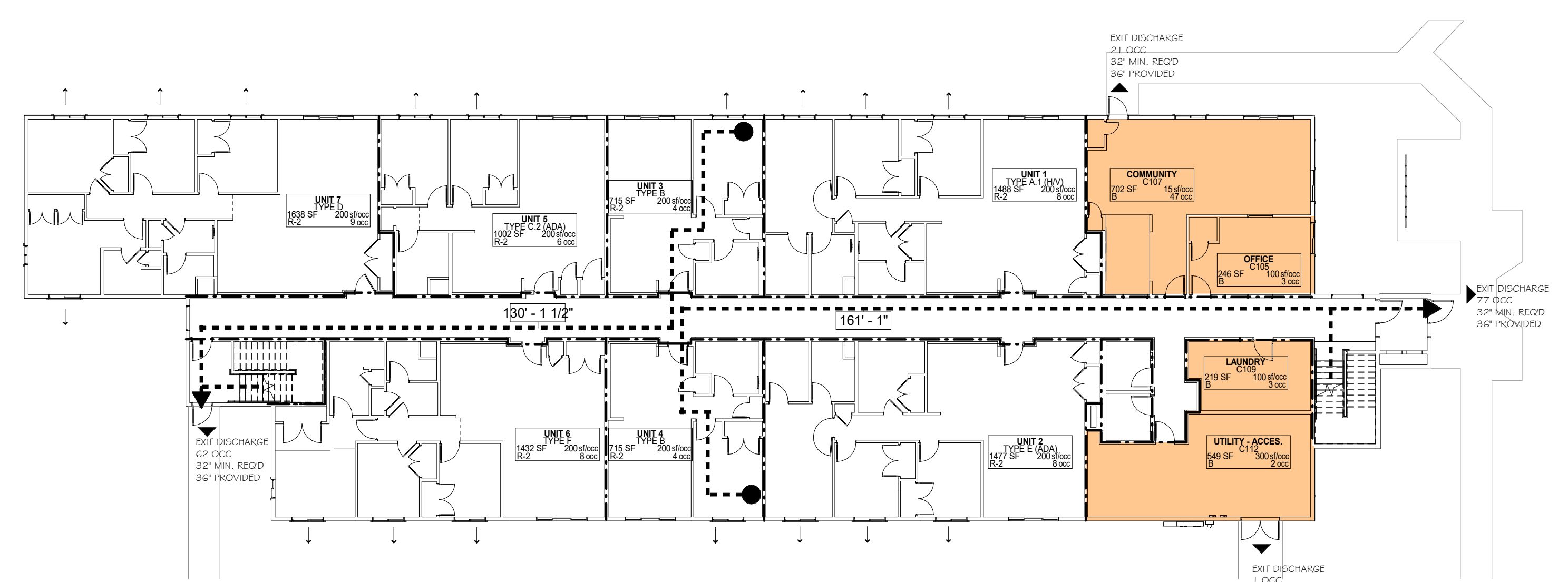
CODE PLAN LEGEND

- OCCUPANCY CLASSIFICATION.....
 - R-2
 - B
 - S-2
- 1-HOUR FIRE PARTITION.....
- SMOKE DETECTOR..... (SEE ELECTRICAL FOR LOCATIONS)
- SMOKE/CARBON MONOXIDE DETECTOR..... (SEE ELECTRICAL FOR LOCATIONS)
- EGRESS WINDOW.....

- UNIT TYPE 'X'
###R[#] ACTUAL SQUARE FOOTAGE OF ROOM
- # SF ROOM NUMBER
- # SF / OCC ALLOWABLE AREA PER OCCUPANT
- # OCC OCCUPANCY LOAD
- # OCC OCCUPANCY CLASSIFICATION
- # OCC NUMBER OF EXITING OCCUPANTS PER CODE
- # MIN. REQ'D MINIMUM REQUIRED OPENING PER CODE
- # PROVIDED ACTUAL OPENING SIZE



2 SECOND FLOOR
 1/16" = 1'-0"



1 FIRST FLOOR
 1/16" = 1'-0"

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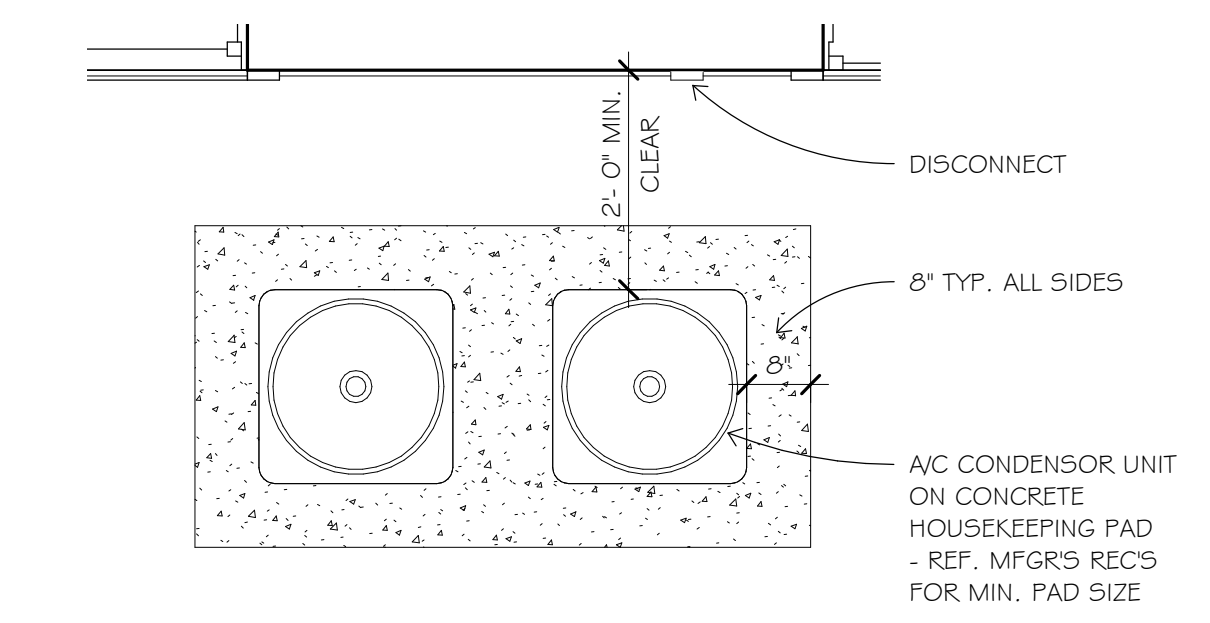
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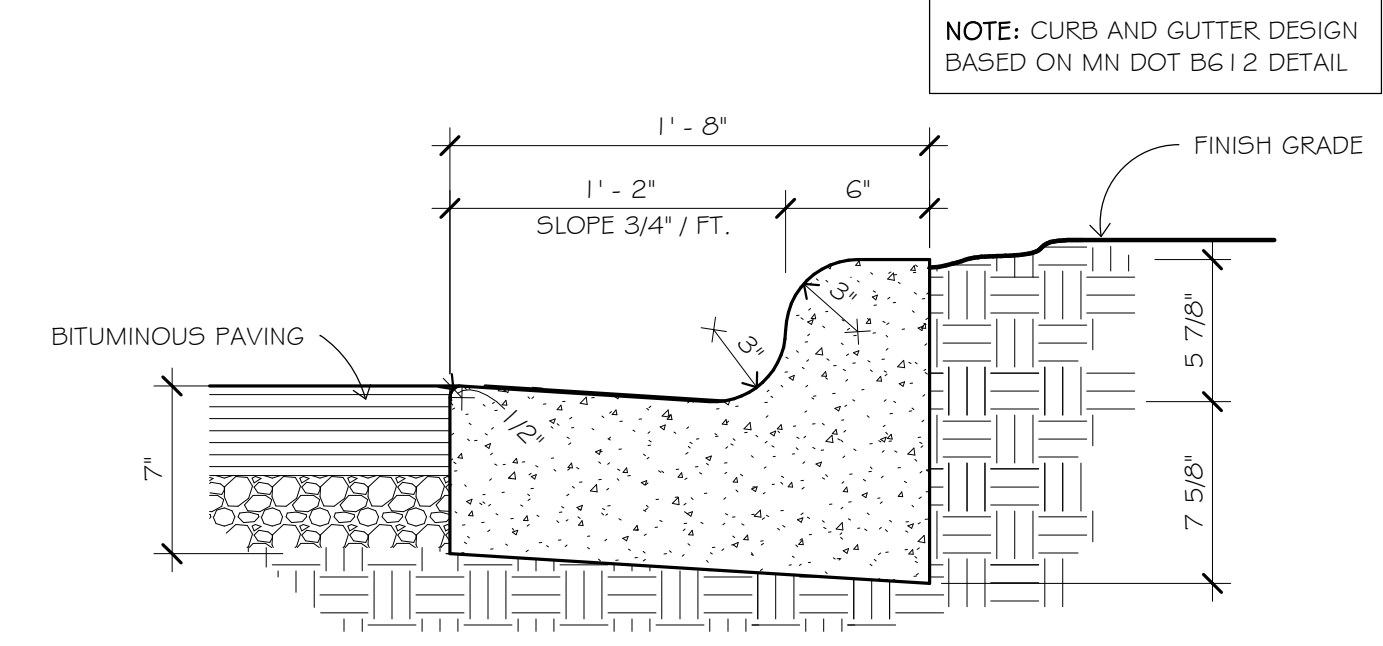
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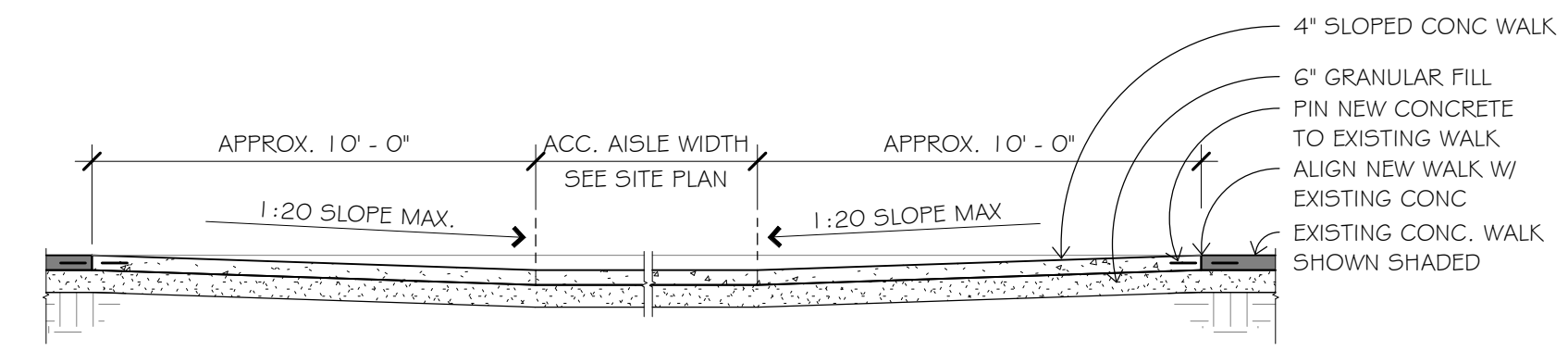
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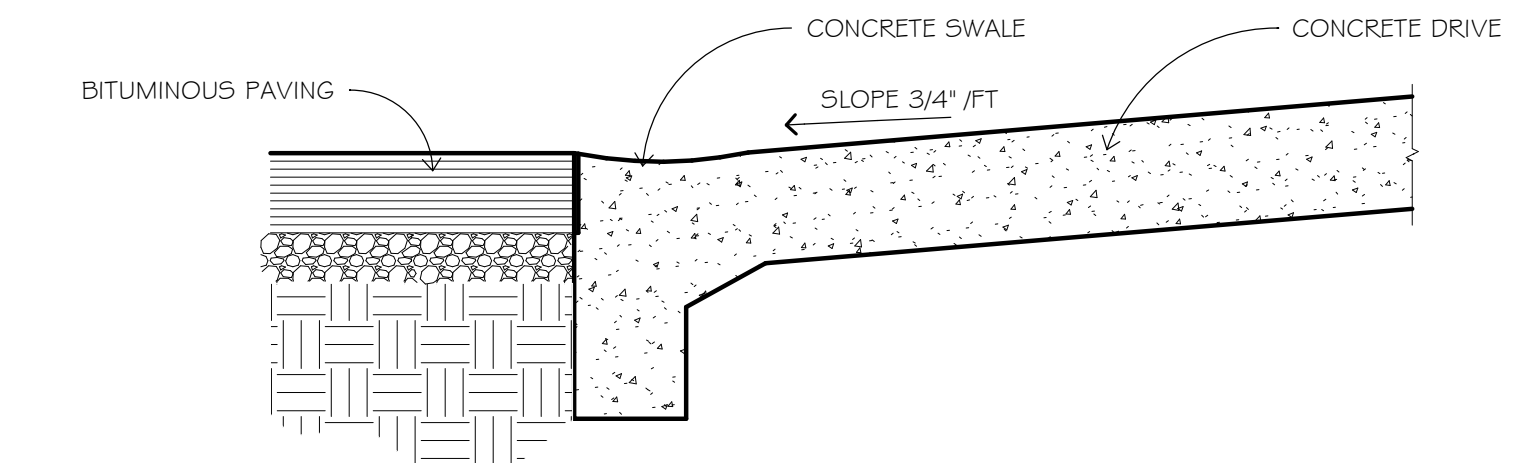
9 CONDENSOR UNIT
1/2" = 1'-0"



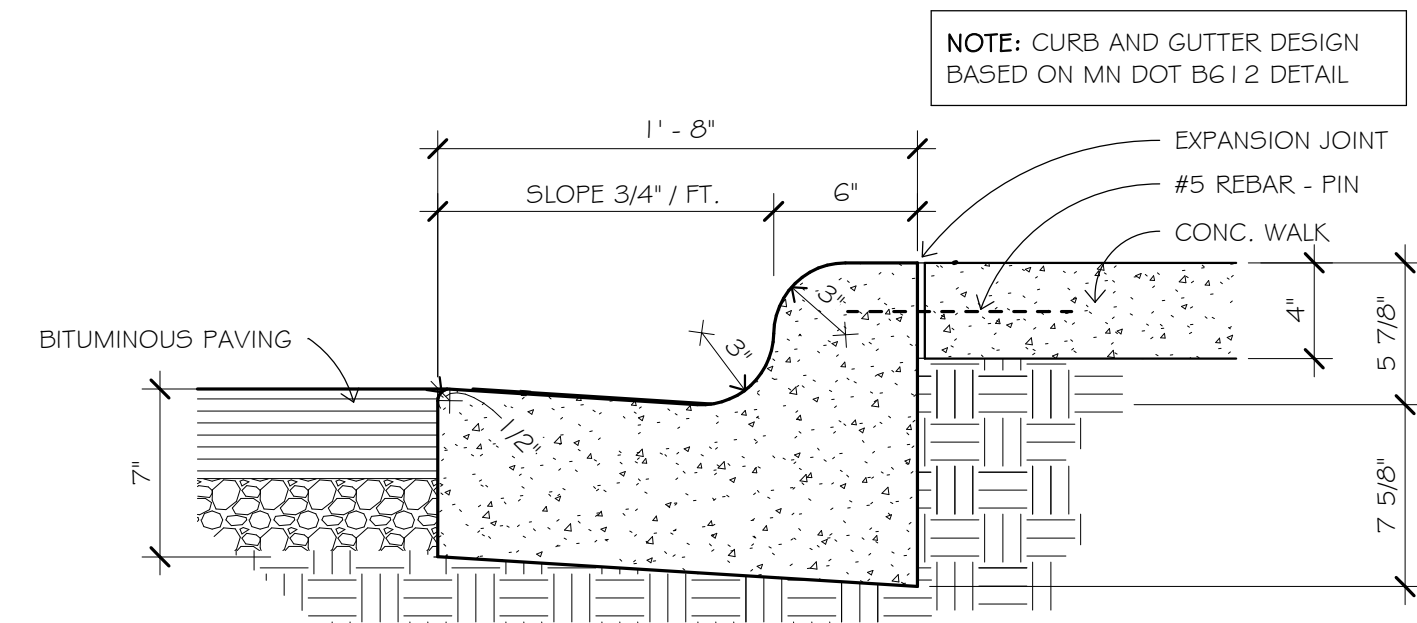
8 CURB & GUTTER DETAIL @ BIT. PAVING (NO WALK)
1 1/2" = 1'-0"



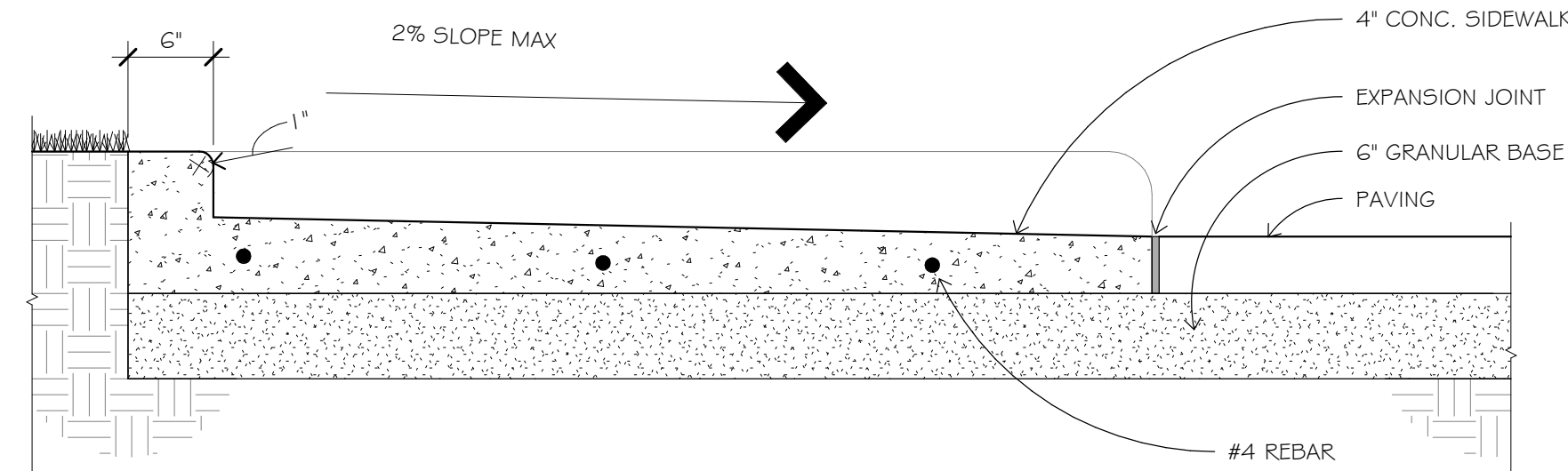
7 CURB CUT SECTION
1/4" = 1'-0"



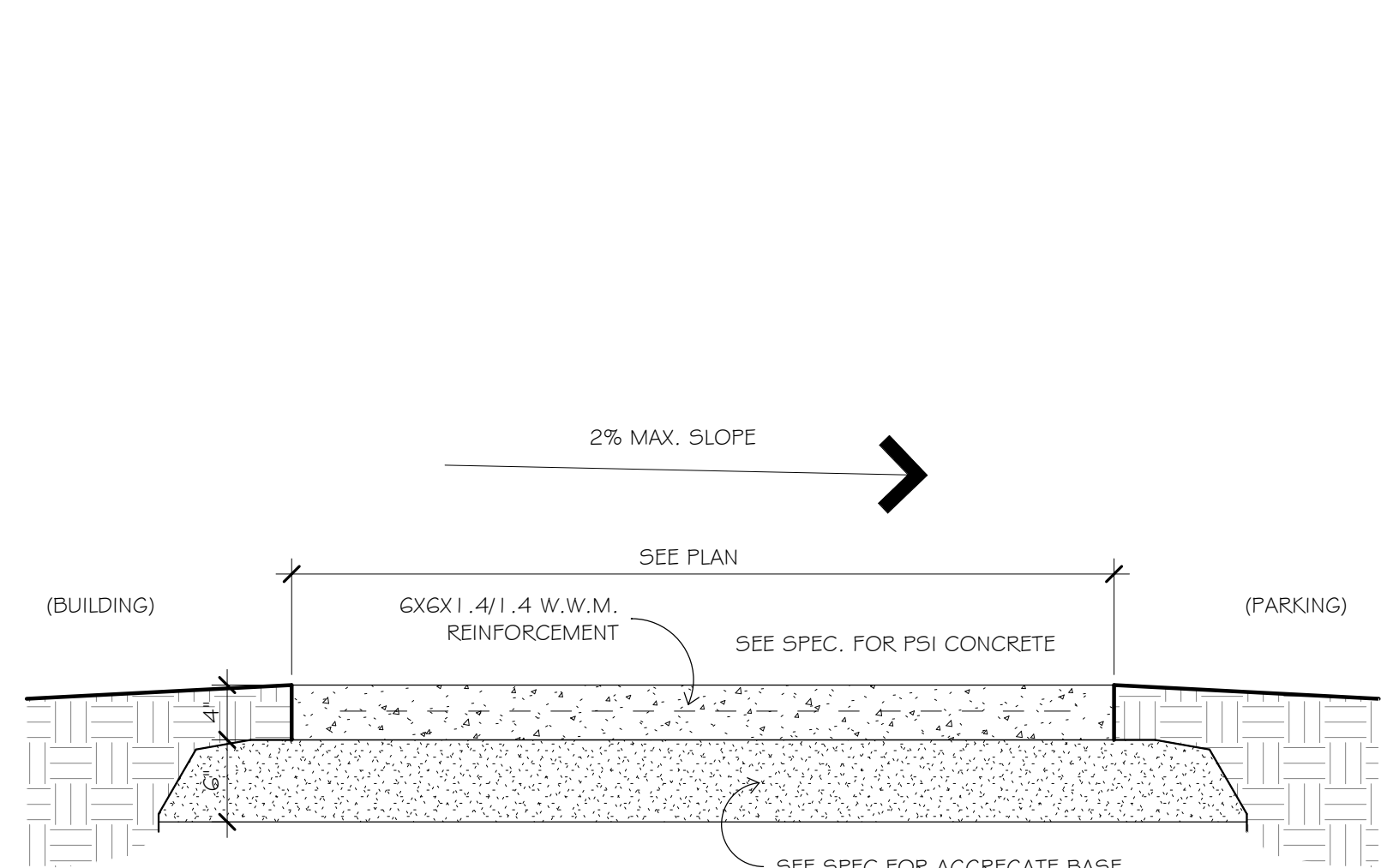
6 CONCRETE APRON @ SECTION
1" = 1'-0"



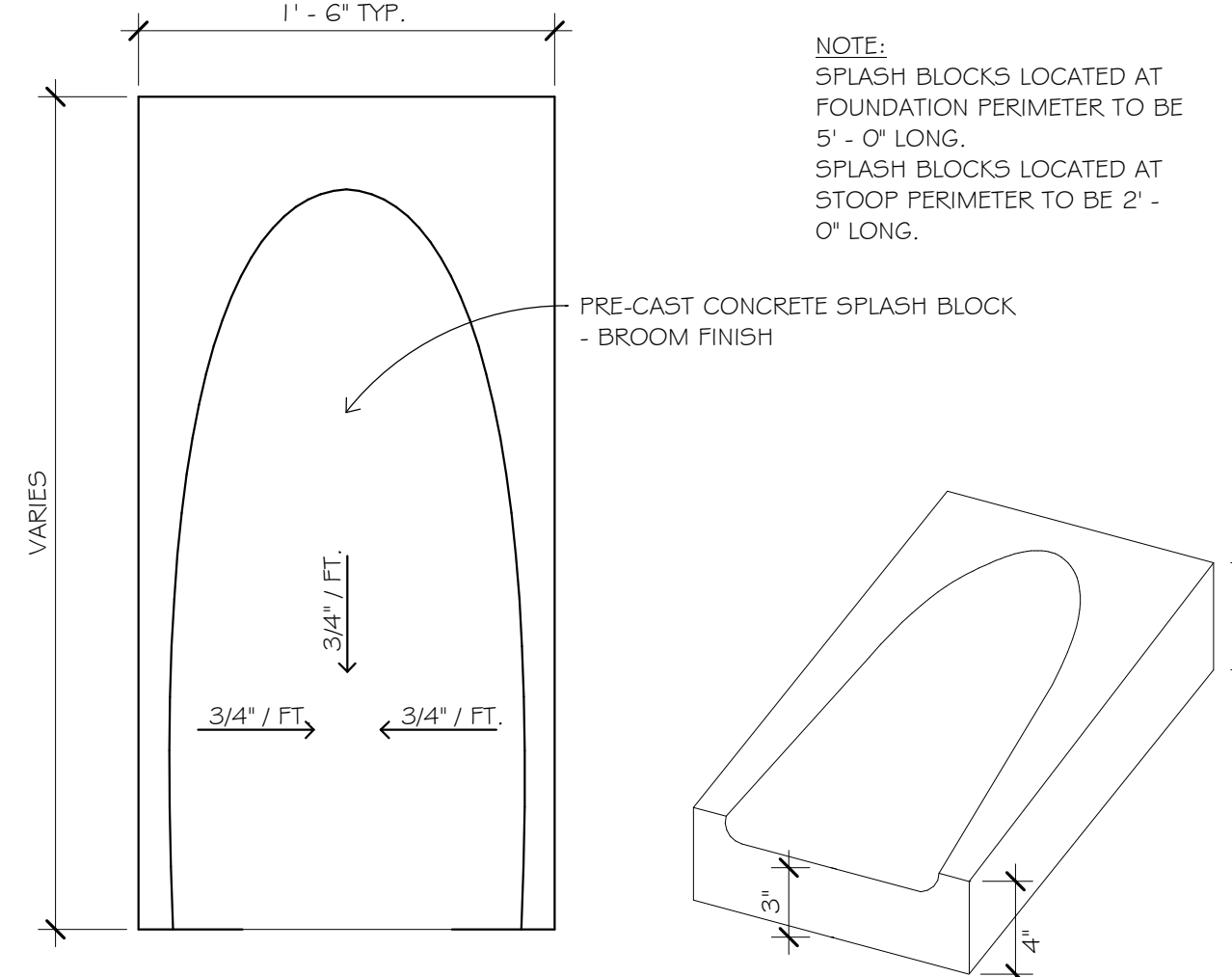
5 CURB & GUTTER @ BITUMINOUS PAVING (CONC. WALK)
1 1/2" = 1'-0"



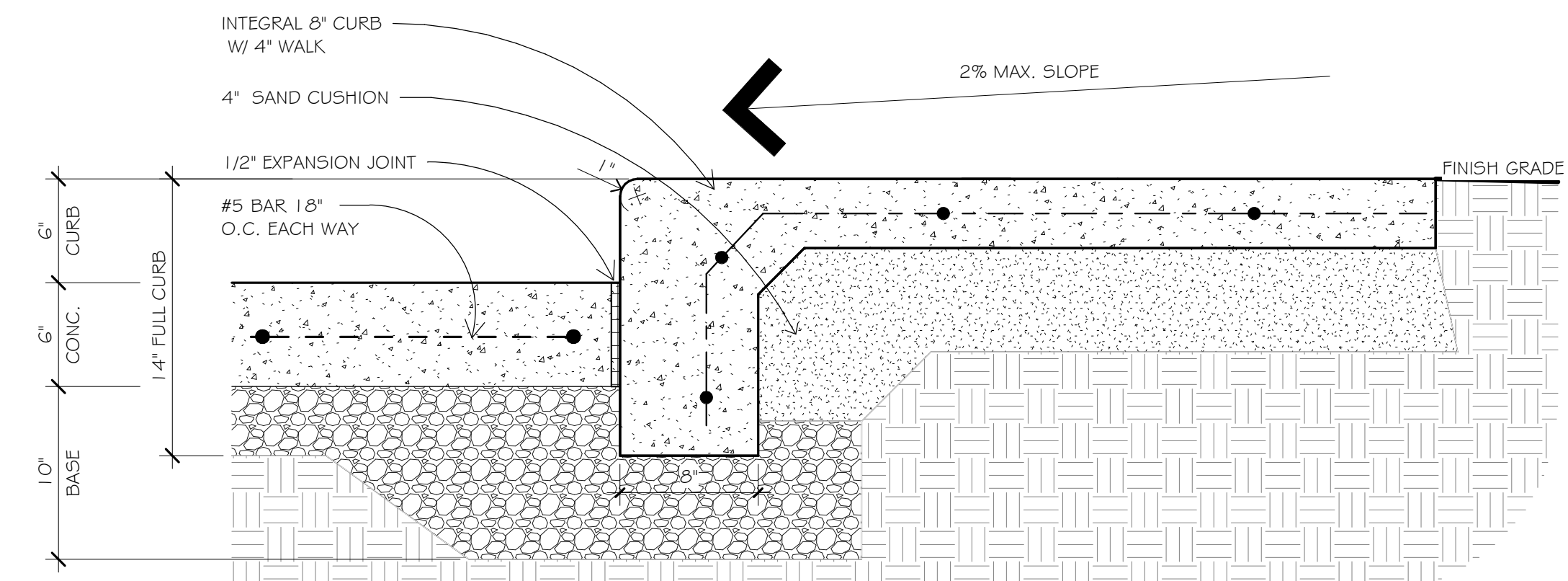
4 CURB & GUTTER CROSS SECTION
1" = 1'-0"



3 CONCRETE SIDEWALK SECTION
1" = 1'-0"



2 SPLASH BLOCKS
1 1/2" = 1'-0"



1 INTEGRAL CURB/WALK DETAIL @ CONCRETE
1 1/2" = 1'-0"

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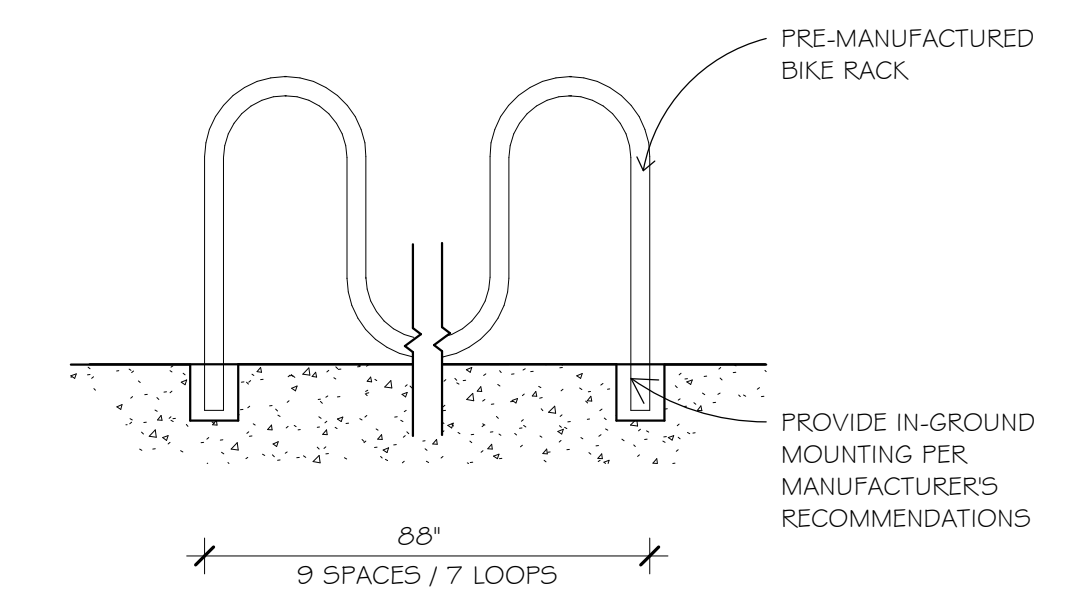
△ SUBMITTALS / REVISIONS
 02/21/19 ADDENDUM #2
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SCALE
 As indicated

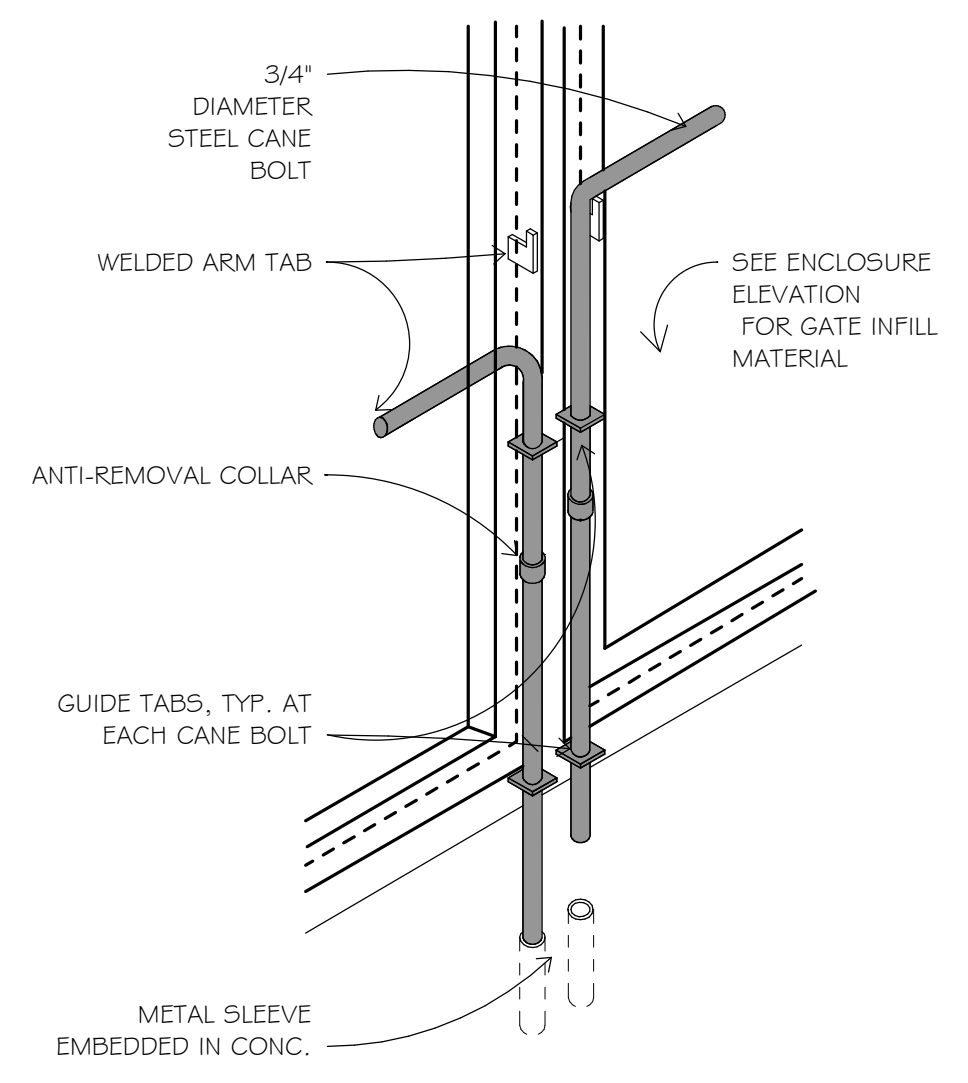
West Birch Apartments

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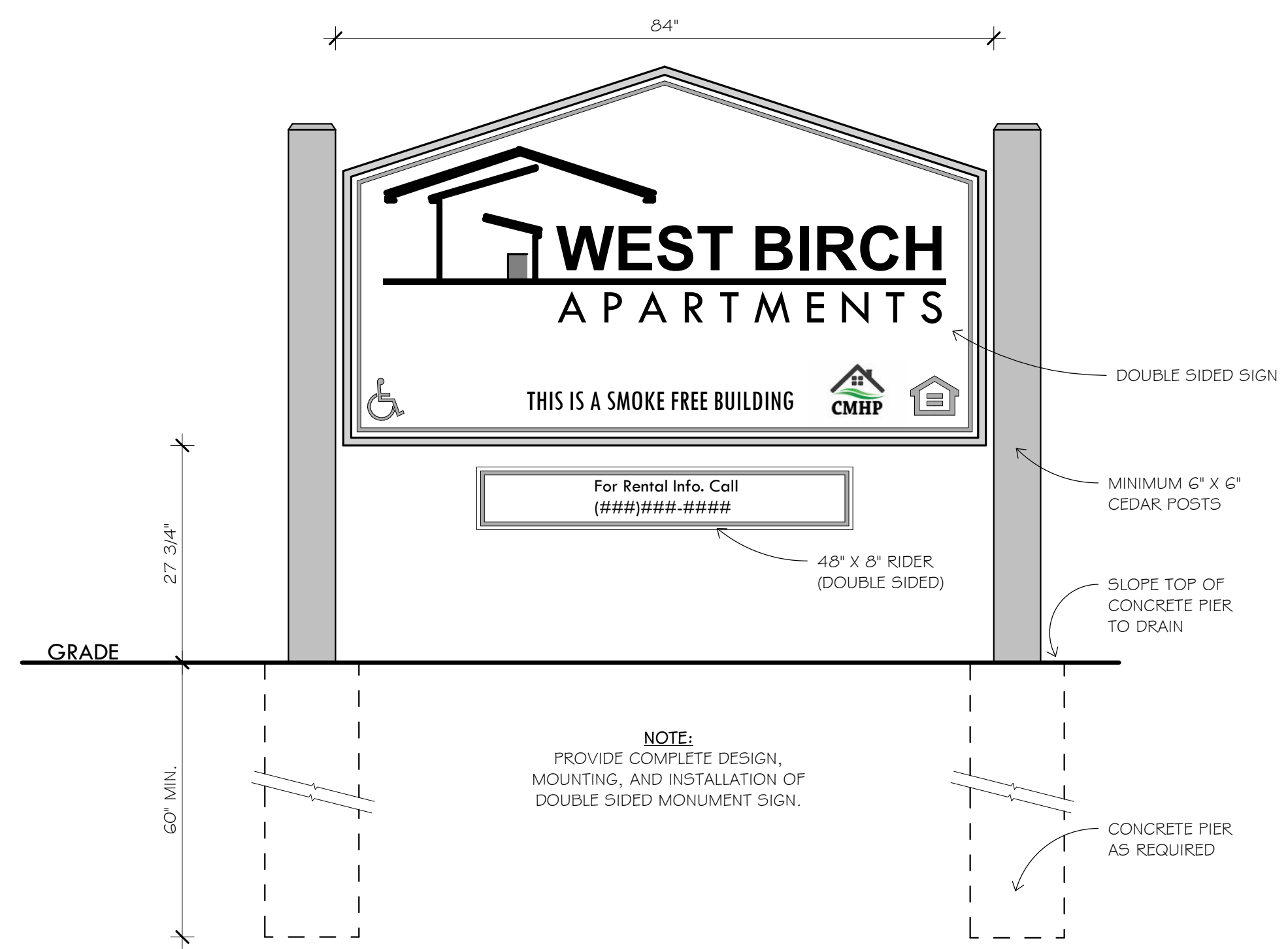
SITE DETAILS



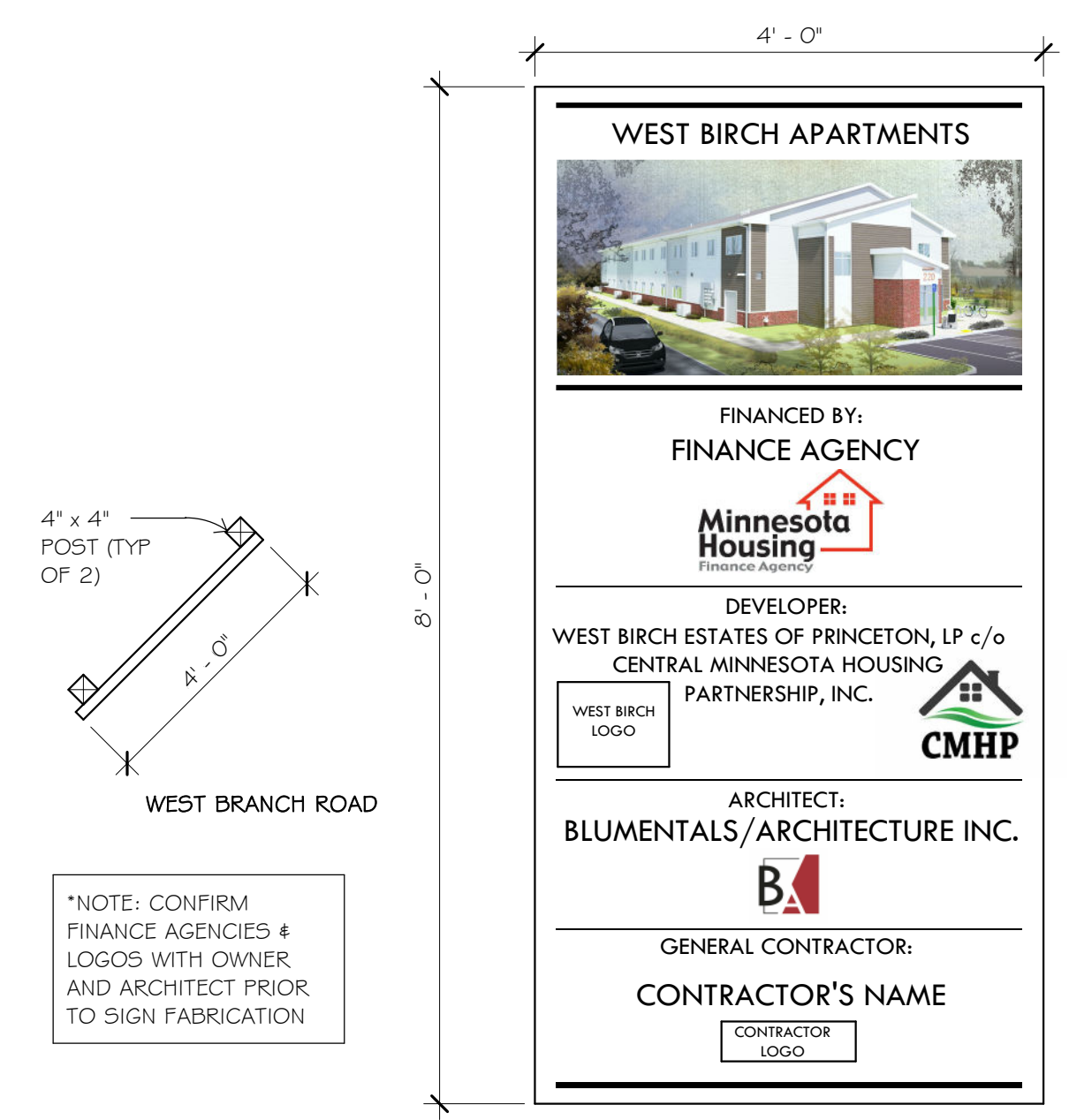
11 BIKE RACK DETAIL
 1/2" = 1'-0"



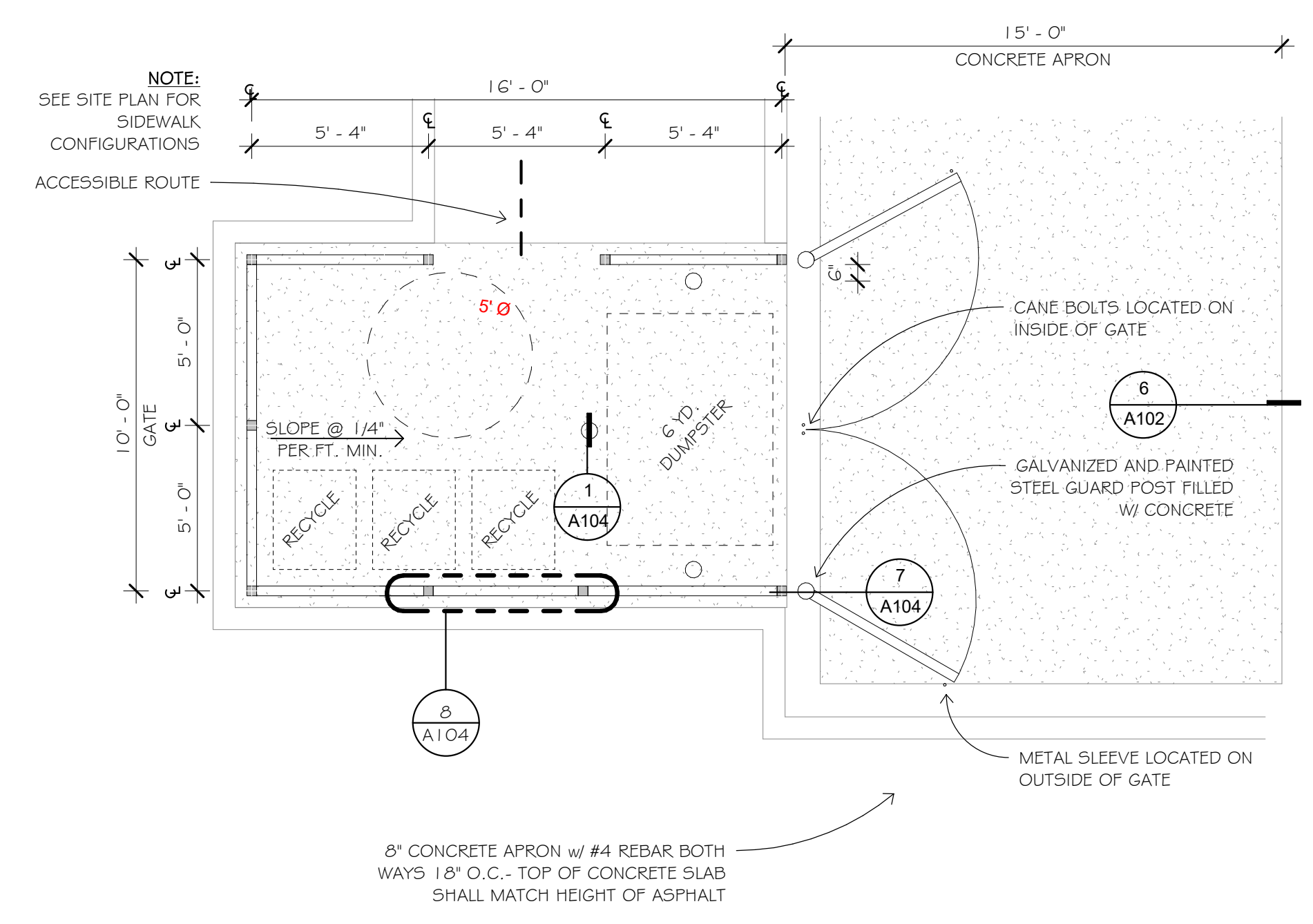
10 CANE BOLT DETAIL
 1" = 1'-0"



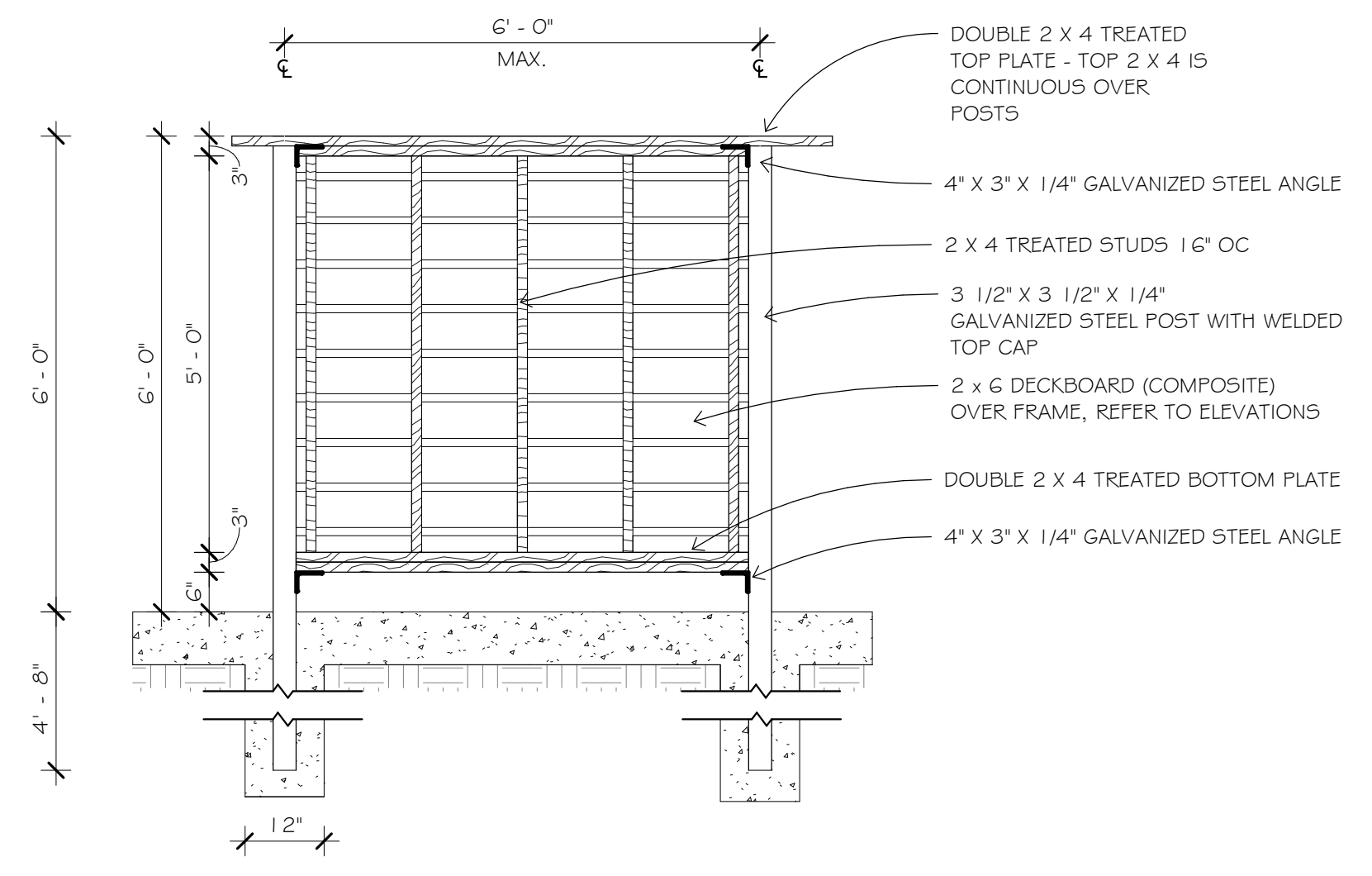
12 MONUMENT SIGN ELEVATION
 3/4" = 1'-0"



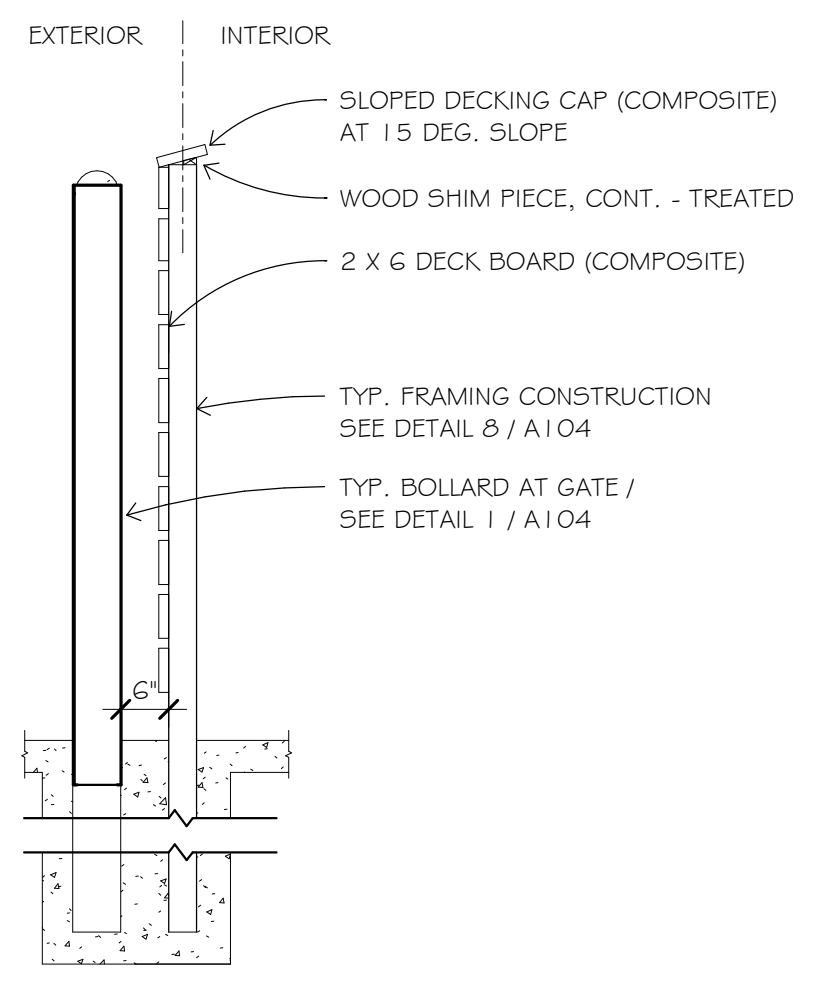
13 PROJECT SIGN
 3/4" = 1'-0"



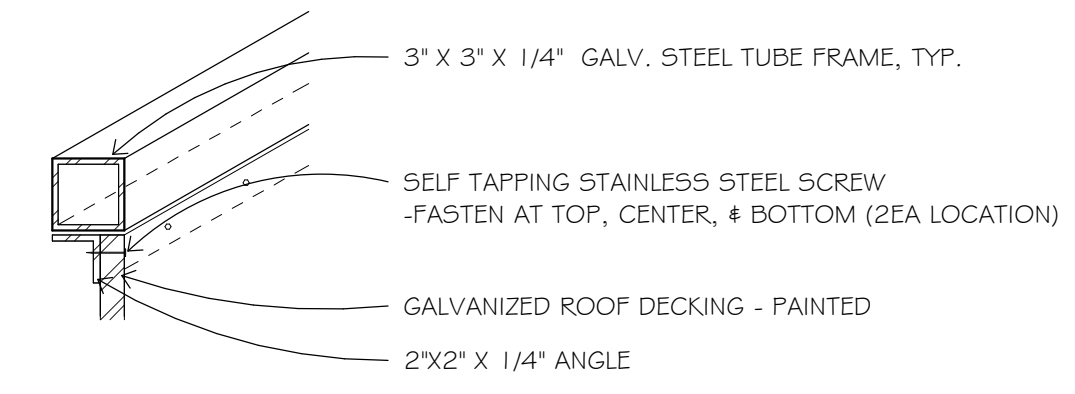
9 TRASH ENCLOSURE PLAN
 1/4" = 1'-0"



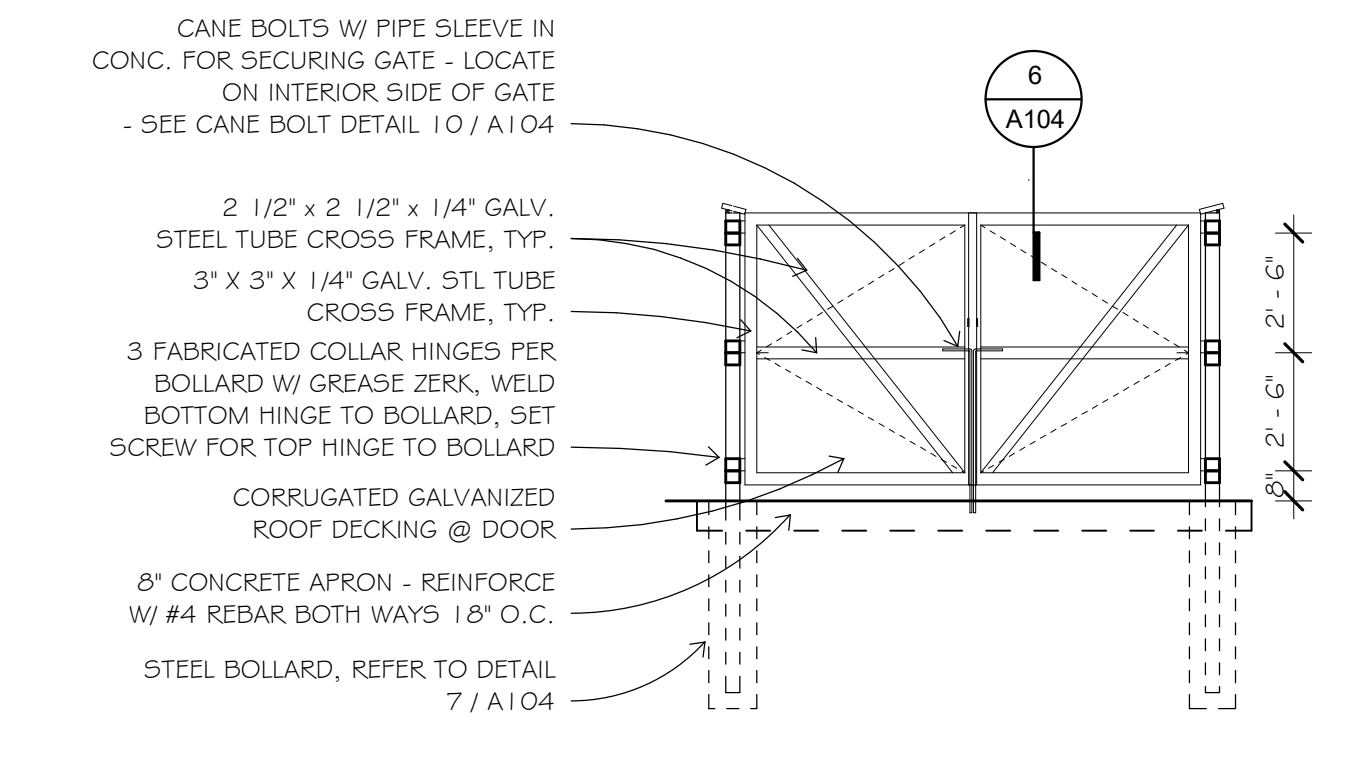
8 TRASH ENCLOSURE @ FRAMING CONSTRUCTION
 1/2" = 1'-0"



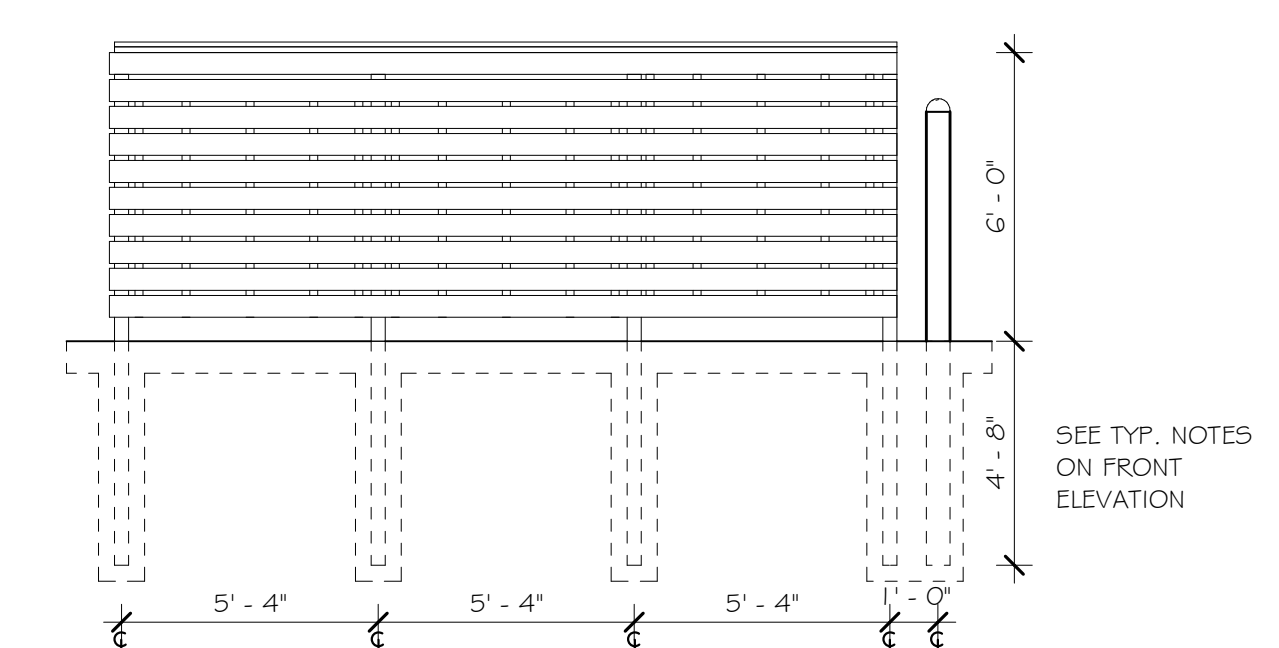
7 TRASH ENCLOSURE @ SIDE VIEW
 1/2" = 1'-0"



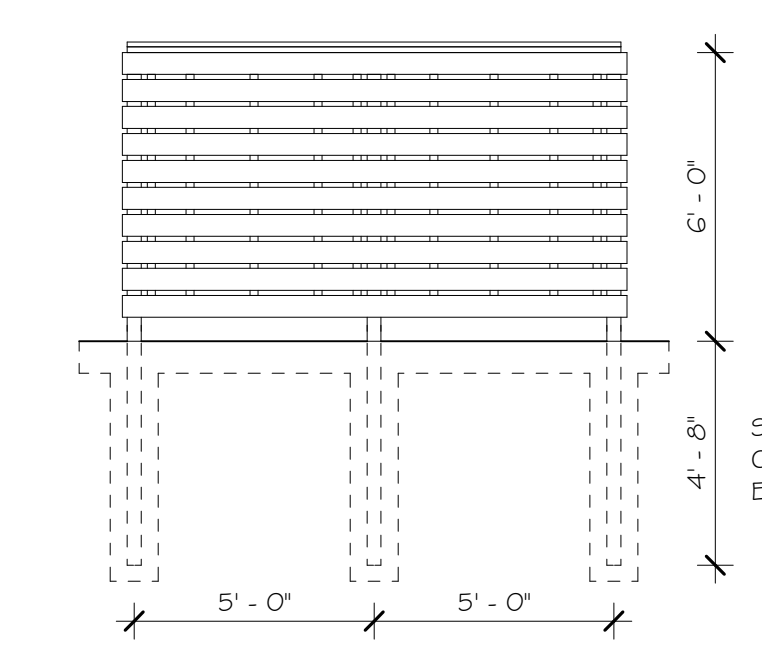
6 DETAIL @ METAL PANEL CONNECTION
 1 1/2" = 1'-0"



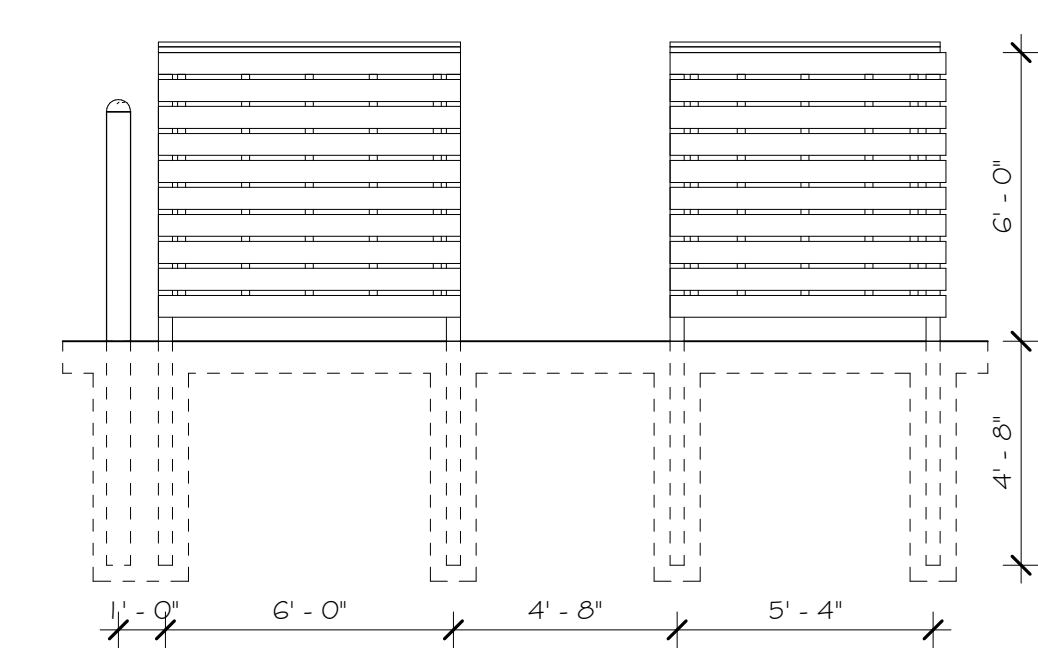
5 TRASH ENCLOSURE - FRONT ELEVATION
 1/4" = 1'-0"



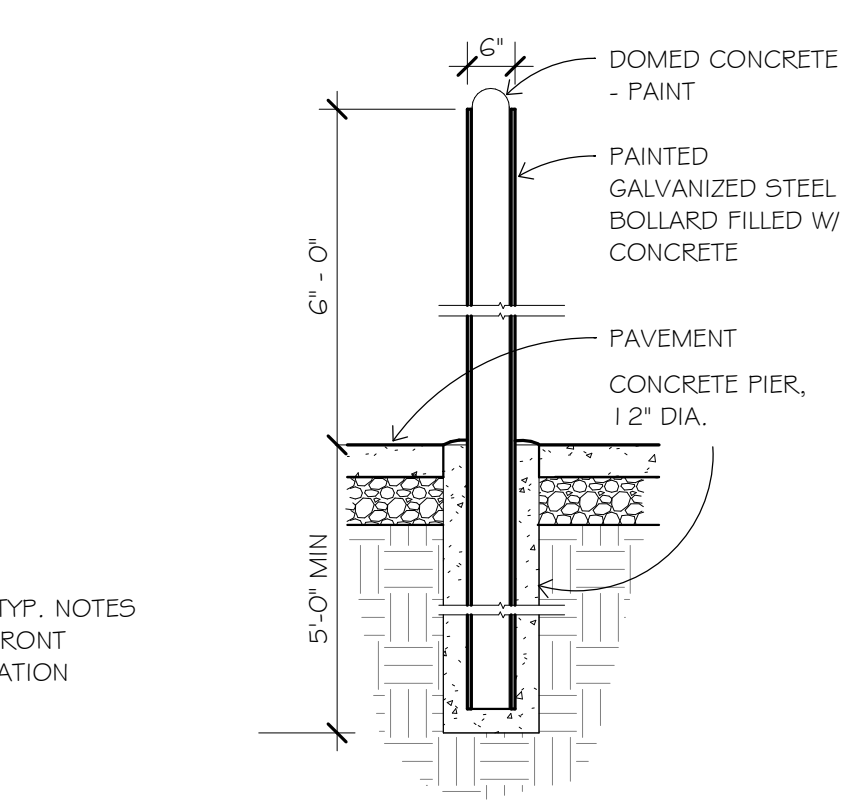
4 TRASH ENCLOSURE - SIDE ELEVATION
 1/4" = 1'-0"



3 TRASH ENCLOSURE - REAR ELEVATION
 1/4" = 1'-0"



2 TRASH ENCLOSURE - ENTRANCE ELEVATION
 1/4" = 1'-0"



1 BOLLARD DETAIL
 1/2" = 1'-0"



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SUBMITTALS / REVISIONS

- 02/16/18 MHFA REVIEW - SD
- 03/27/18 MHFA COMMENTS
- 04/20/18 50% CD
- 06/21/18 90% CD
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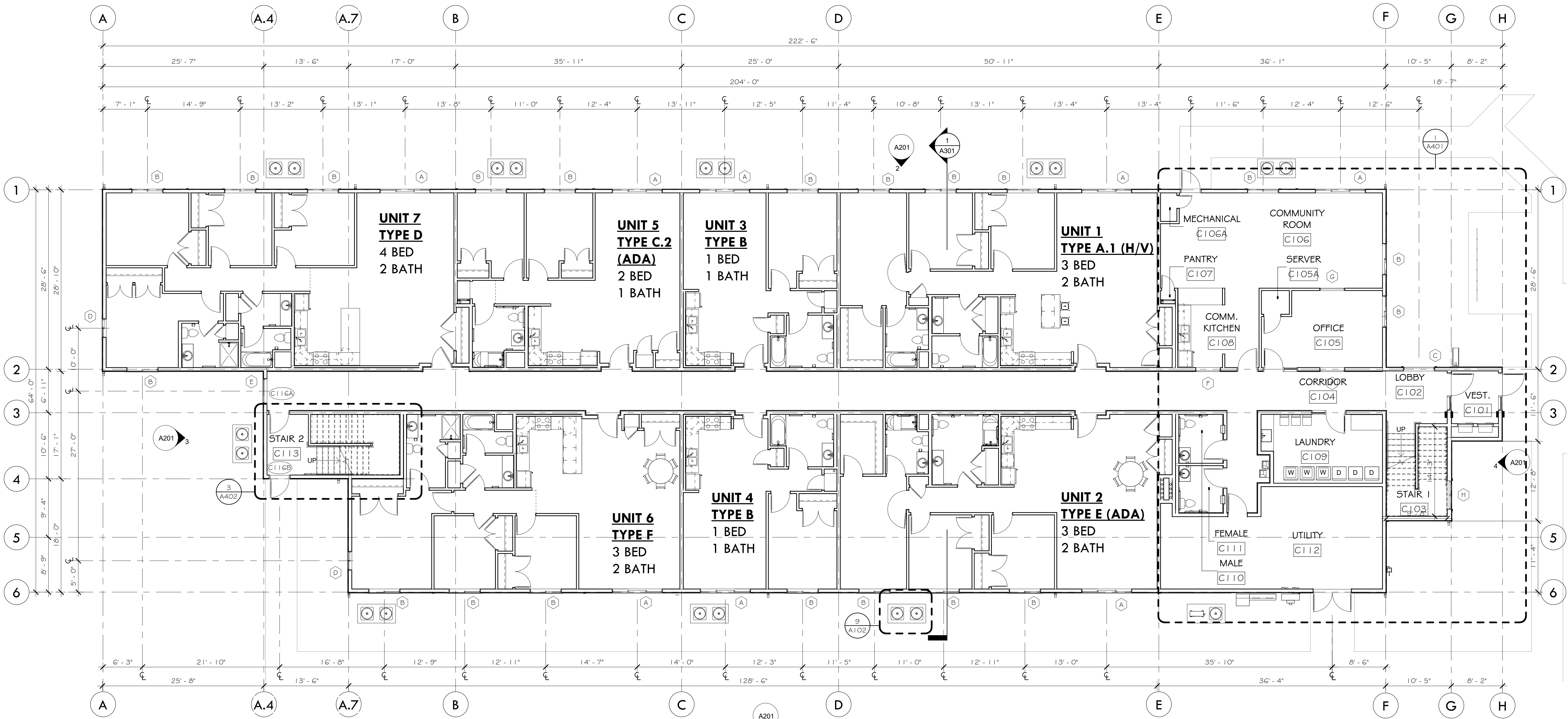
SCALE
1/8" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

FIRST FLOOR PLAN

A111



1 FIRST FLOOR
1/8" = 1'-0"

NOTES:
SEE SHEETS A410, A411, AND A412 FOR
DIMENSIONS AT UNITS.

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SUBMITTALS / REVISIONS

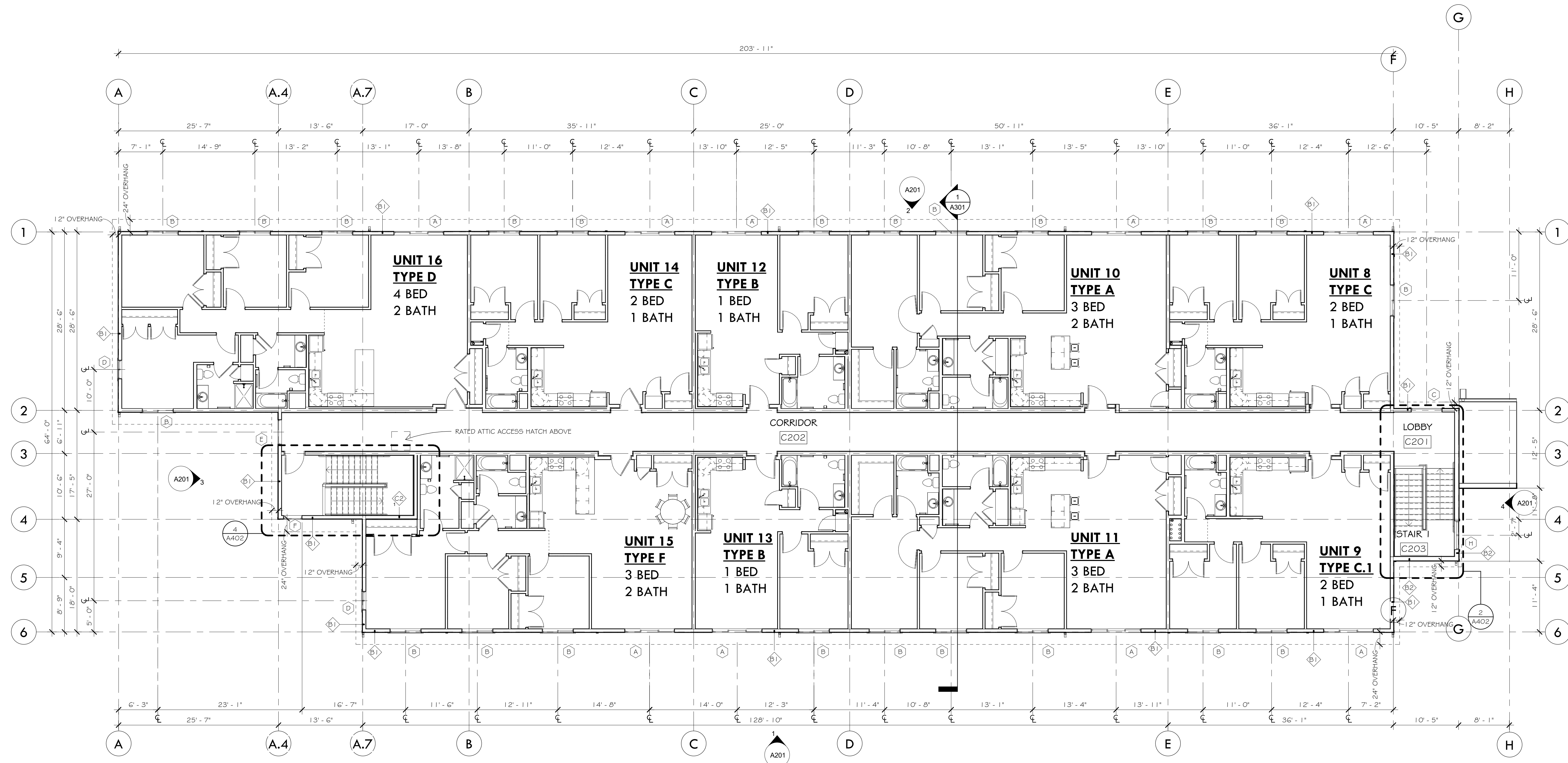
- 02/16/18 MHFA REVIEW - SD
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SECOND FLOOR PLAN



NOTES:
REFER TO SHEET A401 FOR DIMENSIONS AT COMMON AREA.
SEE SHEETS A410, A411, AND A412 FOR DIMENSIONS AT UNITS.

GRAPHIC LEGEND - ATTIC PLAN

- ATTIC ACCESS FROM SECOND FLOOR CEILING
- ATTIC WALK
- DRAFT STOPPING

NOTE:
 - DRAFTSTOPPING RUNS CONTINUOUSLY FROM CEILING OF UNIT BELOW TO UNDERSIDE OF ROOF DECK.
 - SEE ELECTRICAL FOR RELATED REQUIREMENTS WITHIN THE ATTIC, INCLUDING BUT NOT LIMITED TO GENERAL LIGHTING, POWER AND RADON EQUIPMENT.



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SUBMITTALS / REVISIONS

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SCALE
 As indicated

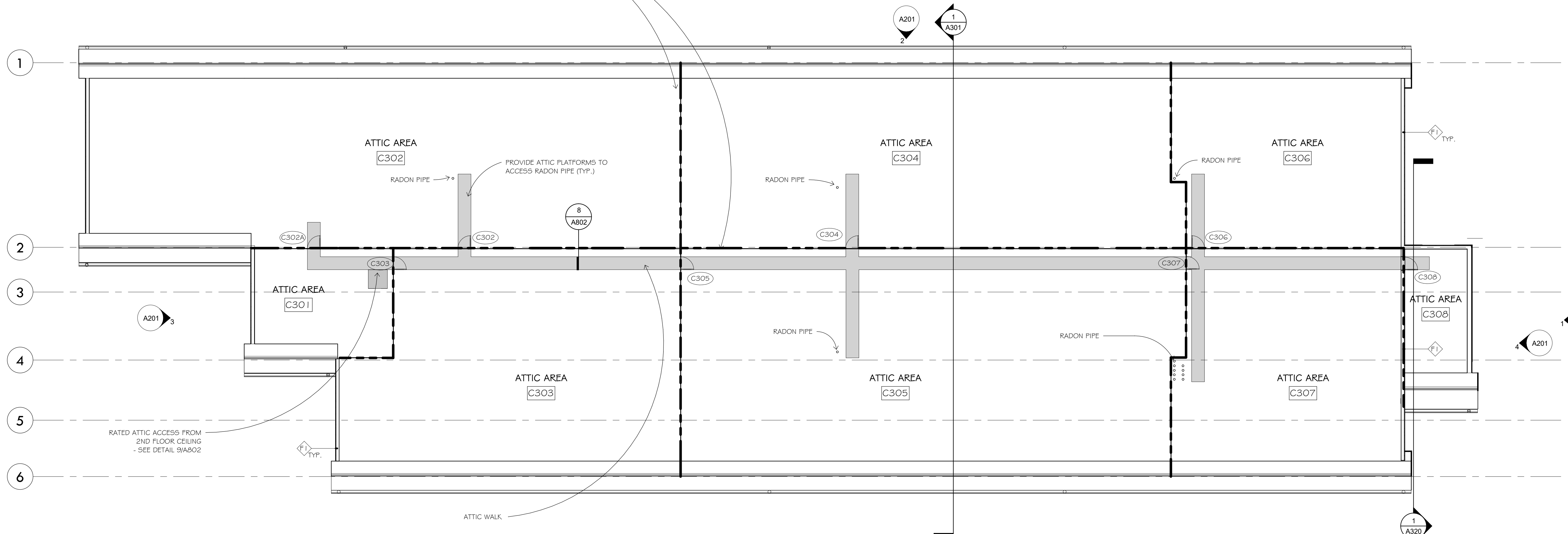
West Birch Apartments

1103 West Branch Street
 Princeton, MN

ATTIC PLAN

A113

DRAFTSTOPPING: 1/2" PLYWOOD SHEATHING ON FACE OF TRUSS
 ALIGN WITH WALL BELOW
 SEE STRUCTURAL FOR TRUSS TYPE AND SPACING
 SEE DOOR SCHEDULE FOR RELATED DOOR TYPE INFORMATION



RATED ATTIC ACCESS FROM
 2ND FLOOR CEILING
 - SEE DETAIL 9/A802

PROVIDE ATTIC PLATFORMS TO
 ACCESS RADON PIPE (TYP.)

NOTE:
 ATTIC WALK SHOWN FOR REFERENCE ONLY. PROVIDE ATTIC WALKS AND PLATFORMS TO ACCESS MECHANICAL EQUIPMENT AND OTHER SYSTEMS AS REQUIRED BY CODE.
 INSTALL LIGHT AND OUTLET ADJACENT TO SERVICE AREAS - SEE ELECTRICAL PLANS.
 PROVIDE GENERAL ATTIC ILLUMINATION FROM LABELED SWITCHES AT ATTIC ACCESS. SEE ELECTRICAL FOR RELATED INFORMATION.

1 ATTIC
 1/8" = 1'-0"

ROOF VENT CALCULATIONS

ZONE	ROOF AREA/VENT FACTOR	REQ'D FREE AIR CAPACITY
1	879 SF / 300 = 2.93 SF	422 SQ. IN.
2	676 SF / 300 = 2.25 SF	324 SQ. IN.
3	10586 / 300 = 35.3 SF	5084 SQ. IN.
4	306 / 300 = 1.02 SF	147 SQ. IN.
5	126 / 300 = 0.42 SF	61 SQ. IN.

NOTE:
VENTILATION FREE AIR CAPACITY SHALL BE EQUALLY SPACED OVER ENTIRE ZONE.

ROOF PLAN LEGEND

- DOWNSPOUT
- RADON MITIGATION - (SEE MECH.)
- ROOF VENT ZONE



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MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD
Issue Date
06/07/19

SUBMITTALS / REVISIONS

- 04/20/18 50% CD
- 06/21/18 90% CD
- 08/24/18 100% MHFA REVIEW
- 02/05/19 ISSUED FOR CITY REVIEW
- 02/21/19 ADDENDUM #2
- 1 06/07/19 ISSUED FOR CONSTRUCTION

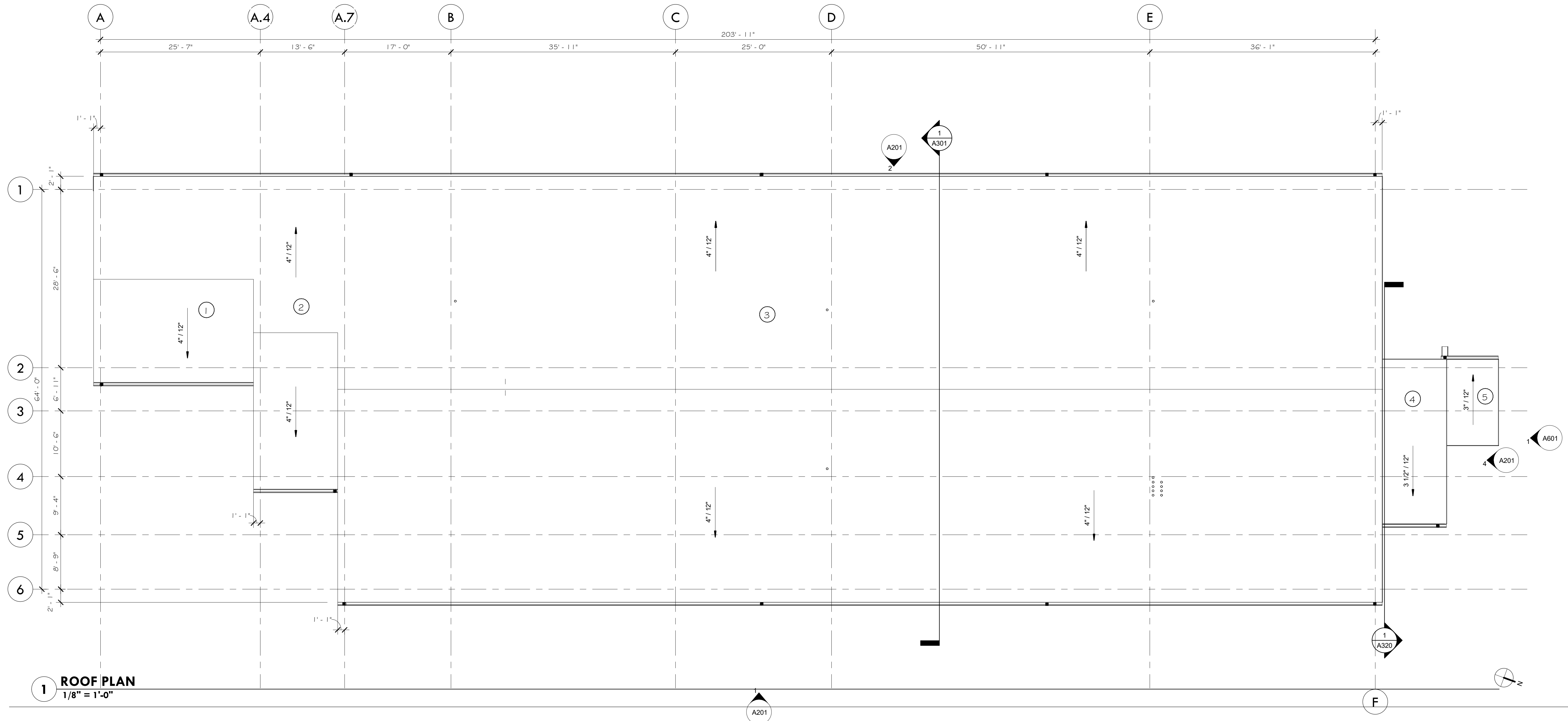
SCALE
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West Birch Apartments

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ROOF PLAN

A121



1 ROOF PLAN
1/8" = 1'-0"



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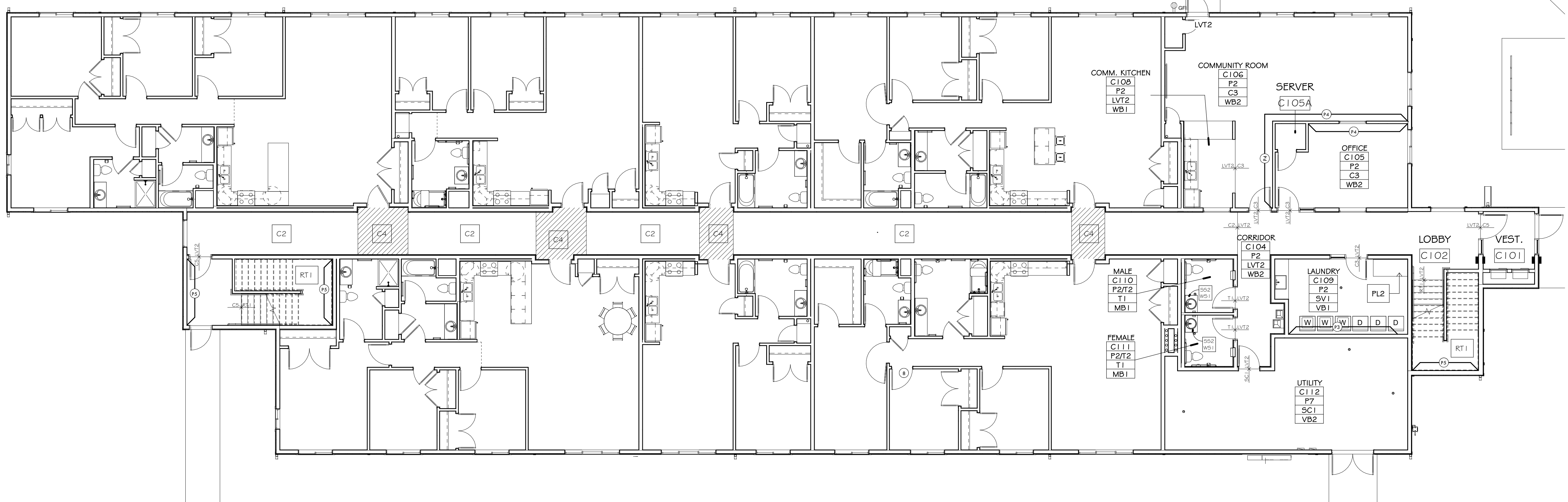
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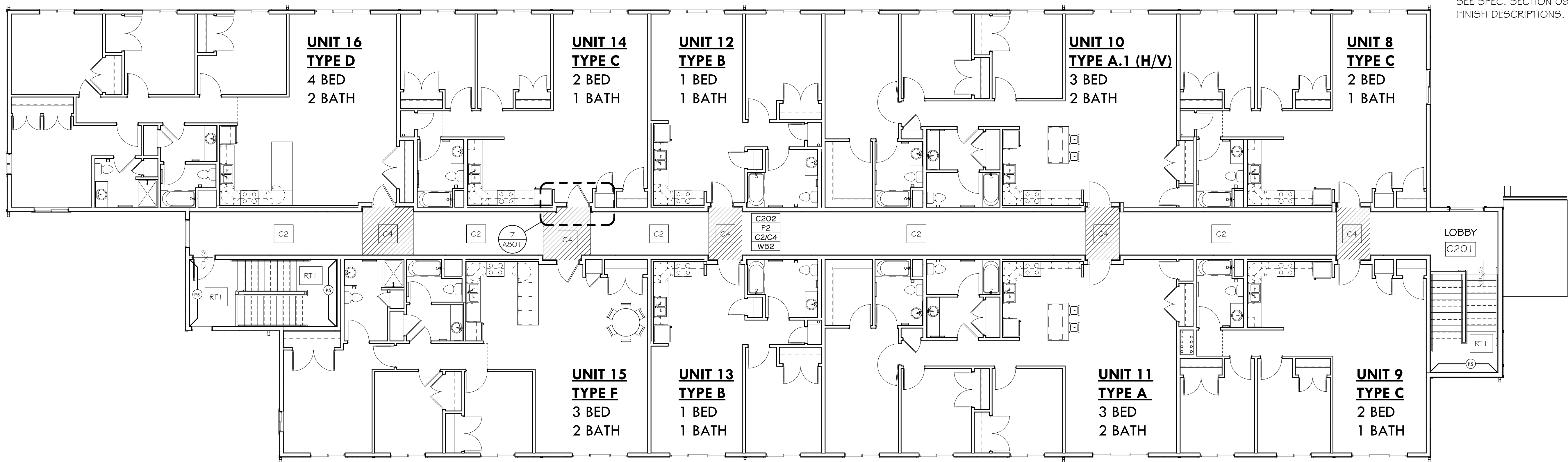
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2 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

NOTE:
ALL WALLS P2 UNLESS OTHERWISE NOTED.
SEE SPEC. SECTION 09 90 05 FOR FINISH DESCRIPTIONS.



1 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

PROJECT INFO

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Drawn By:
HD, JH
Issue Date
06/07/19

SUBMITTALS / REVISIONS	
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08/24/18	100% MHFA REVIEW
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SCALE
1/8" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

FINISH PLANS

A130

ELEVATION LEGEND

- (Sx) EXTERIOR MATERIAL TAG
- (Tx) SIDING / TRIM TYPE - SEE BELOW
- S1 SIDING TYPE 1 - VINYL SIDING: SNOW - SEE SPECIFICATIONS
- S2 SIDING TYPE 2 - VINYL SIDING: CASTLE STONE - SEE SPECIFICATIONS
- S3 SIDING TYPE 2 - ACCENT VINYL SIDING: EXPRESSO - SEE SPECIFICATIONS
- S4 FIBER CEMENT PANEL TYPE 4 - "BRICK LOOK" - SEE SPECIFICATIONS
- (X) WINDOW TAG - SEE WINDOW TYPES
- (X) DOOR TAG - SEE DOOR TYPES



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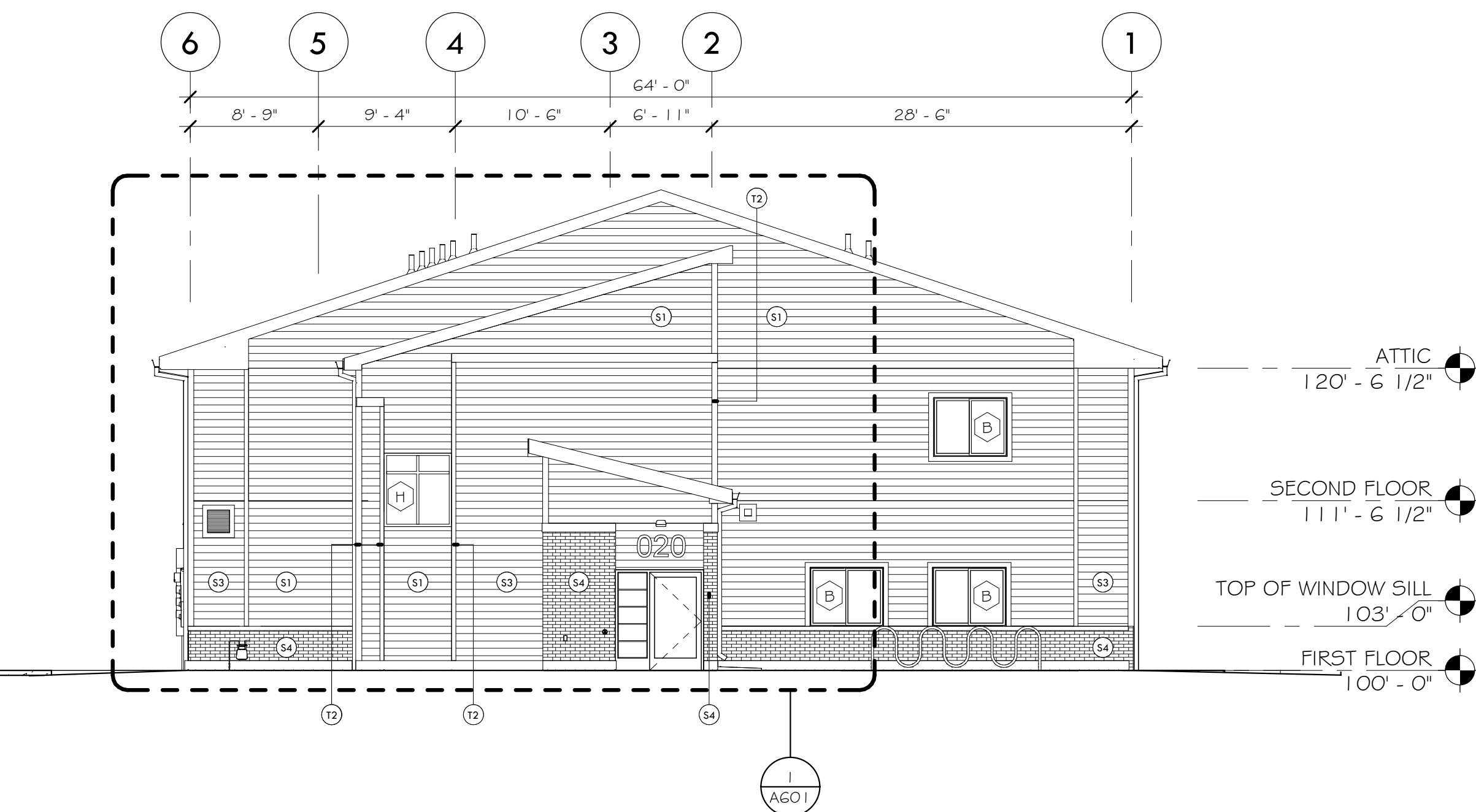
SCALE
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West Birch Apartments

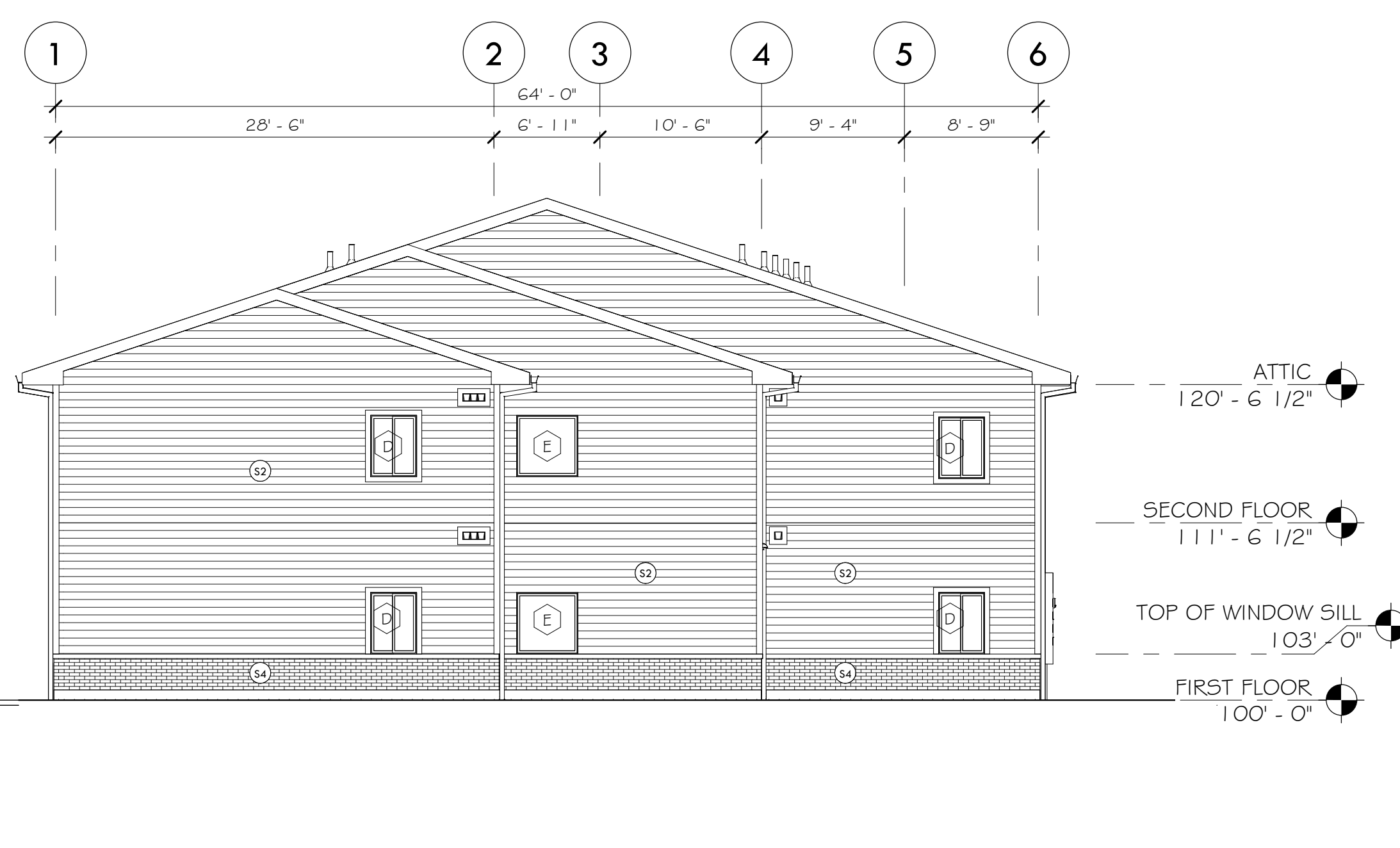
1103 West Branch Street
 Princeton, MN

BUILDING ELEVATIONS

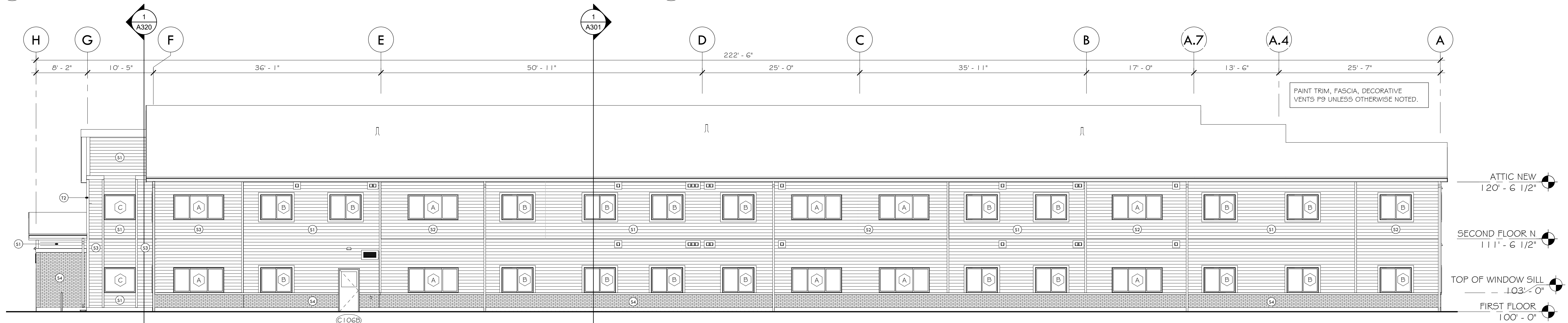
A201



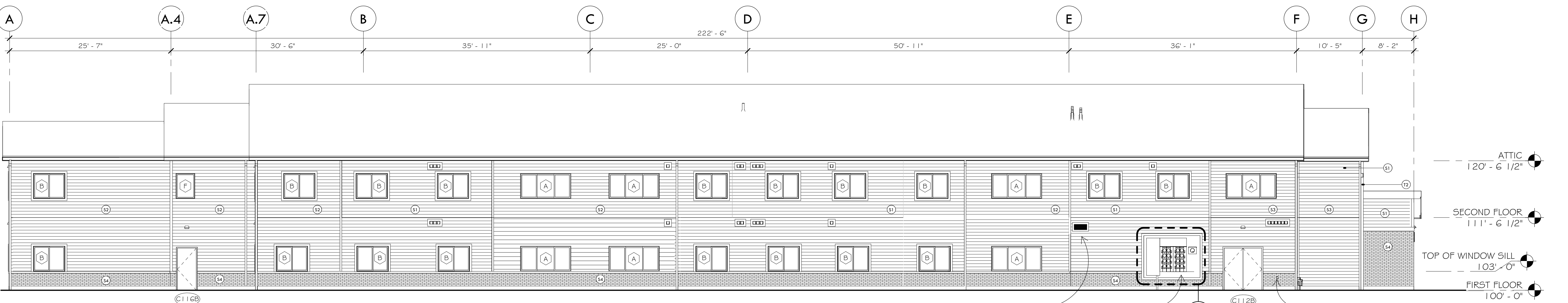
4 NORTH ELEVATION
 1/8" = 1'-0"



3 SOUTH ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"



1 EAST ELEVATION
 1/8" = 1'-0"

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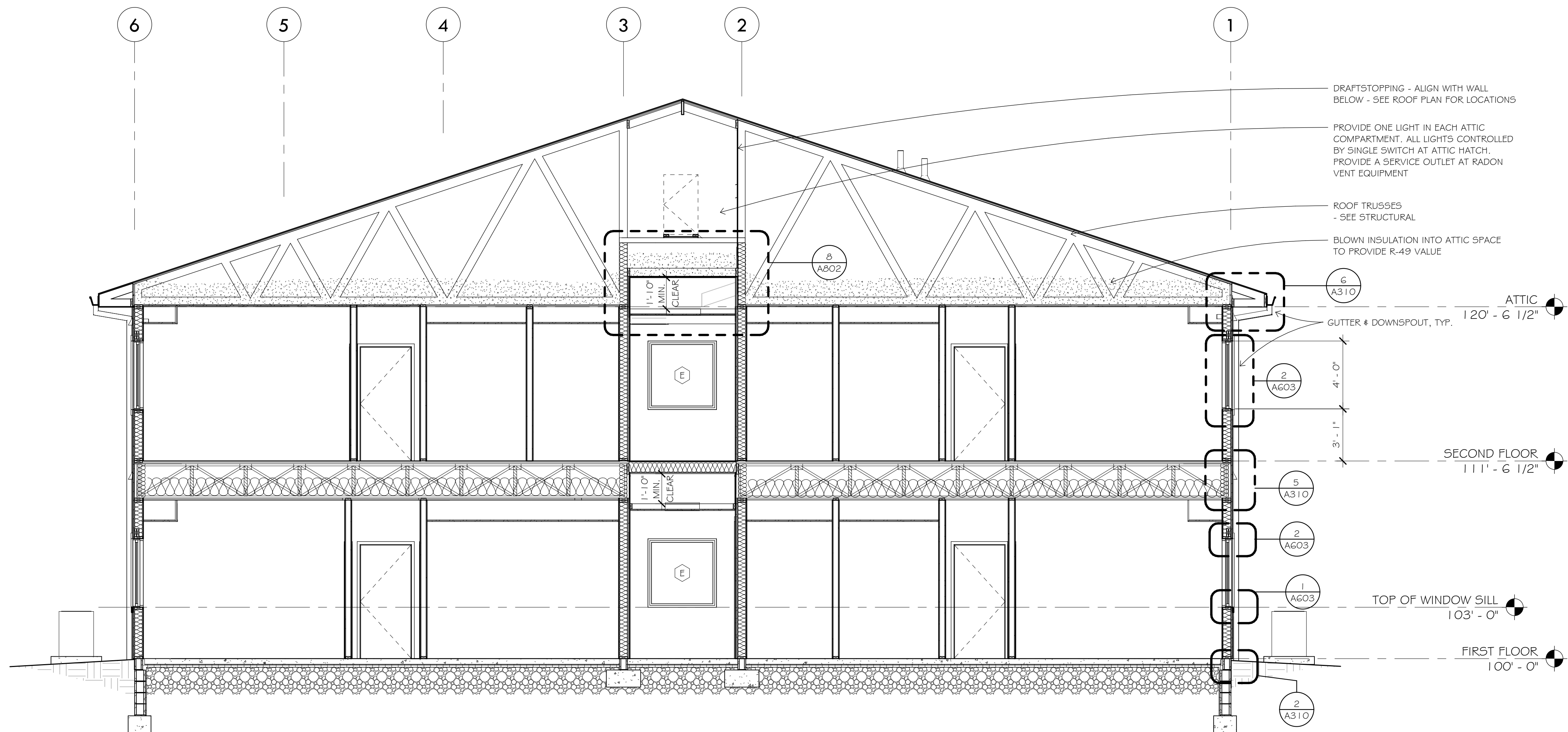
SCALE
1/4" = 1'-0"

West Birch Apartments

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Princeton, MN

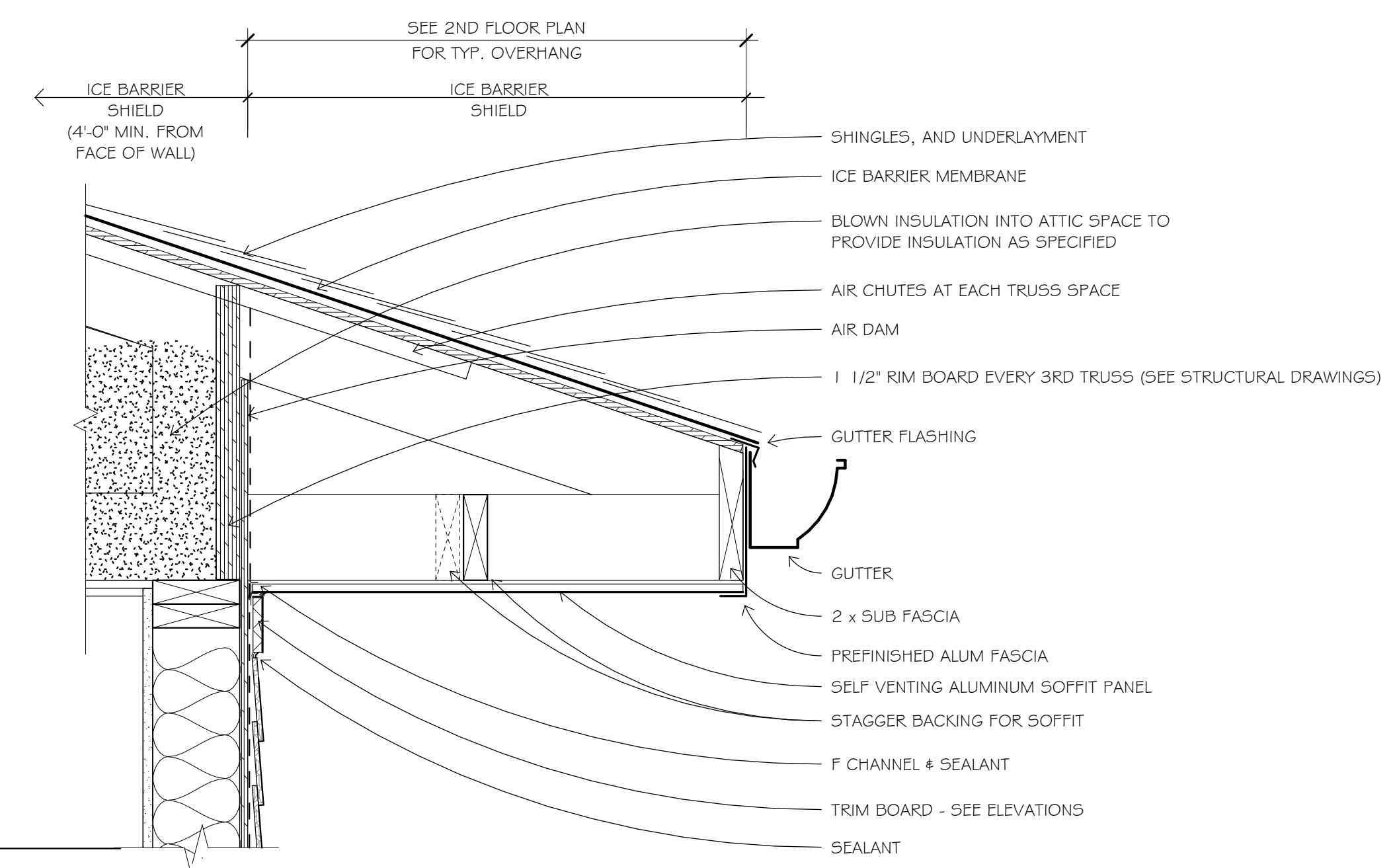
BUILDING SECTIONS

A301

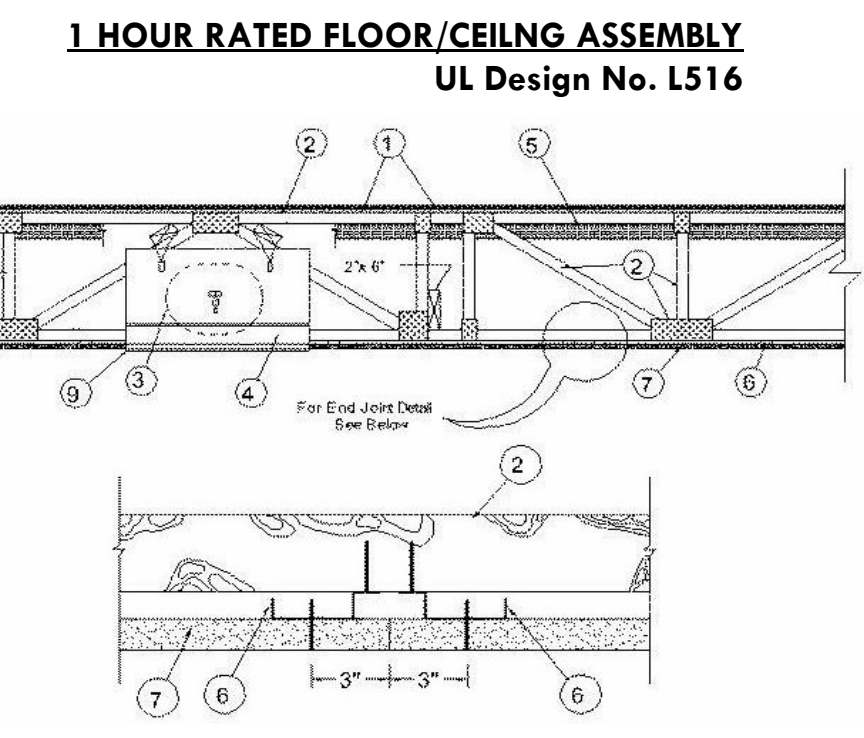
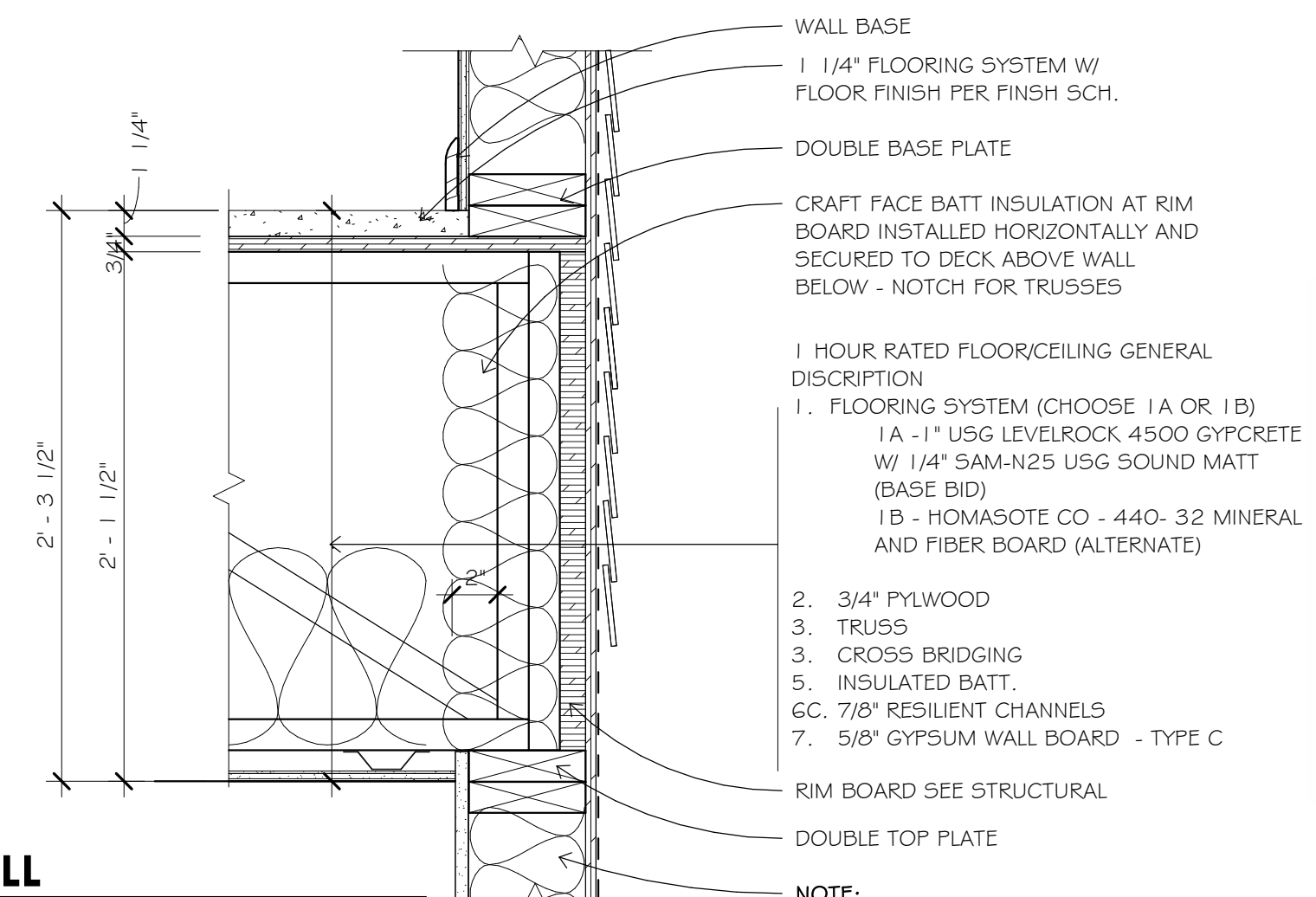


1 SECTION
1/4" = 1'-0"

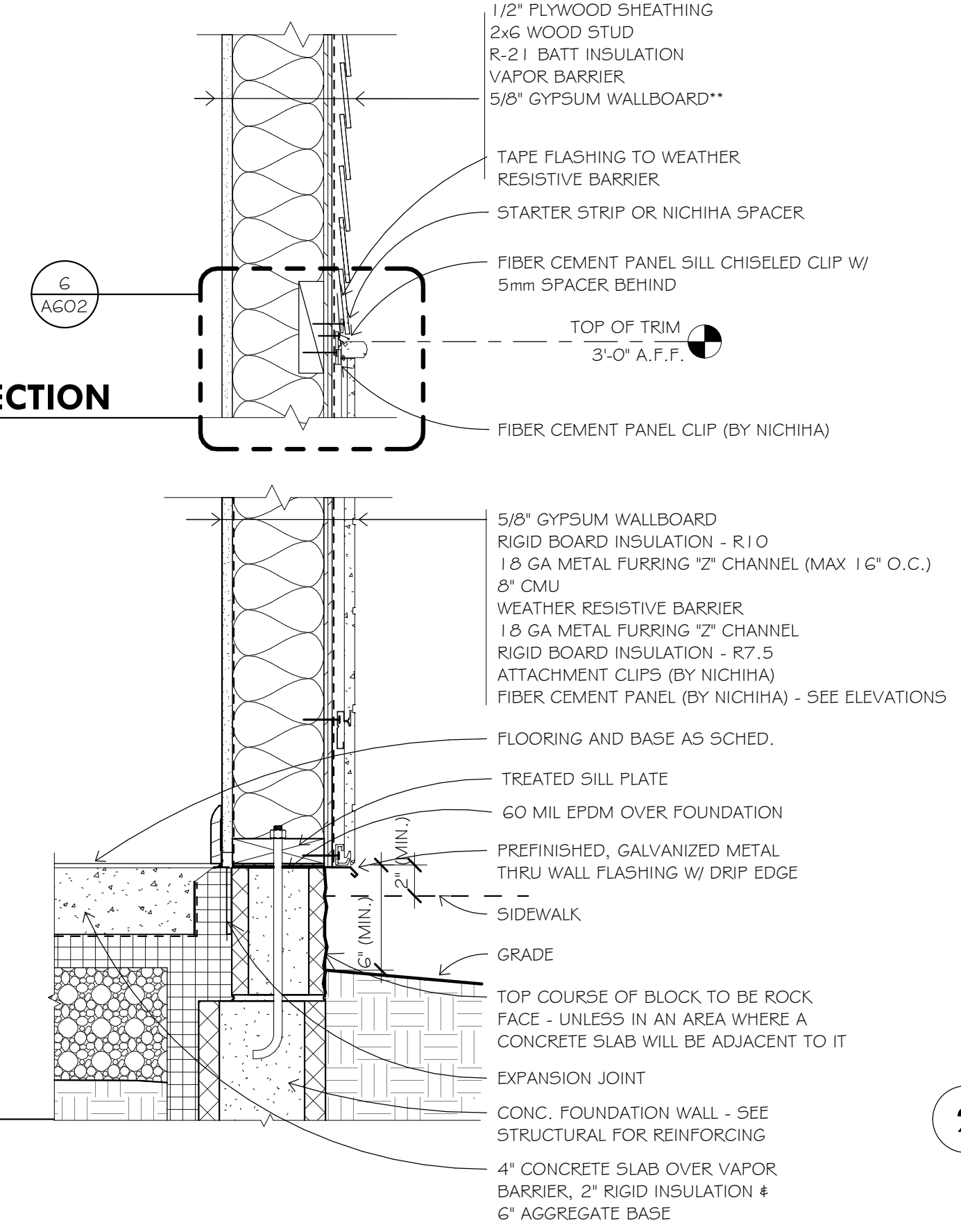
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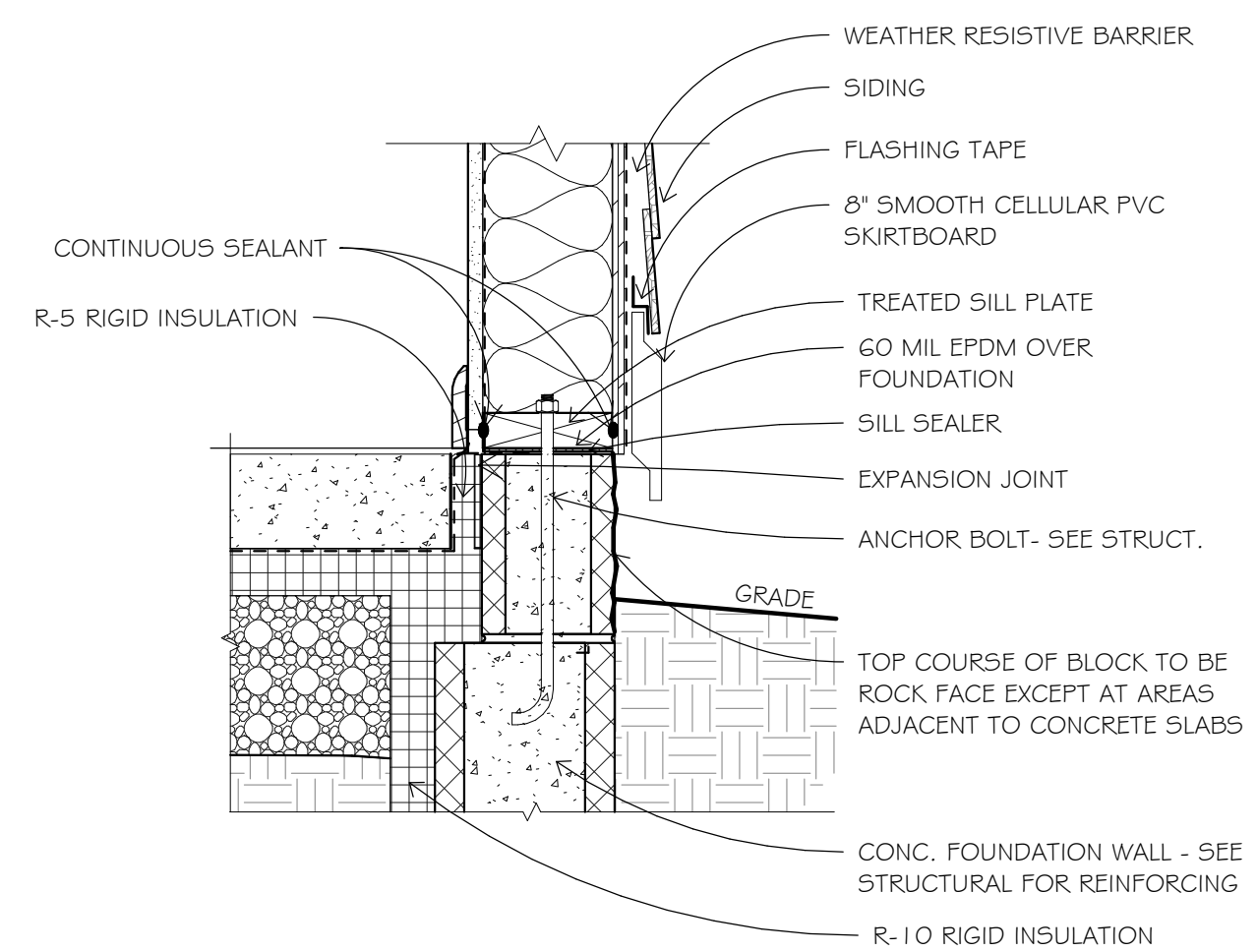
6 ROOF TO WALL CONNECTION
1 1/2" = 1'-0"



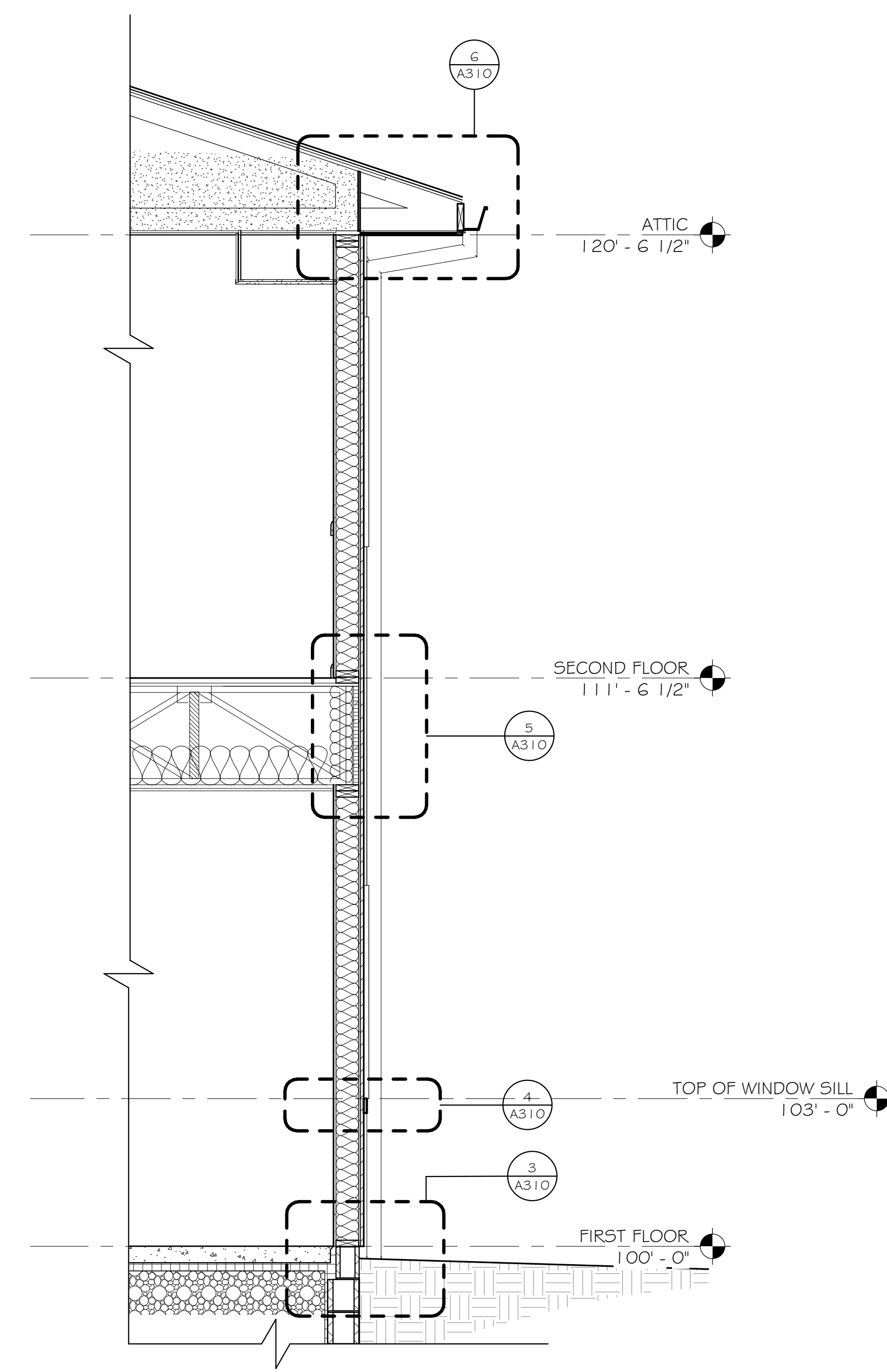
5 FLOOR JOISTS @ EXTERIOR WALL
1 1/2" = 1'-0"



4 SIDING TO FIBER CEMENT PANEL CONNECTION
1 1/2" = 1'-0"



2 WALL TO FOUNDATION CONNECTION.
1 1/2" = 1'-0"
@ SIDING



1 WALL SECTION - 2
1/2" = 1'-0"

3 WALL TO FOUNDATION CONNECTION
1 1/2" = 1'-0"
@ NICHIIA PANEL



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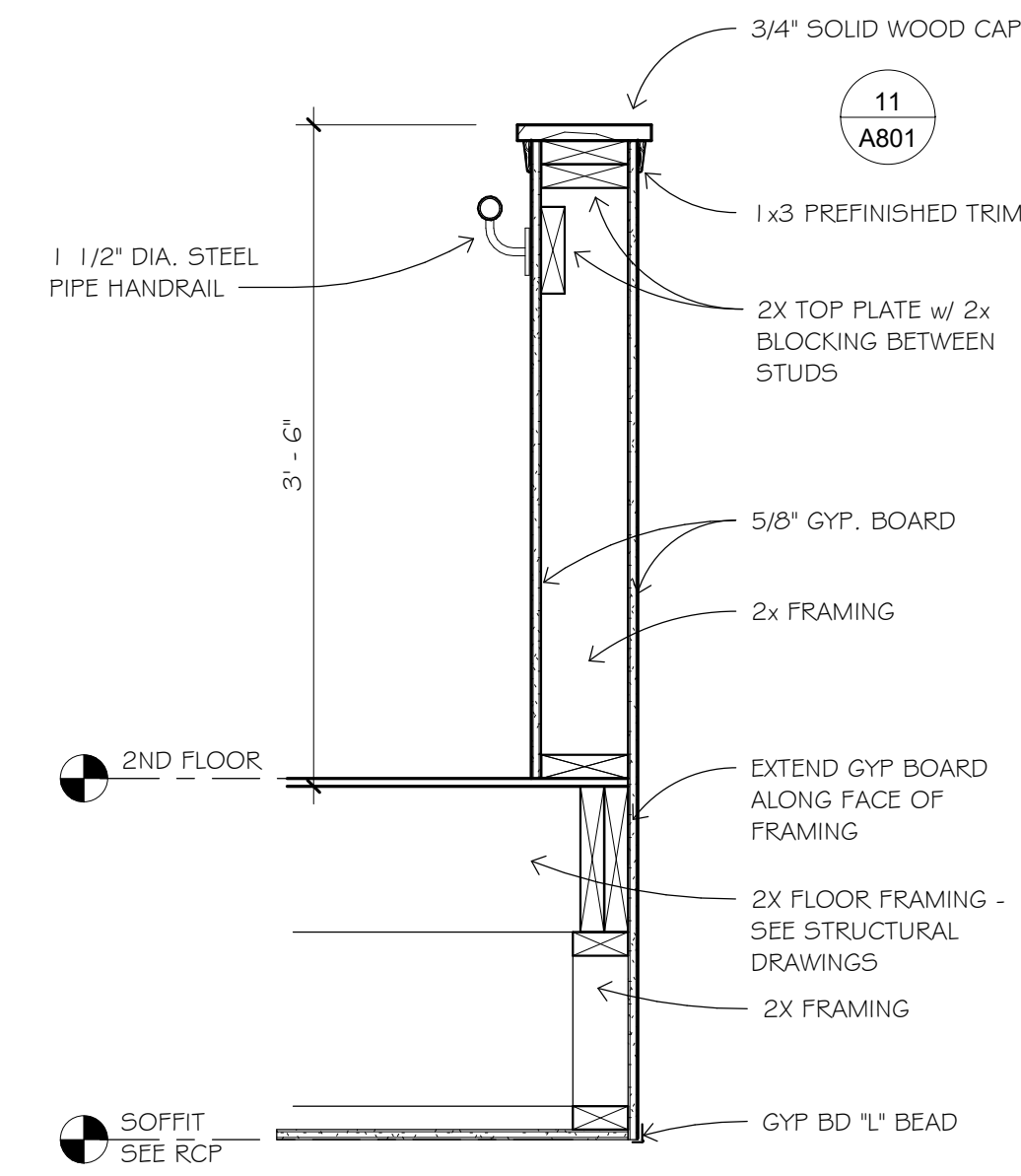
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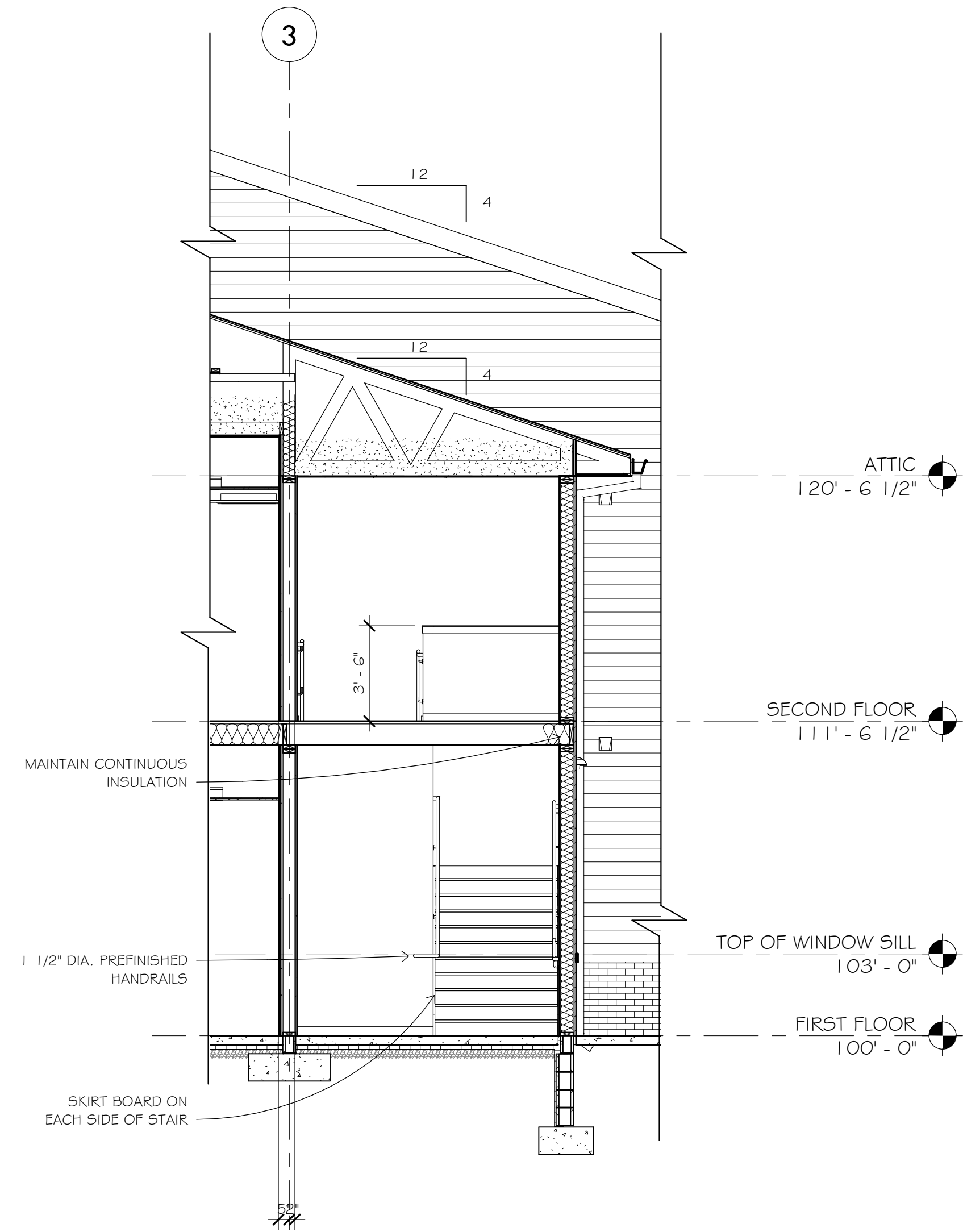
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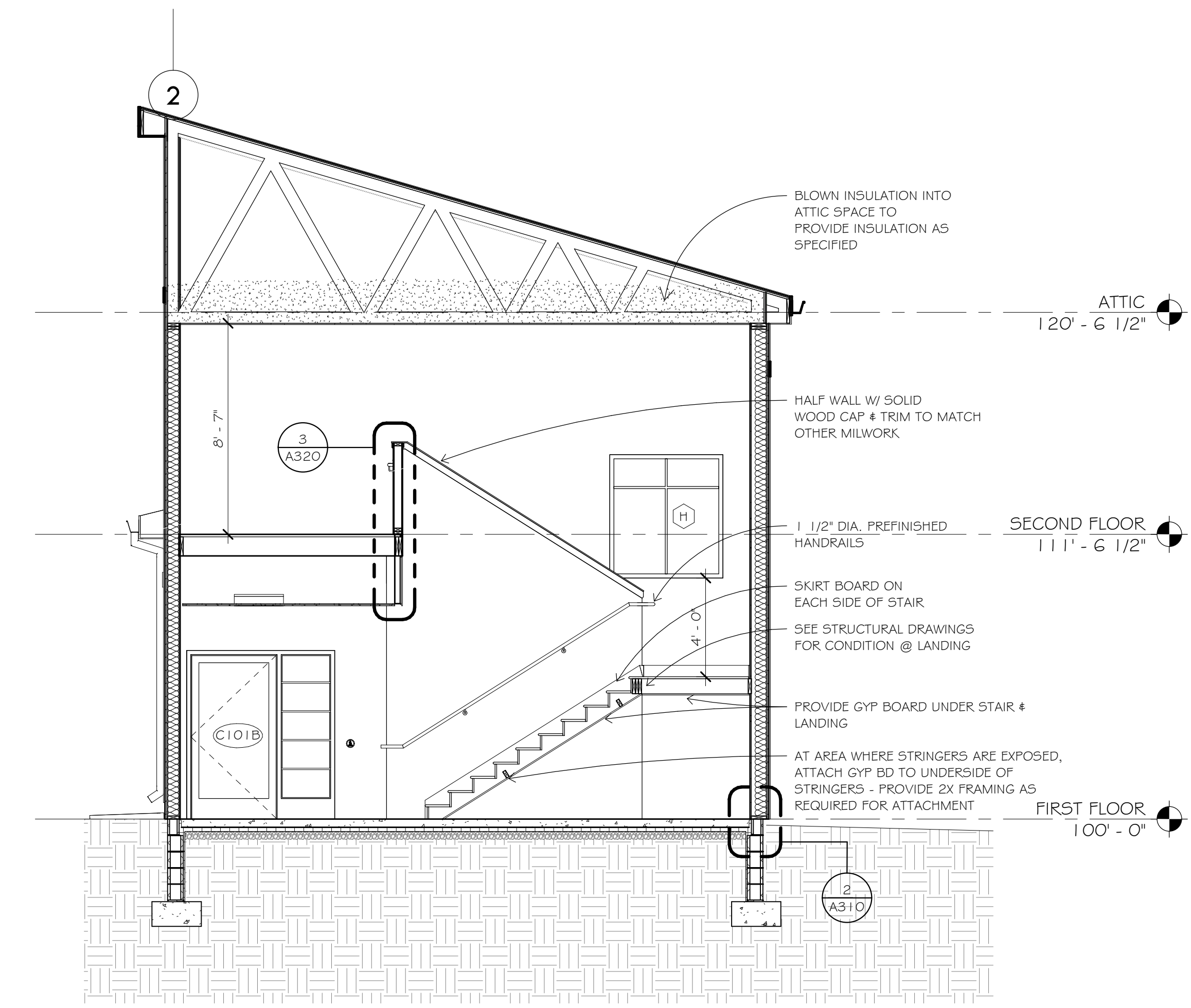
6/30/2020
reg. exp. date



3 TYPICAL HALF WALL W/ WOOD CAP
1" = 1'-0"



2 SECTION AT STAIR 2
1/4" = 1'-0"



1 SECTION AT STAIR-1
1/4" = 1'-0"

PROJECT INFO

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HD
Issue Date
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1 06/07/19	ISSUED FOR CONSTRUCTION

SCALE
As indicated

West Birch Apartments

1103 West Branch Street
Princeton, MN

STAIR SECTIONS

A320



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James L. Moy 6/30/2020
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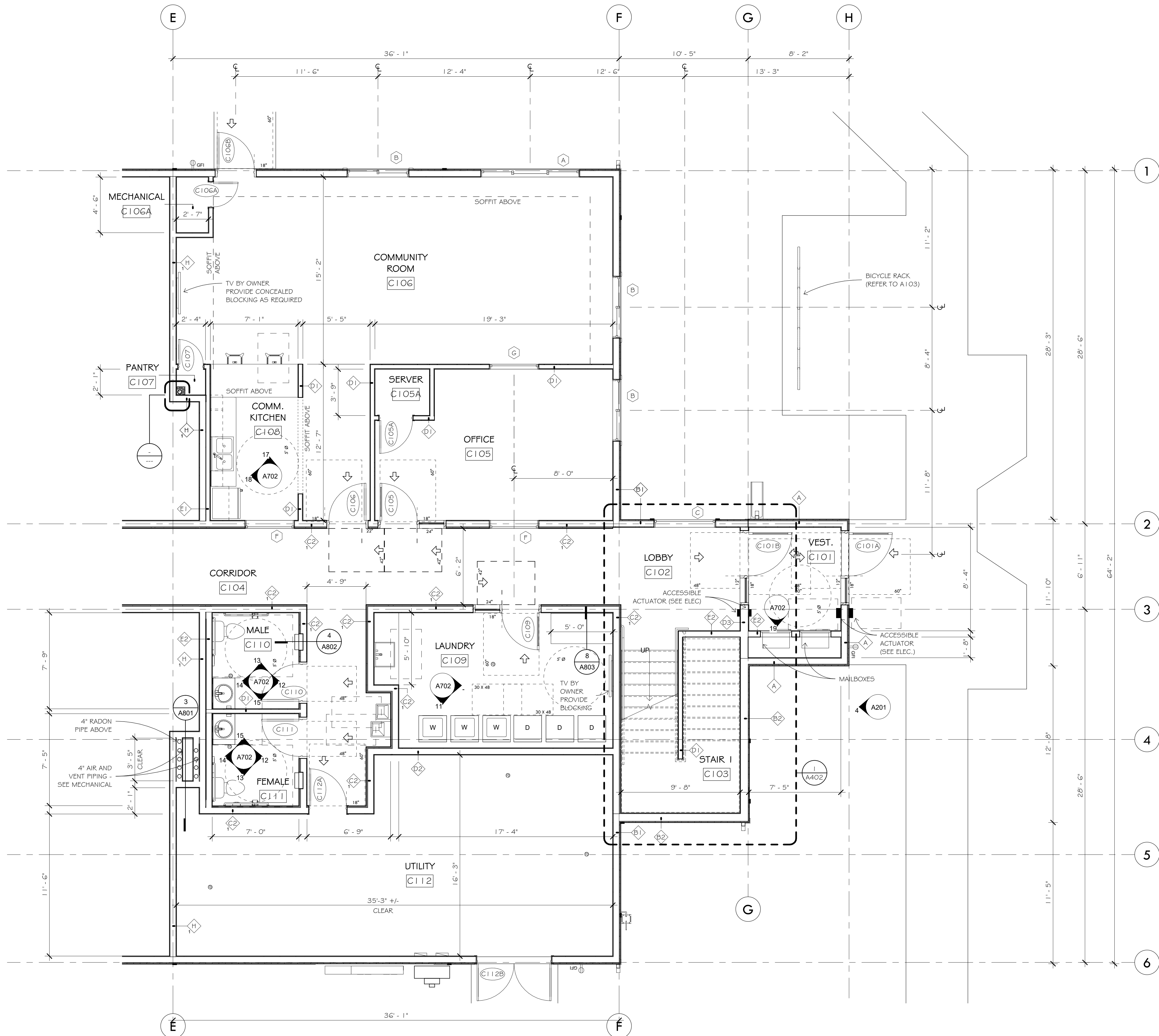
SCALE
As indicated

West Birch Apartments

1103 West Branch Street
Princeton, MN

ENLARGED PLANS -
COMMON AREA

A401



1 ENLARGED PLAN AT FIRST FLOOR COMMON AREAS
1/4" = 1'-0"



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SB, HD
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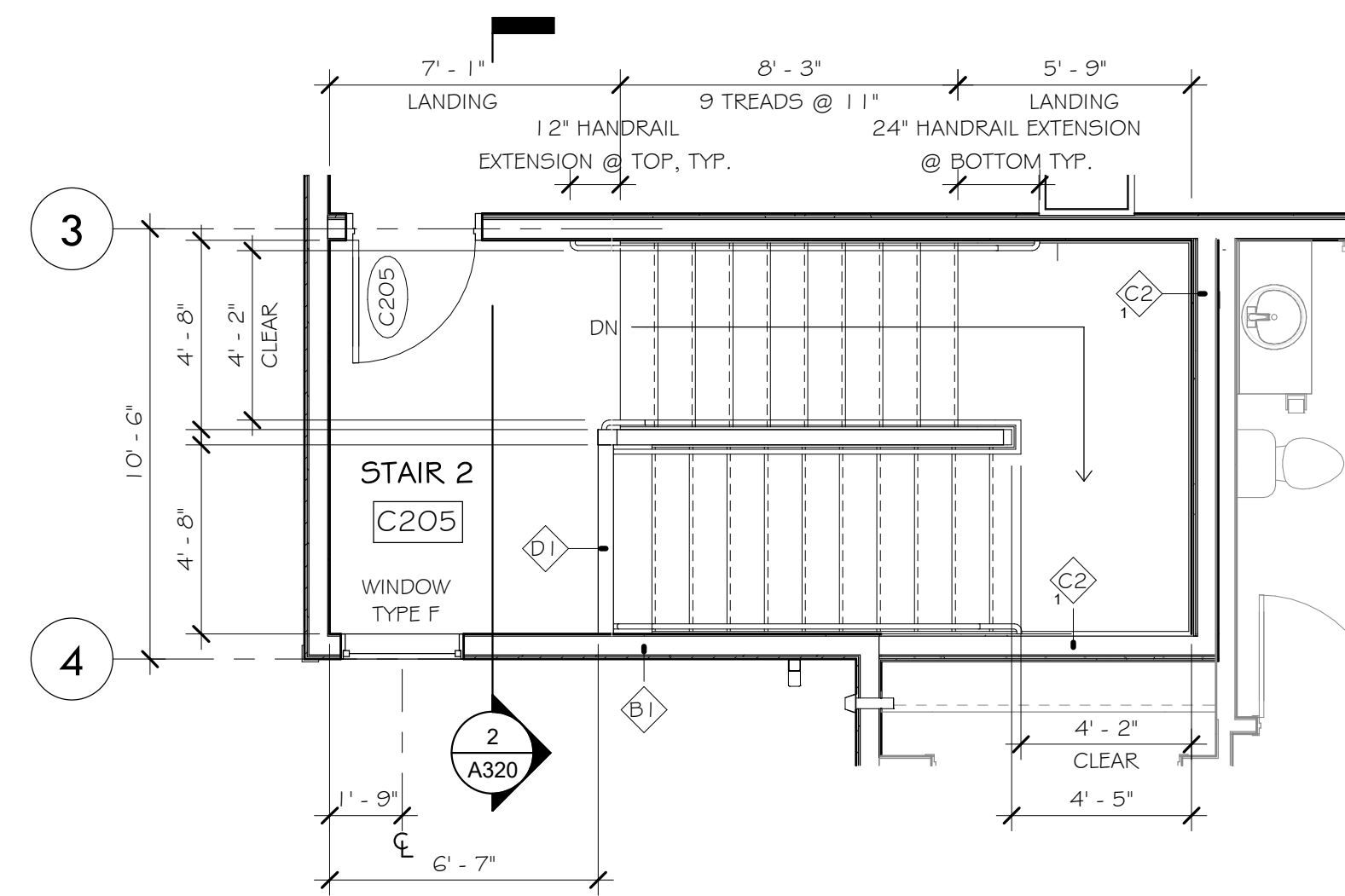
SCALE
1/4" = 1'-0"

West Birch Apartments

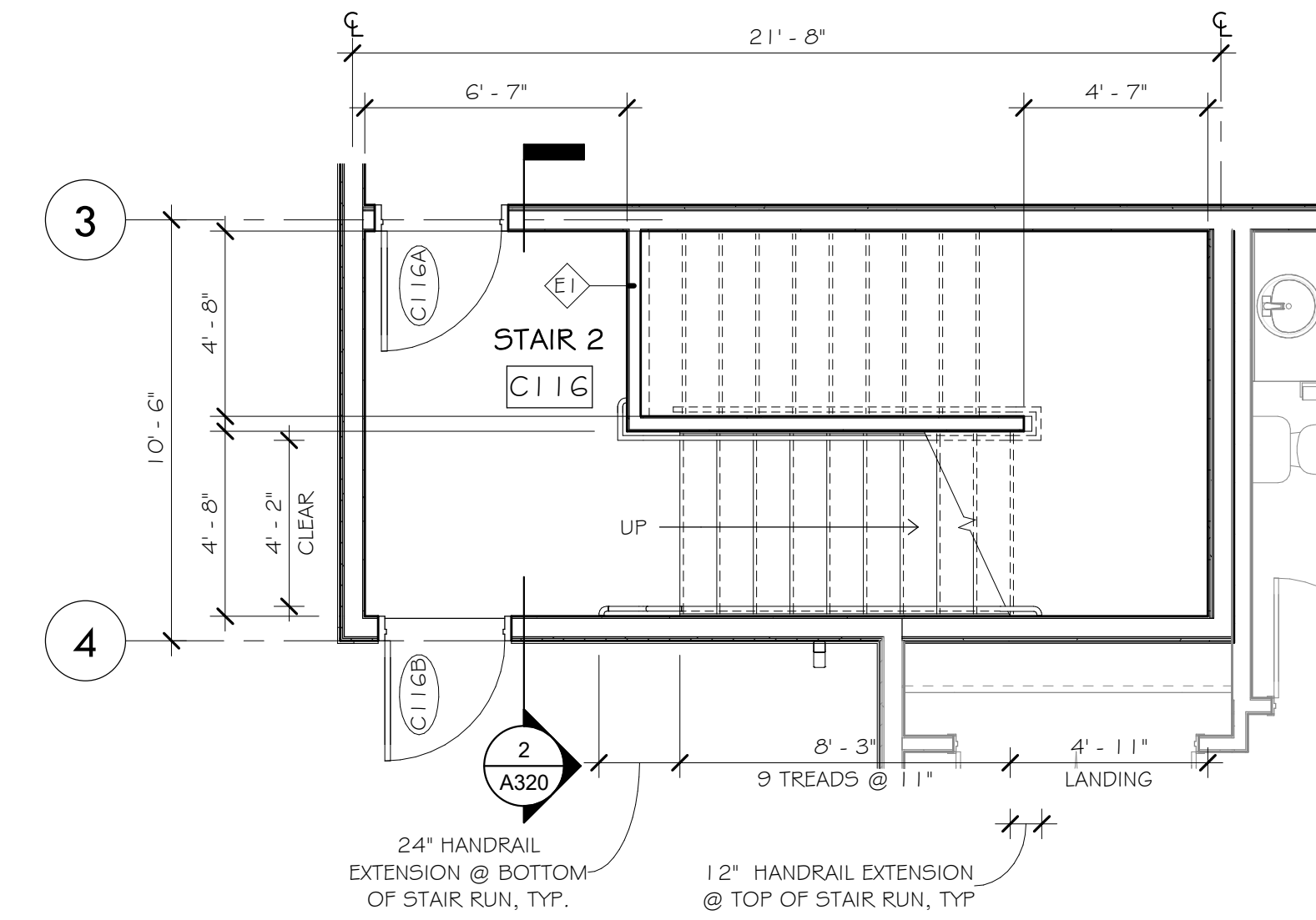
1103 West Branch Street
Princeton, MN

ENLARGED PLANS - STAIRS

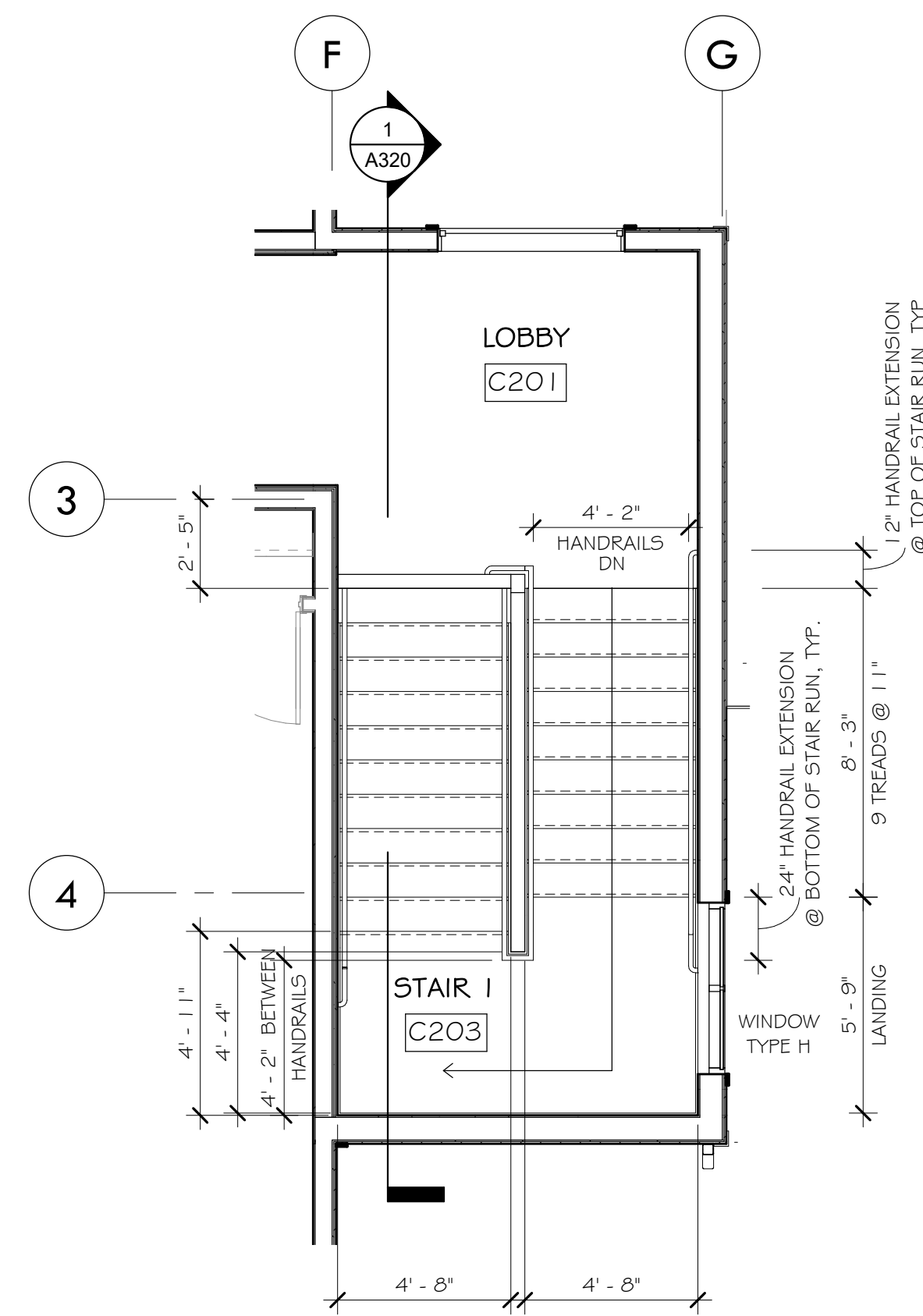
A402



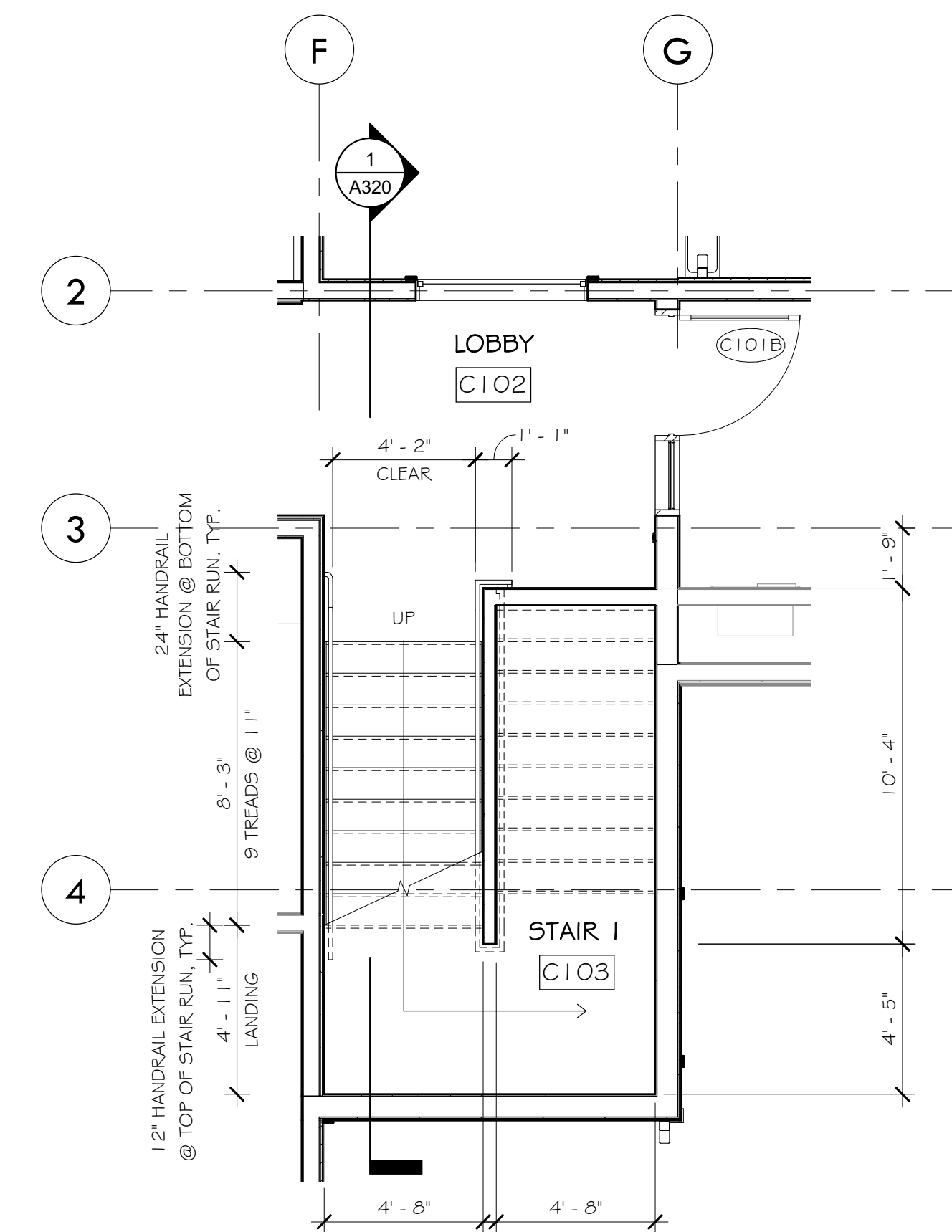
4 ENLARGED PLAN AT STAIR 2 - SECOND FLOOR
1/4" = 1'-0"



3 ENLARGED PLAN AT STAIR 2 - FIRST FLOOR
1/4" = 1'-0"



2 ENLARGED PLAN AT STAIR 1 - SECOND FLOOR
1/4" = 1'-0"



1 ENLARGED PLAN AT STAIR 1 - FIRST FLOOR
1/4" = 1'-0"

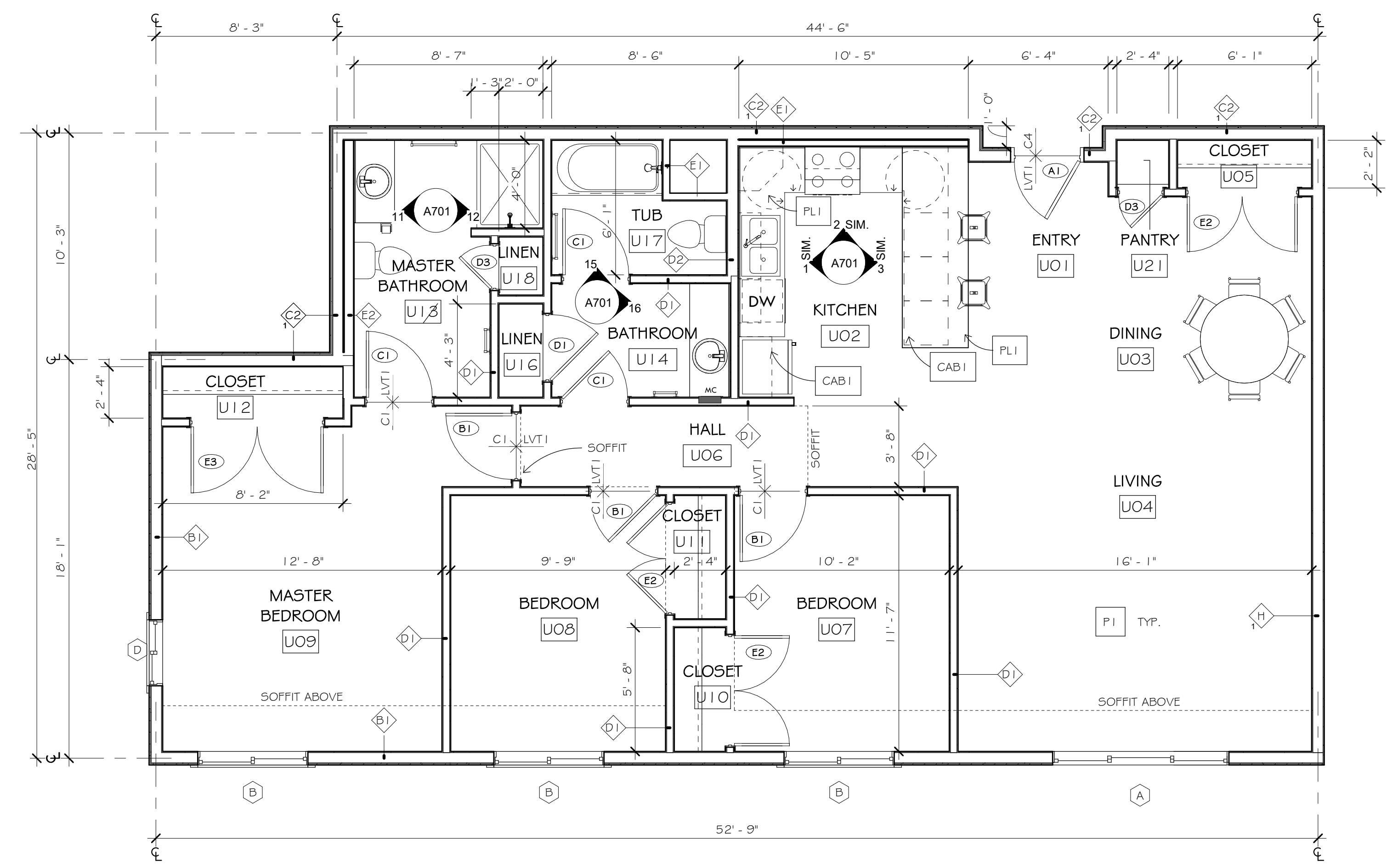


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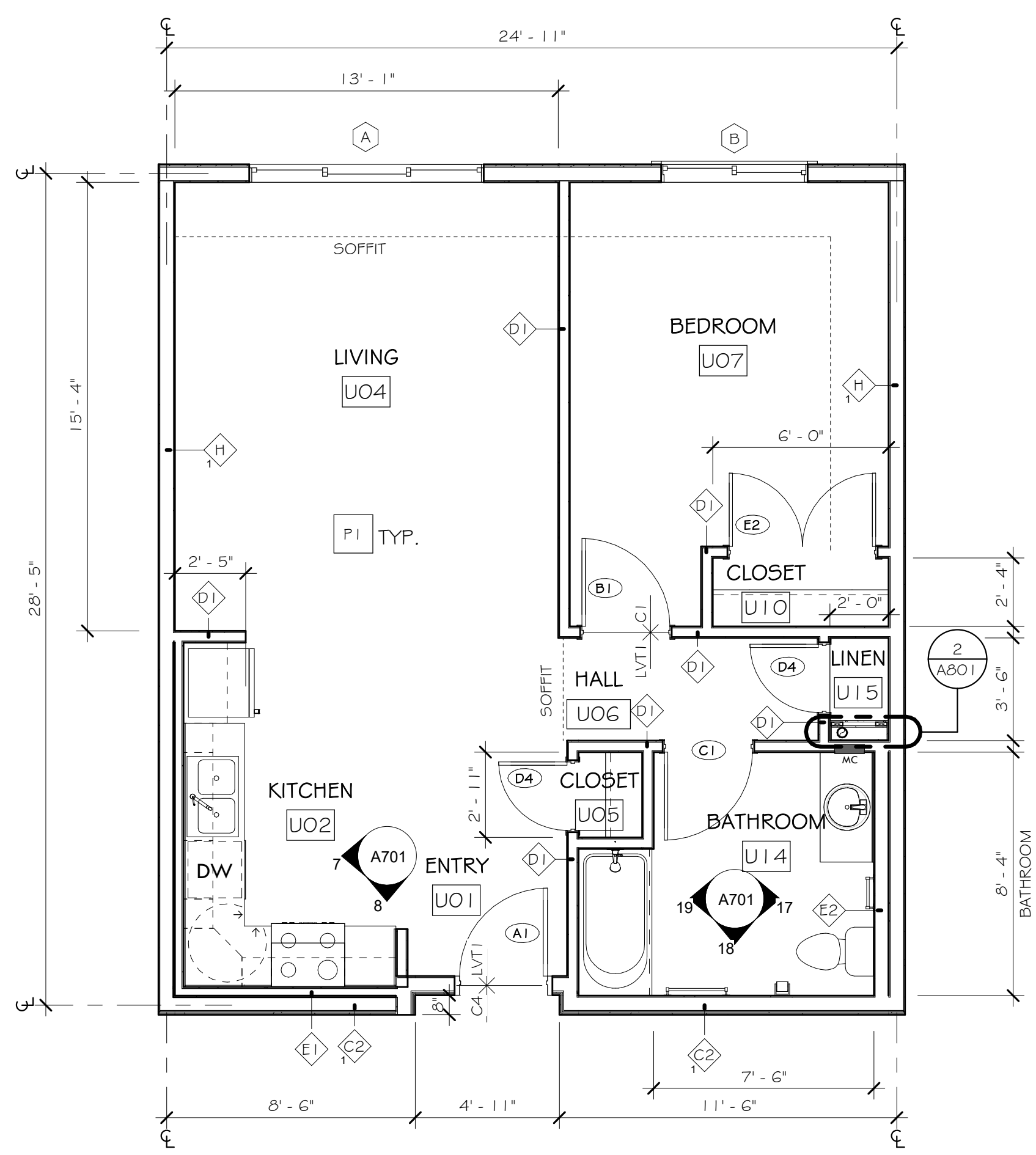
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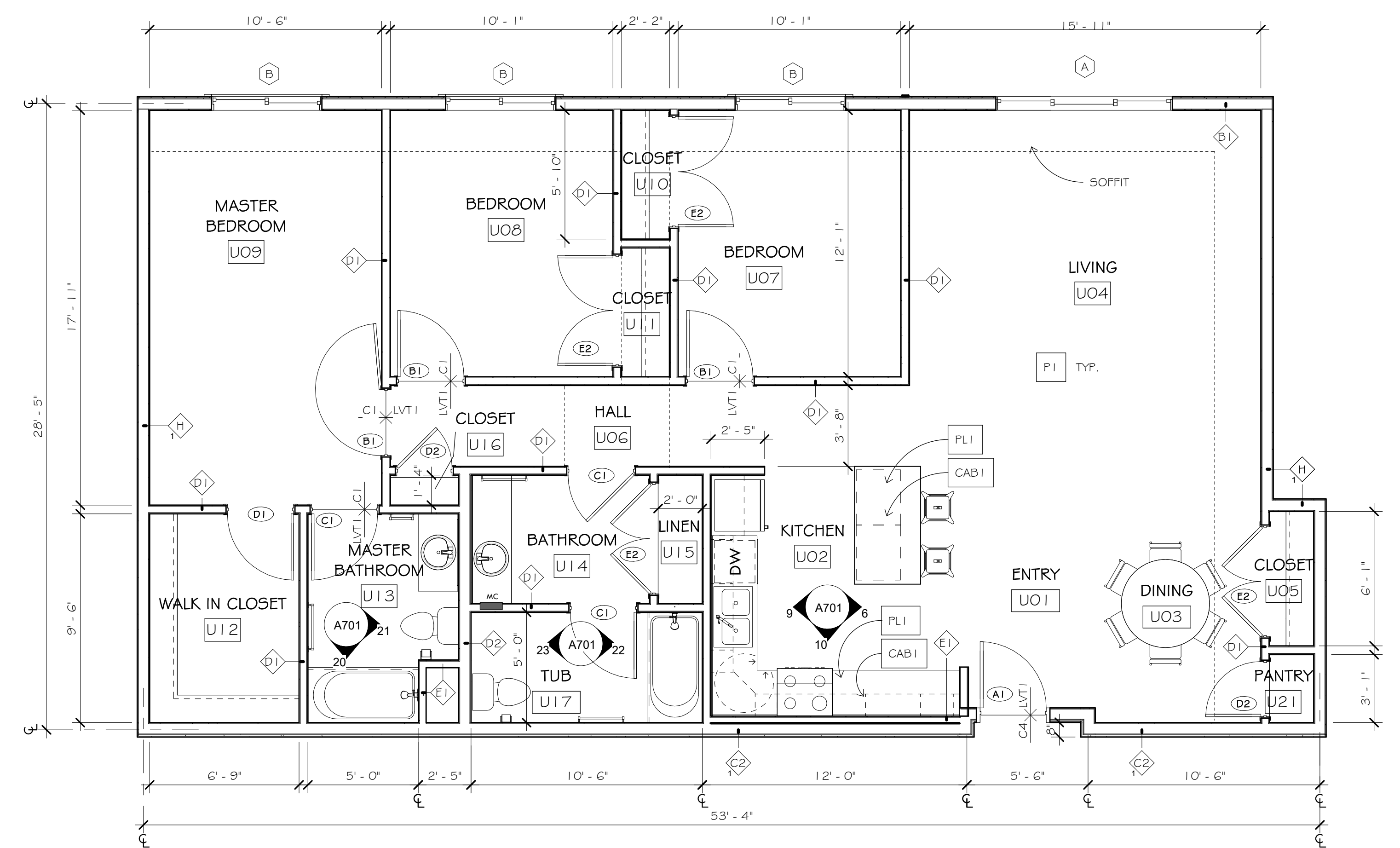
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3 UNIT TYPE F - 3 BED 2 BATH
1/4" = 1'-0"



2 UNIT TYPE B - 1 BED 1 BATH
1/4" = 1'-0"



1 UNIT TYPE A/A.1 - 3 BED 2 BATH
1/4" = 1'-0"

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SCALE
As indicated

West Birch Apartments

1103 West Branch Street
Princeton, MN

ENLARGED PLANS - UNIT
TYPES A, A.1, B, & F

A410

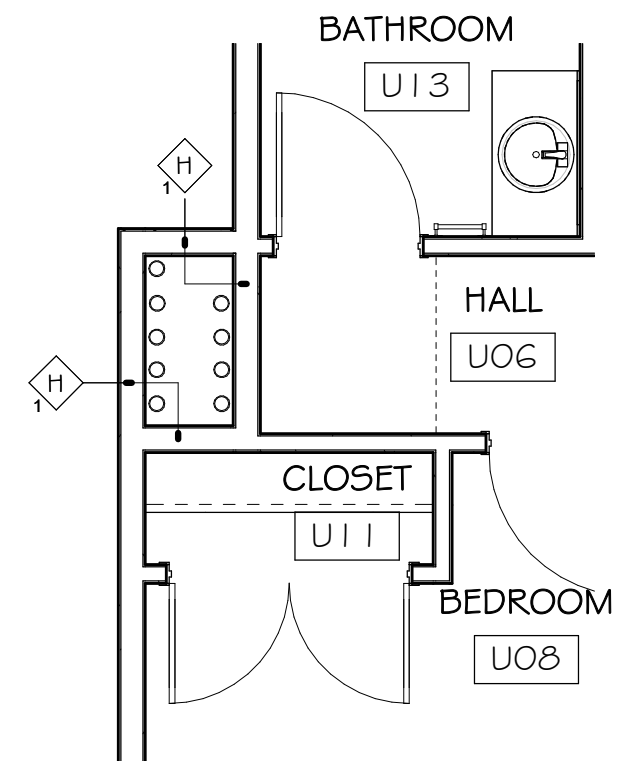


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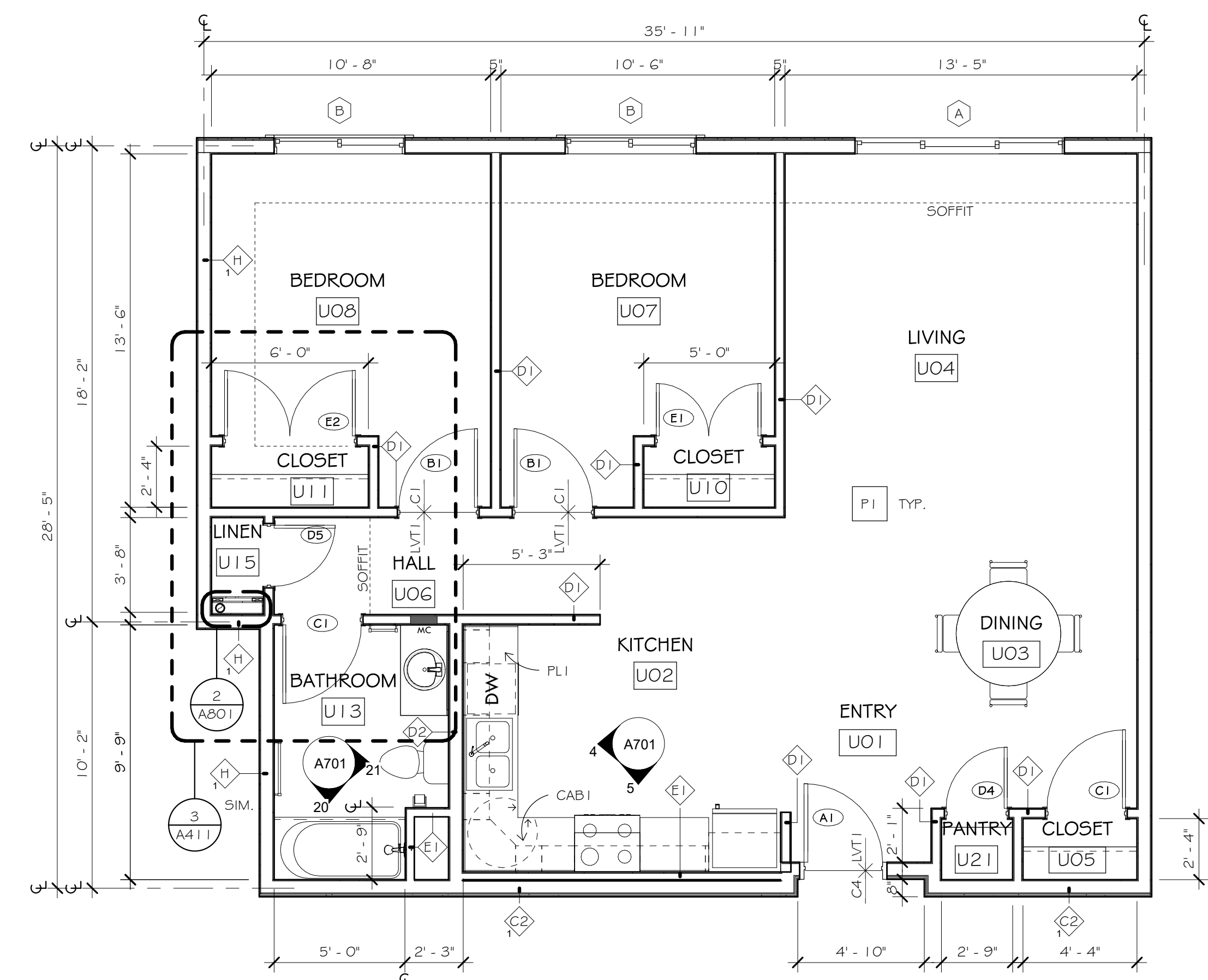
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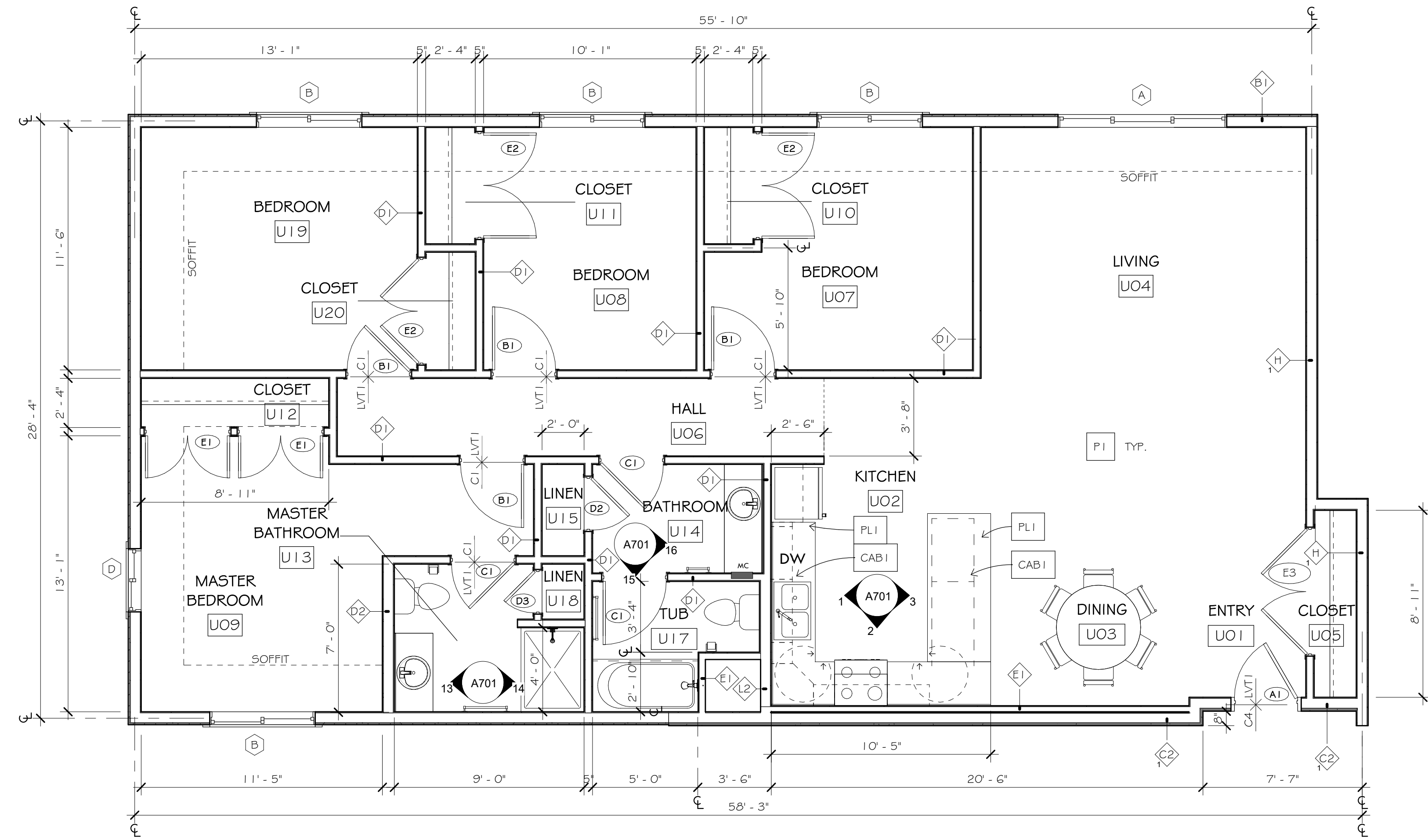
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3 UNIT TYPE C.1 - 2 BED 1 BATH
1/4" = 1'-0"
(UNIT TYPE C MIRRORRED)



2 UNIT TYPE C - 2 BED 1 BATH
1/4" = 1'-0"
(C.1 SIMILAR / MIRRORRED)



1 UNIT TYPE D - 4 BED 2 BATH
1/4" = 1'-0"

PROJECT INFO

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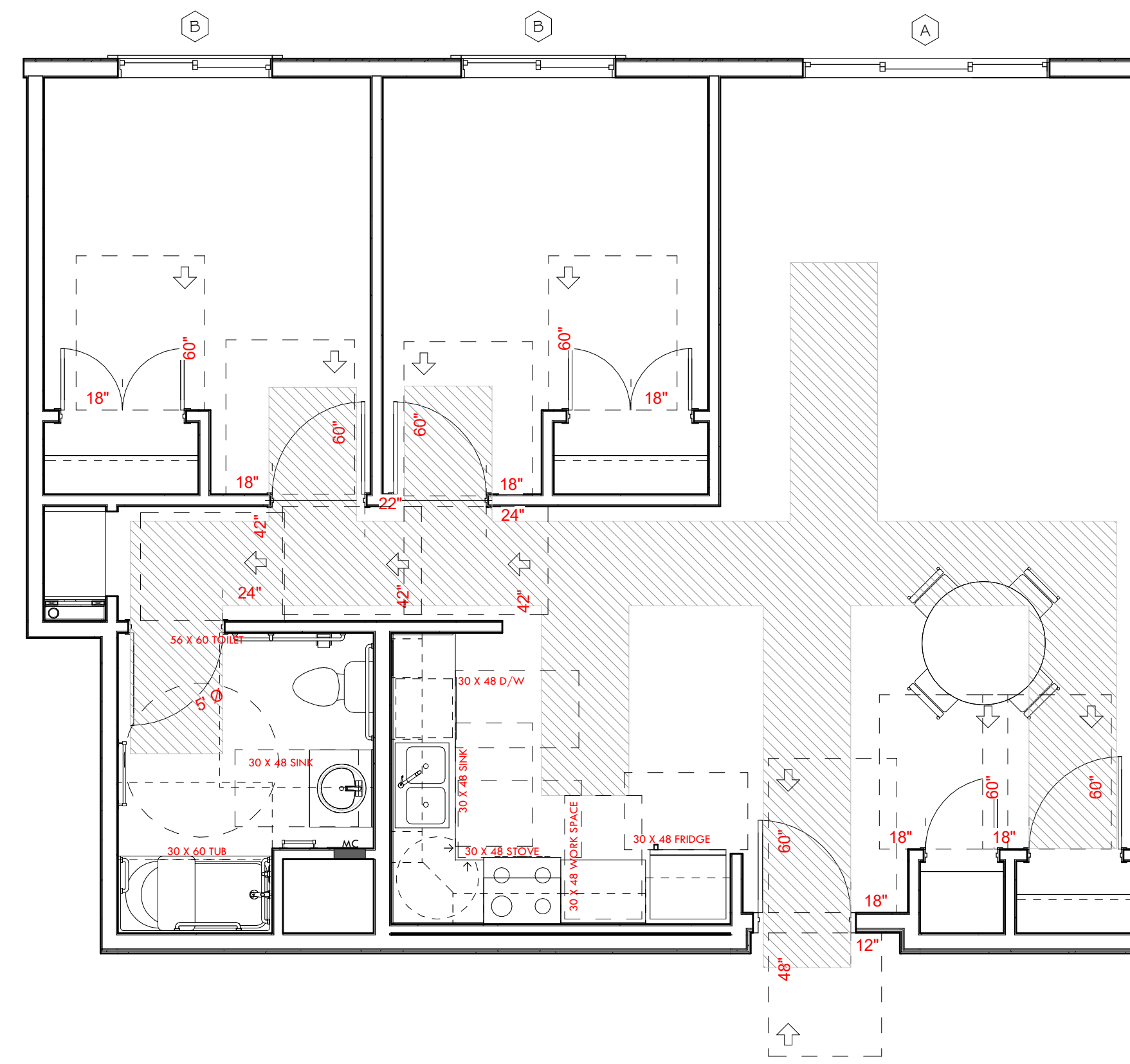
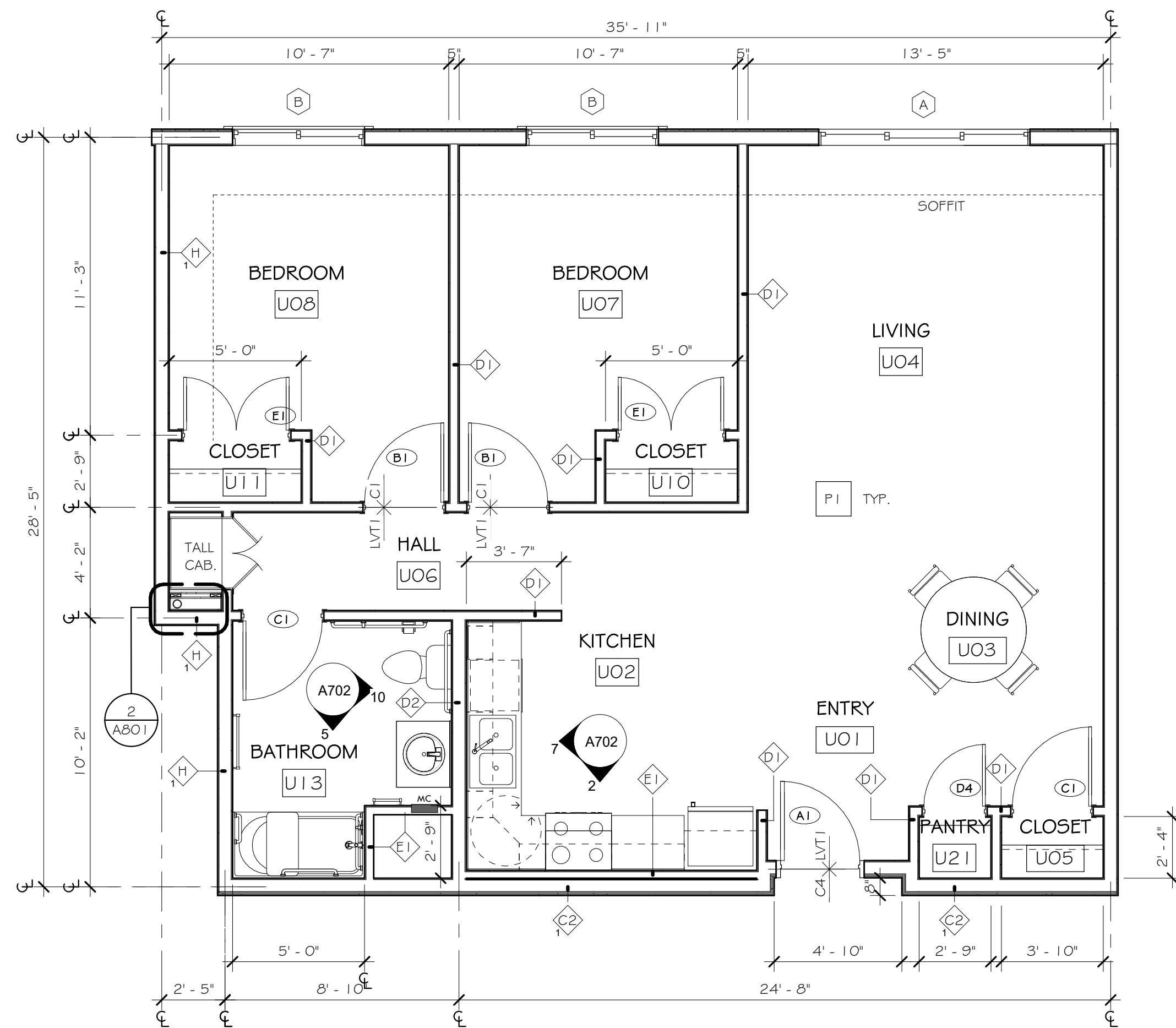
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West Birch Apartments

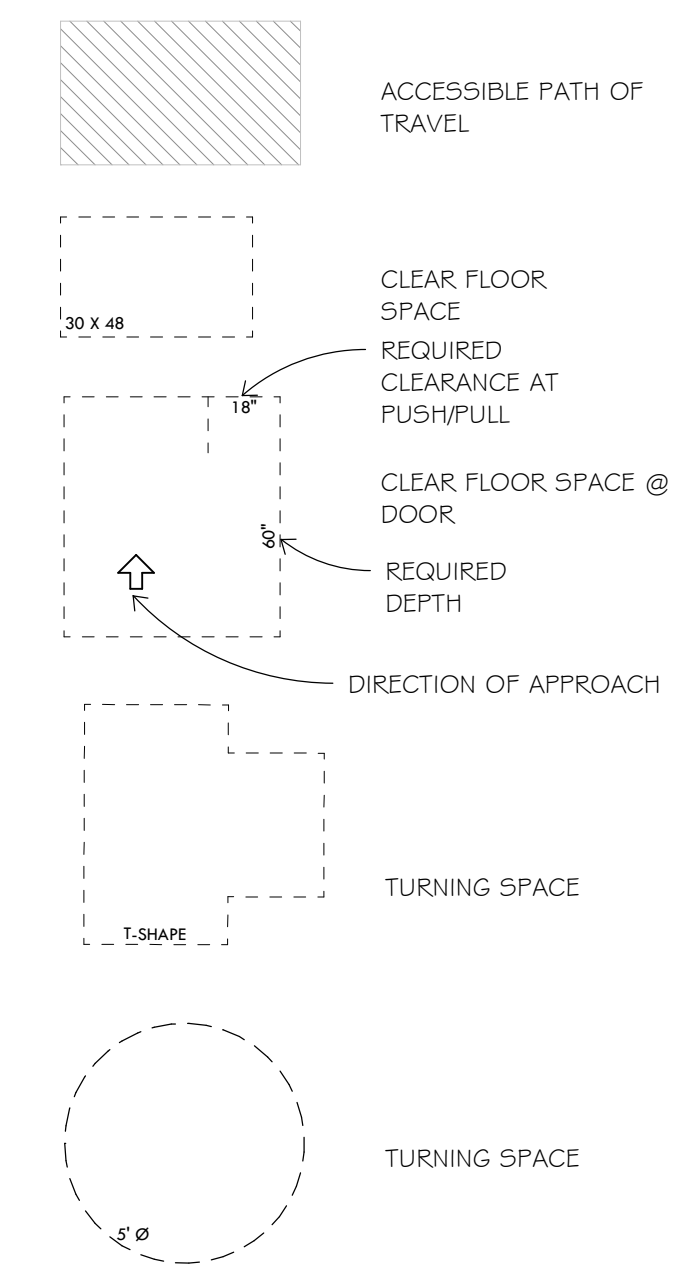
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ENLARGED PLANS - UNIT
TYPES C, C.1 & D

A411



GRAPHIC LEGEND - CLEARANCE PLAN



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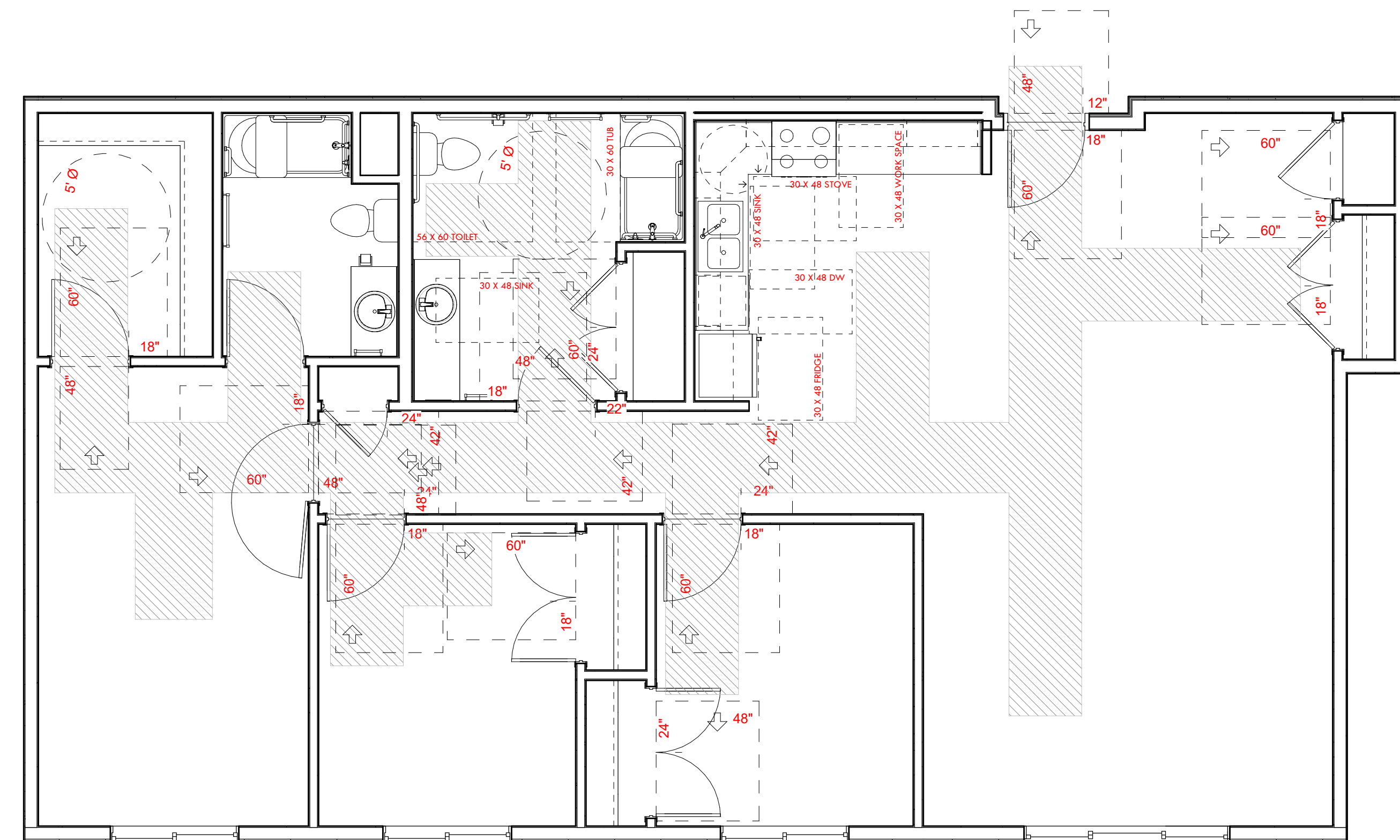
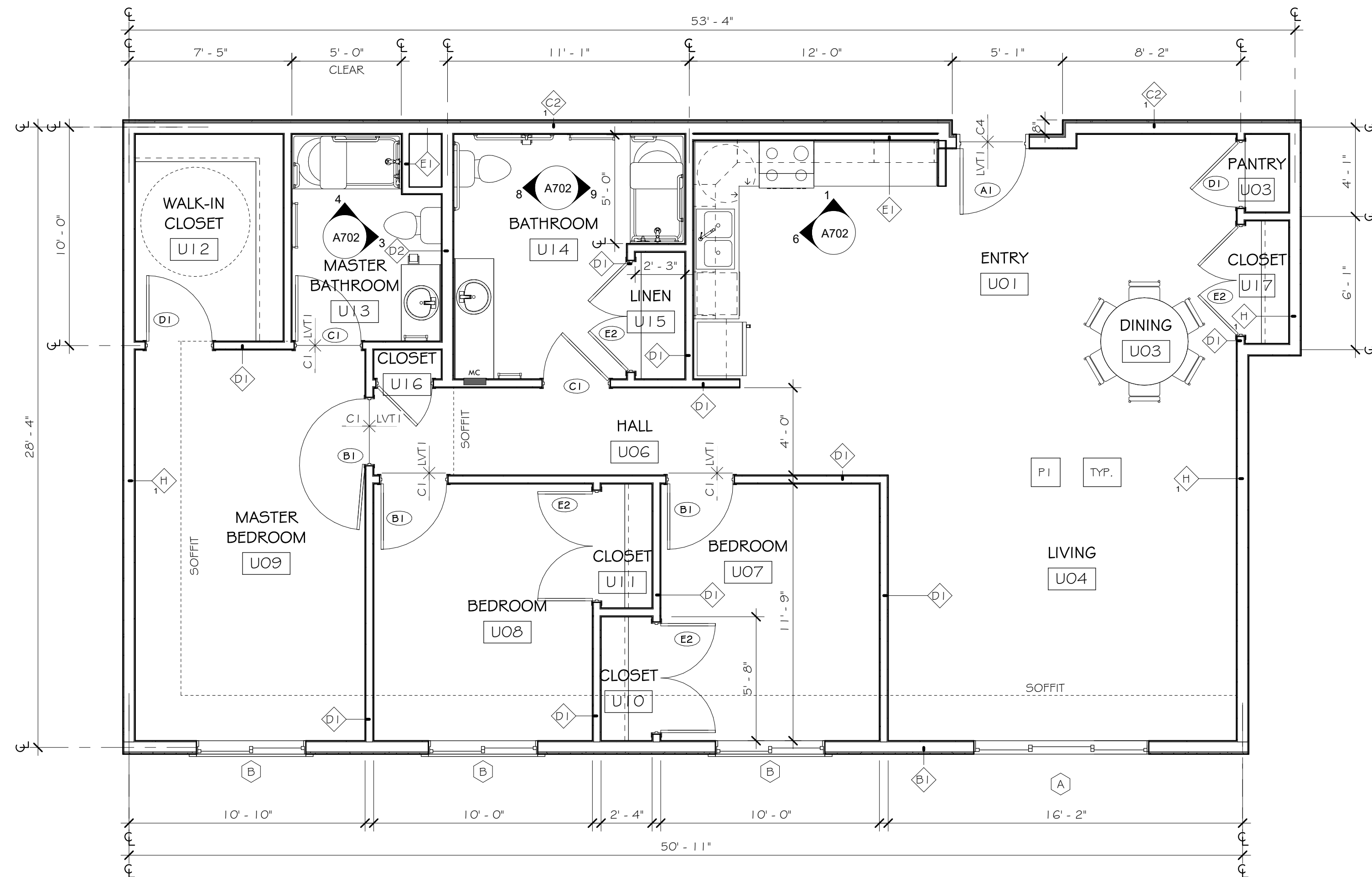
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6/30/2020
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4 UNIT TYPE C.2 - 2 BED 1 BATH (ACCESSIBLE)
1/4" = 1'-0"

3 UNIT TYPE C.2 - 2 BED 1 BATH - ACC. CLEARANCE PLAN
1/4" = 1'-0"



2 UNIT TYPE E - 3 BED 2 BATH (ACCESSIBLE)
1/4" = 1'-0"

1 UNIT TYPE E - 3 BED 2 BATH - ACC. CLEARANCE PLAN
1/4" = 1'-0"

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Princeton, MN

ENLARGED PLANS - UNIT
TYPES E (ACC) & C.2 (ACC)

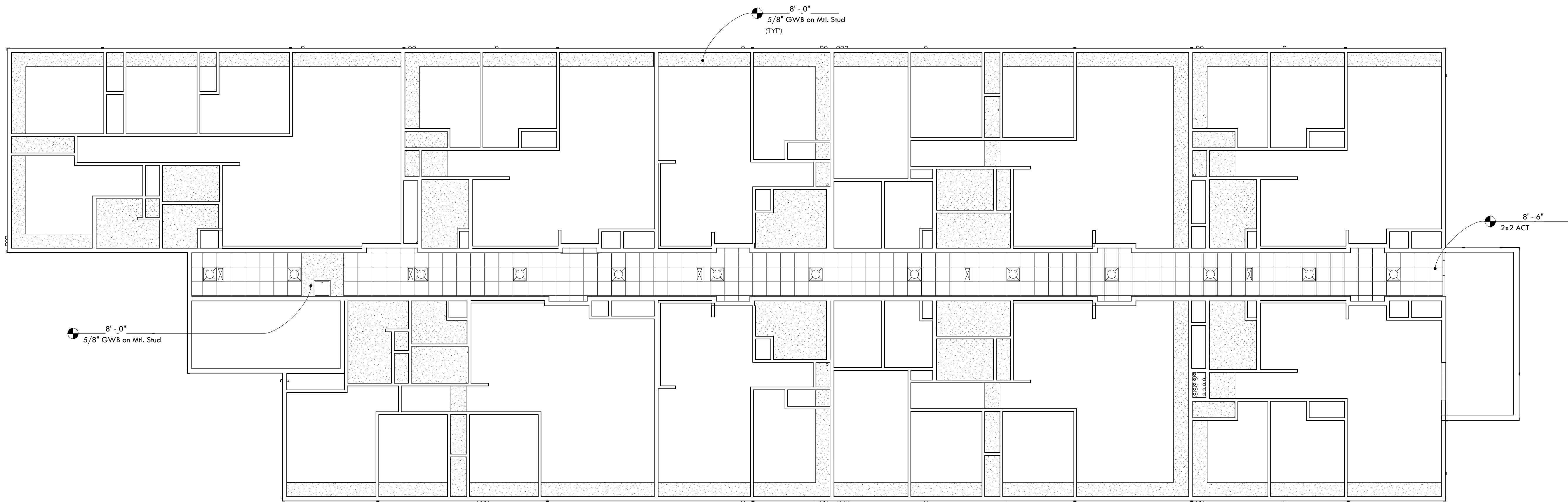
A412

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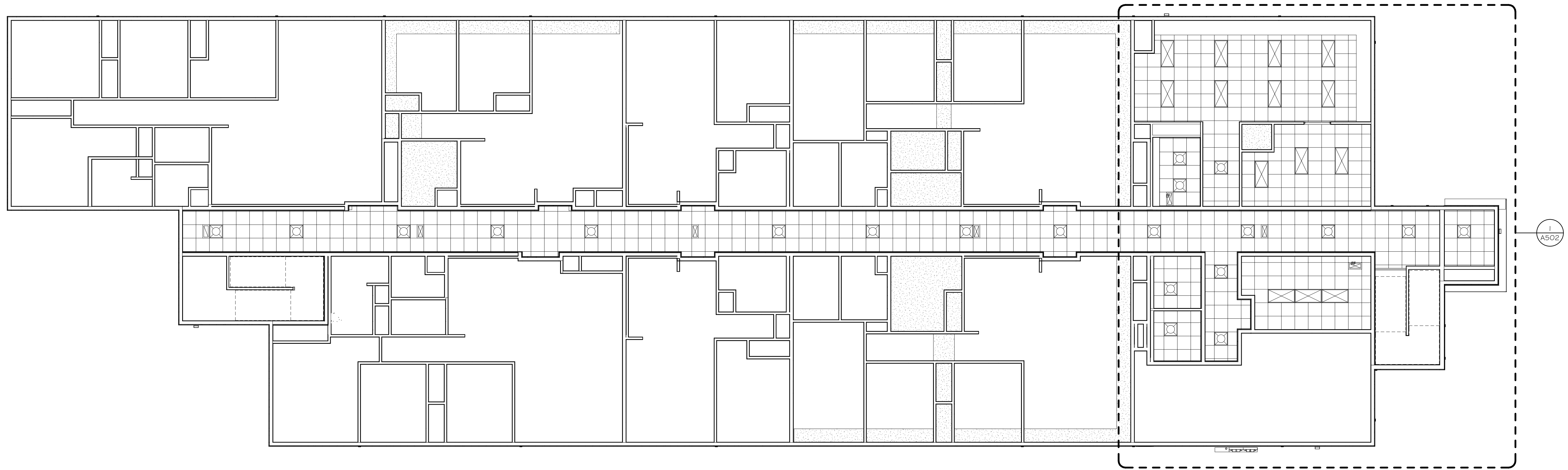
James L. Moy 6/30/2020
reg. exp. date



2 SECOND FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"

GRAPHIC LEGEND CEILING PLAN

2x2 ACOUSTIC CEILING TILES # GRID SEE SPECIFICATIONS	DIFFUSER	2X2 LIGHTING FIXTURE	OCCUPANCY SENSOR
GYPSUM SOFFIT BOARD	RETURN / EXHAUST AIR GRILL	2X4 LIGHTING FIXTURE	DAYLIGHT SENSOR
DASHED WALLS BELOW FOR REFERENCE	RETURN / EXHAUST AIR GRILL	PHOTOELECTRIC DETECTOR	
	2X2 CEILING EXHAUST FAN	FIRE ALARM STROBE	



1 FIRST FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD
Issue Date
06/07/19

△ SUBMITTALS / REVISIONS

06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
1 06/07/19	ISSUED FOR CONSTRUCTION

SCALE
1/8" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

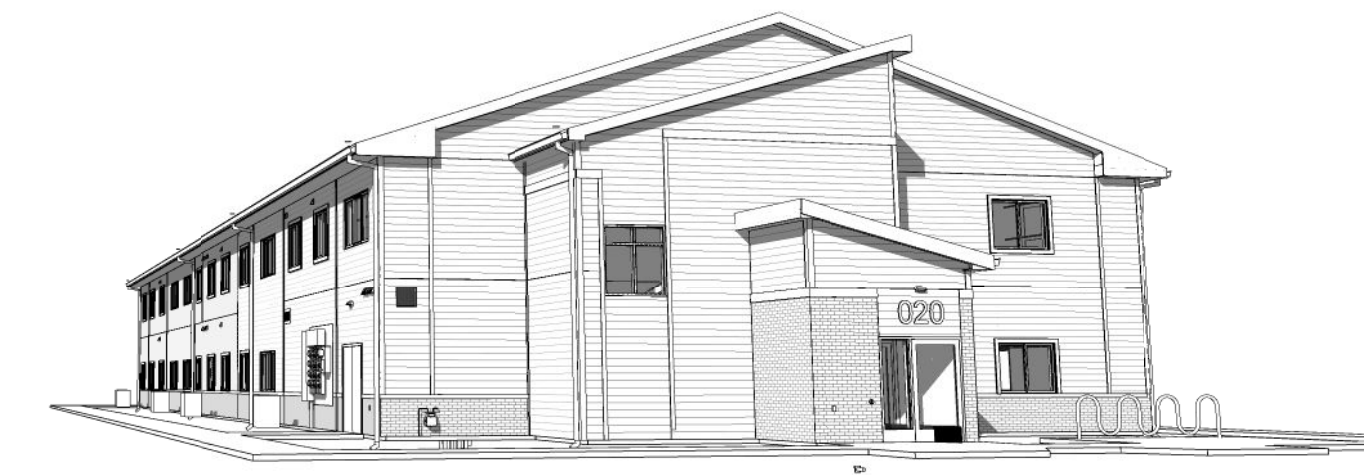
REFLECTED CEILING PLANS



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
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612/331-2222
612/331-2224 FAX
info@blumentals.com

SIGNATURES



3 ENTRANCE 3D PERSPECTIVE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of
MINNESOTA 06/07/19 sign date
JAMES L. MOY 27036 reg. no.
6/30/2020 reg. exp. date

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD
Issue Date
06/07/19

△ SUBMITTALS / REVISIONS

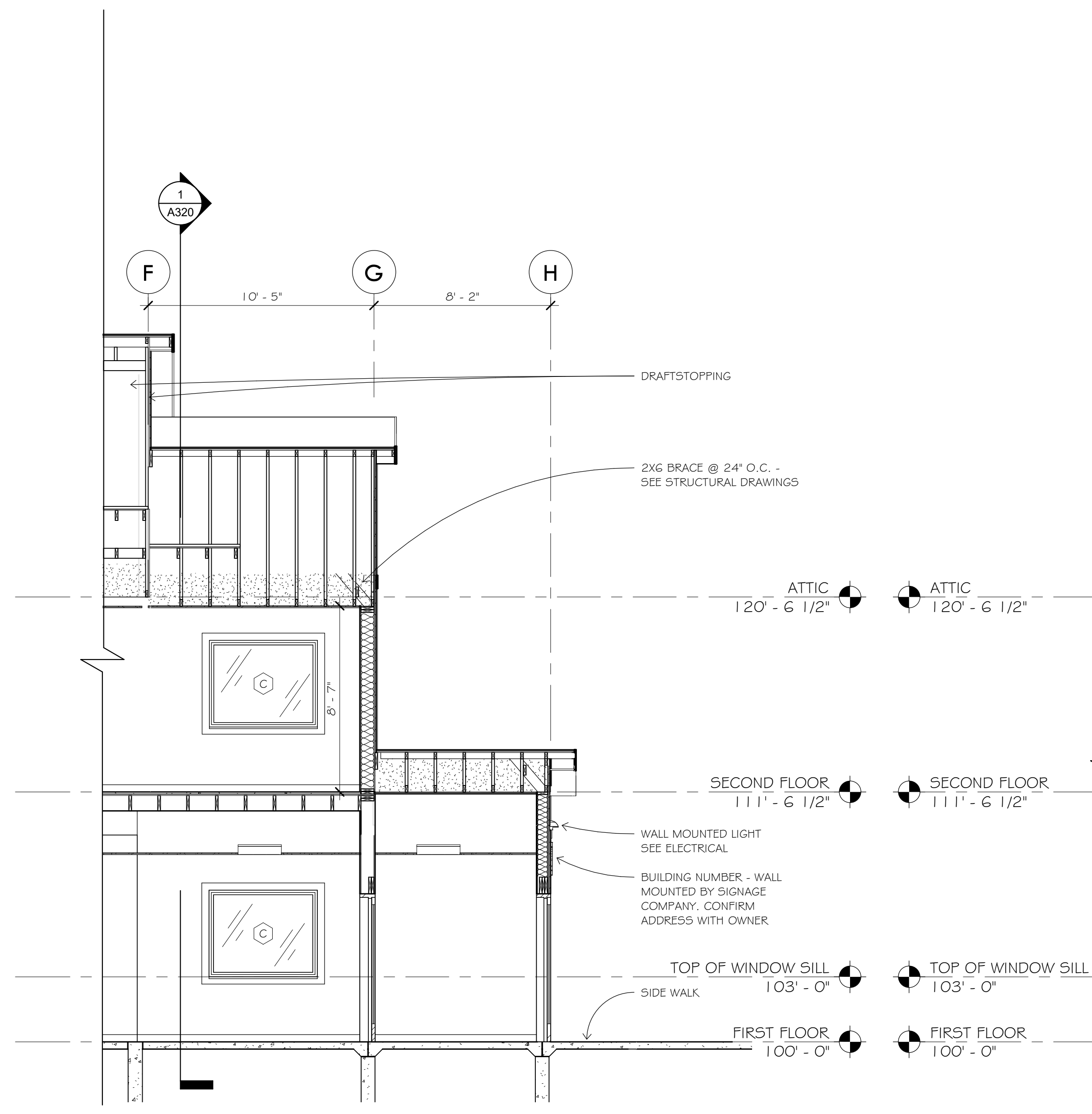
04/20/18	50% CD
06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
1 06/07/19	ISSUED FOR CONSTRUCTION

SCALE
1/4" = 1'-0"

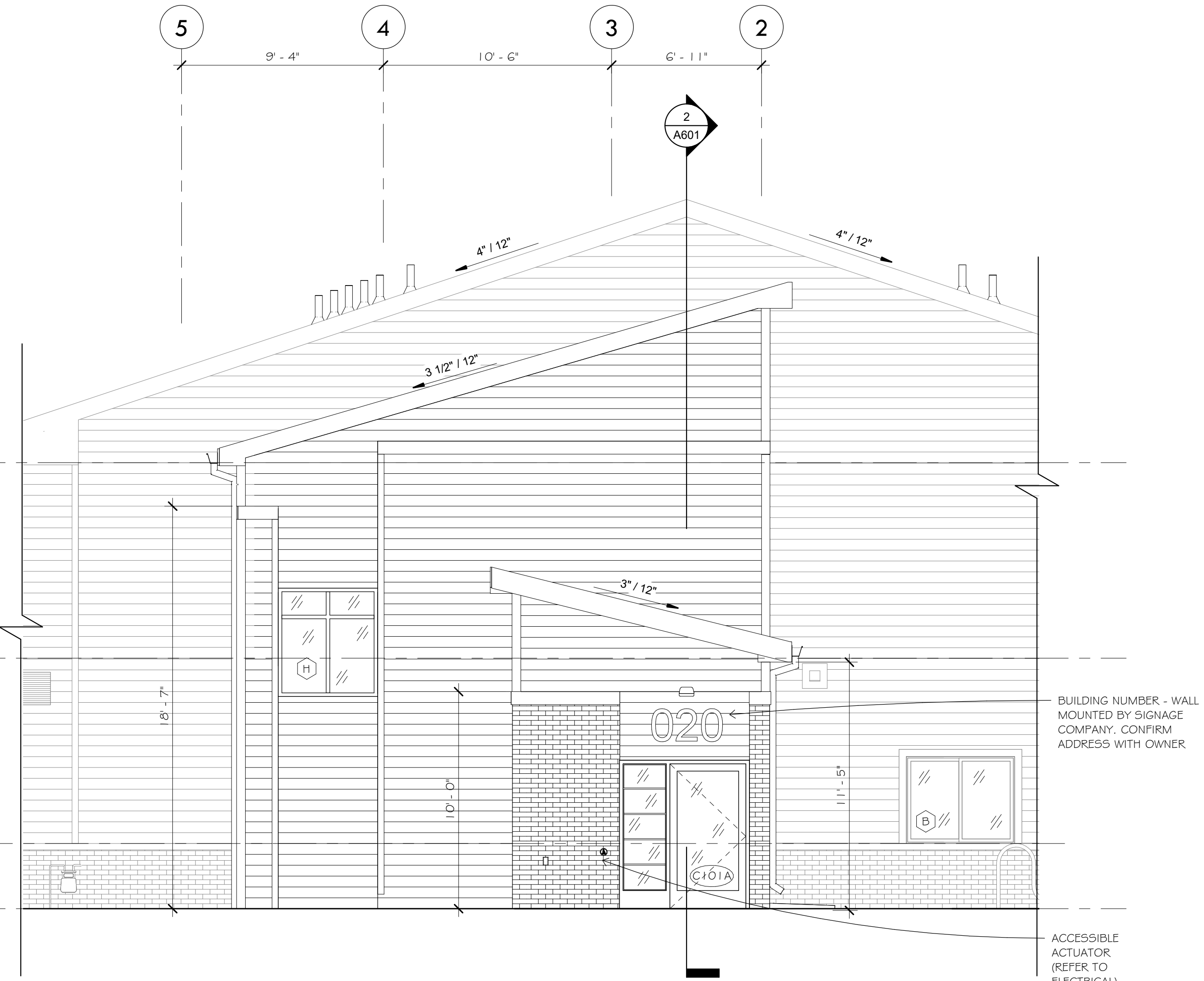
West Birch Apartments

1103 West Branch Street
Princeton, MN

BUILDING ENTRY



2 MAIN ENTRANCE - SECTION
1/4" = 1'-0"



1 ELEVATION @ MAIN ENTRANCE
1/4" = 1'-0"

A601



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SIGNATURES

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△ SUBMITTALS / REVISIONS

06/21/18 90% CD
08/24/18 100% MHFA REVIEW
02/05/19 ISSUED FOR CITY REVIEW
02/21/19 ADDENDUM #2
1 06/07/19 ISSUED FOR CONSTRUCTION

SCALE
As indicated

West Birch Apartments

1103 West Branch Street
Princeton, MN

EXTERIOR DETAILS AT
OPENINGS

A603

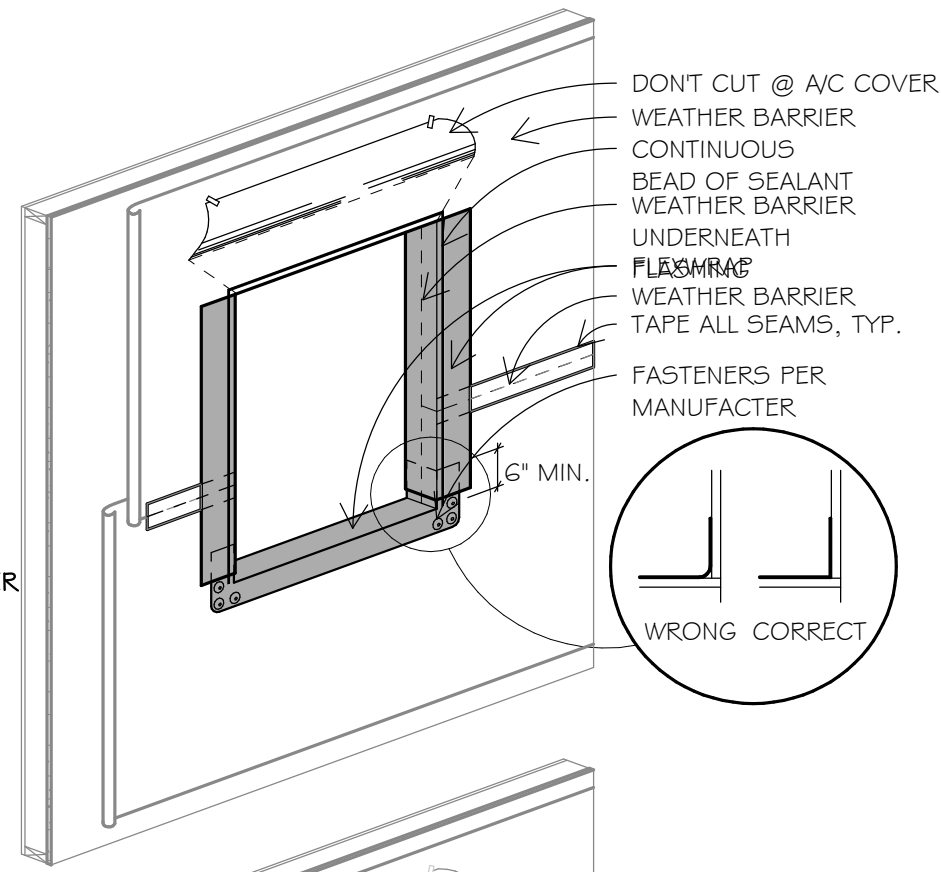
STEP 1

1. CUT A PIECE OF ADHESIVE BACKED FLEXWRAP MEMBRANE 12" LONGER THAN THE WINDOW OPENING (NOTE: USE 7" WIDE MEMBRANE FOR 2'x4' CONSTRUCTION; USE 9" WIDE MEMBRANE FOR 2'x6' CONSTRUCTION)

2. PEEL BACKING OFF MEMBRANE AND INSTALL ON SILL, CAREFUL TO NOT STRETCH MEMBRANE DURING INSTALLATION. MEMBRANE SHOULD BE FLUSH WITH INSIDE EDGE OF FRAMING. CONTINUE MEMBRANE UP A MINIMUM OF 6" ON BOTH JAMBS.

3. INSTALL MEMBRANE FLASHING VERTICALLY OVER JAMB FRAMING OVERLAPPING WEATHER BARRIER AND VERTICAL LEGS OF SILL FLASHING.

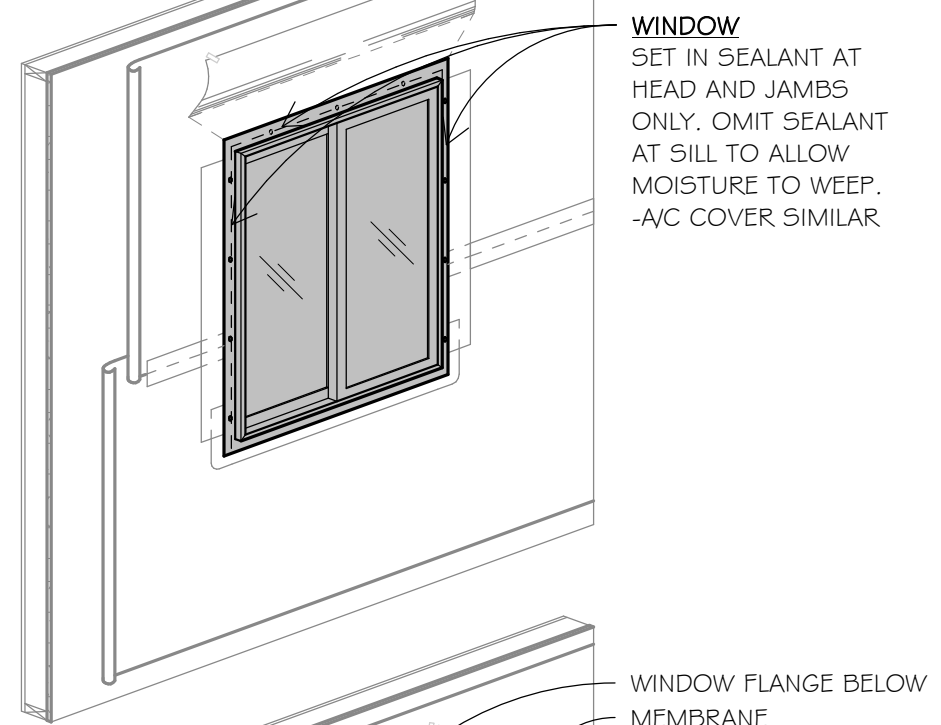
4. APPLY A CONTINUOUS BEAD OF ELASTOMERIC SEALANT AT TOP AND SIDES OF WINDOW OPENING IMMEDIATELY PRIOR TO INSTALLATION OF WINDOW. DO NOT APPLY SEALANT TO SILL.



DON'T CUT @ A/C COVER
WEATHER BARRIER
CONTINUOUS
BEAD OF SEALANT
WEATHER BARRIER
UNDERNEATH
FLASHING
WEATHER BARRIER
TAPE ALL SEAMS, TYP.
FASTENERS PER
MANUFACTURER
6" MIN.
WRONG CORRECT

STEP 2

5. INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATIONS.



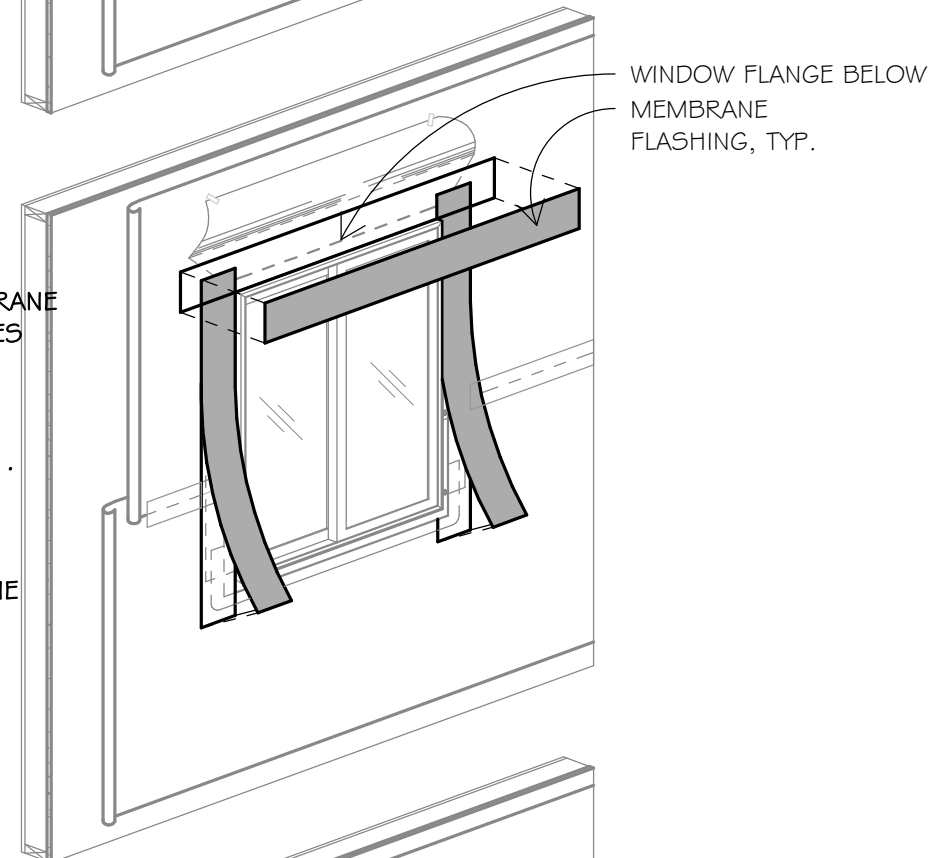
WINDOW
SET IN SEALANT AT
HEAD AND JAMBS
ONLY. OMIT SEALANT
AT SILL TO ALLOW
MOISTURE TO WEEP.
-A/C COVER SIMILAR

STEP 3

6. INSTALL VERTICAL STRIPS OF ADHESIVE MEMBRANE OVER THE WEATHER BARRIER AND NAILING FLANGES TO FOLD UP AND ONTO THE WINDOW JAMB. MEMBRANE SHOULD EXTEND PAST THE NAILING FLANGES AT THE HEAD AND SILL AND COVER THE JAMB FLASHING PREVIOUSLY INSTALLED IN STEP 1.

7. INSTALL ANOTHER LAYER OF MEMBRANE FLASHING HORIZONTALLY OVER THE BACK FLANGE OF THE DRIP CAP. MEMBRANE FLASHING AT THE HEAD SHOULD EXTEND AND COVER THE MEMBRANE PREVIOUSLY INSTALLED AT THE JAMBS.

8. IF THE DRIP CAP IS INTEGRAL TO THE WINDOW UNIT, APPLY THE MEMBRANE FLASHING OVER THE HEAD SIMILAR TO WHAT HAS BEEN DESCRIBED ABOVE.



WINDOW FLANGE BELOW
MEMBRANE
FLASHING, TYP.

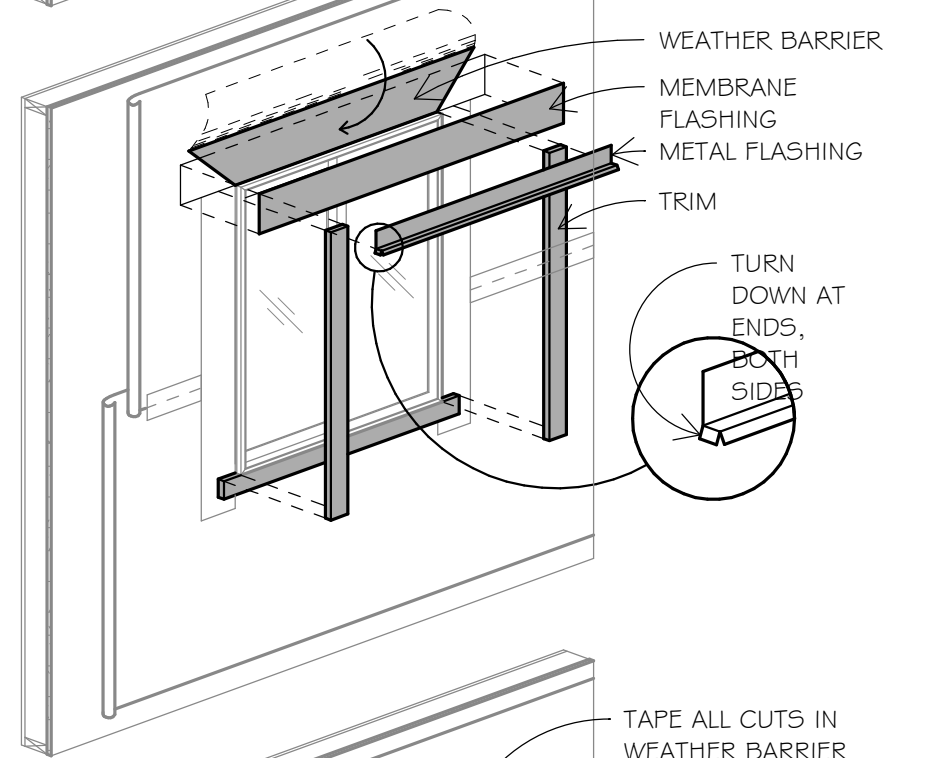
STEP 4

9. FLIP DOWN UPPER FLAP OF WEATHER BARRIER SO IT LAYS FLAT ACROSS HEAD FLASHING.

10. INSTALL ANOTHER PIECE OF CONTINUOUS ADHESIVE MEMBRANE OVER FLAP. MEMBRANE SHALL EXTEND BEYOND END CUTS IN BOTH SIDES OF WEATHER BARRIER. COMPLETELY CONCEAL ALL OTHER CUTS IN WEATHER BARRIER WITH TAPE.

11. INSTALL DECORATIVE TRIM BOARDS AS OCCUR (SEE ELEVATIONS AND DETAILS FOR LOCATIONS) BEGINNING AT THE SILL OF THE WINDOW, FOLLOWED BY THE JAMBS.

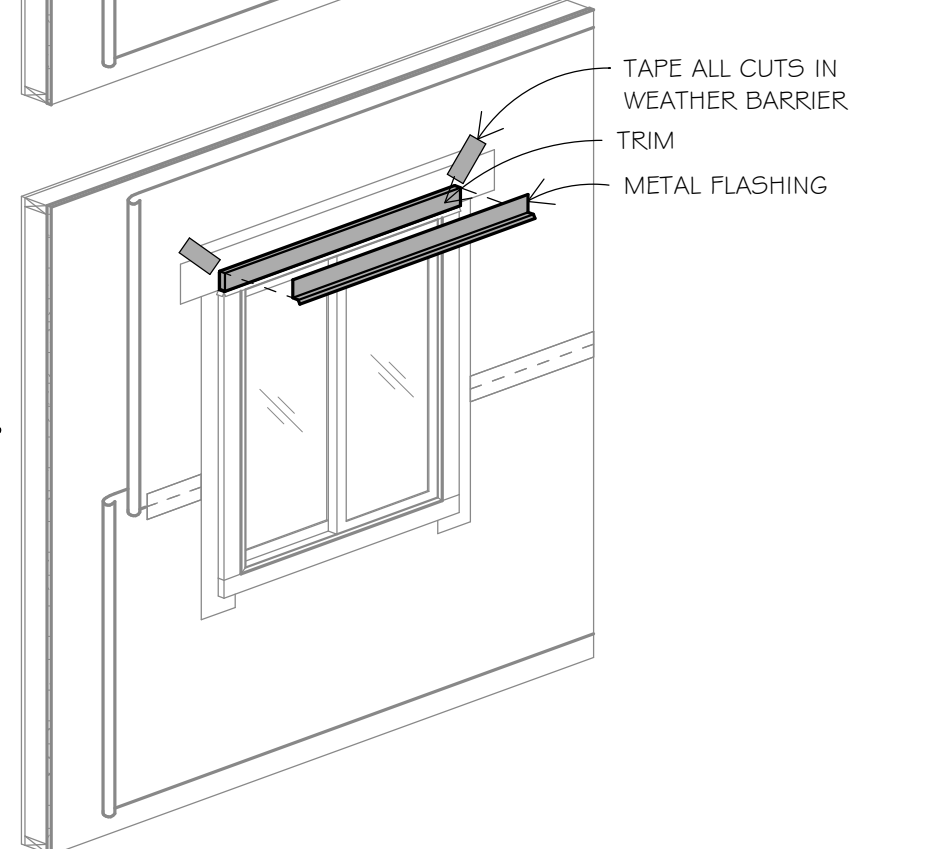
12. PRIOR TO INSTALLING THE TRIM AT THE WINDOW HEAD, INSTALL A CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE. FLASHING SHALL EXTEND OVER THE ENDS OF JAMB TRIM AND SHALL BE BENT TO CREATE DRIP EDGES AT ENDS.



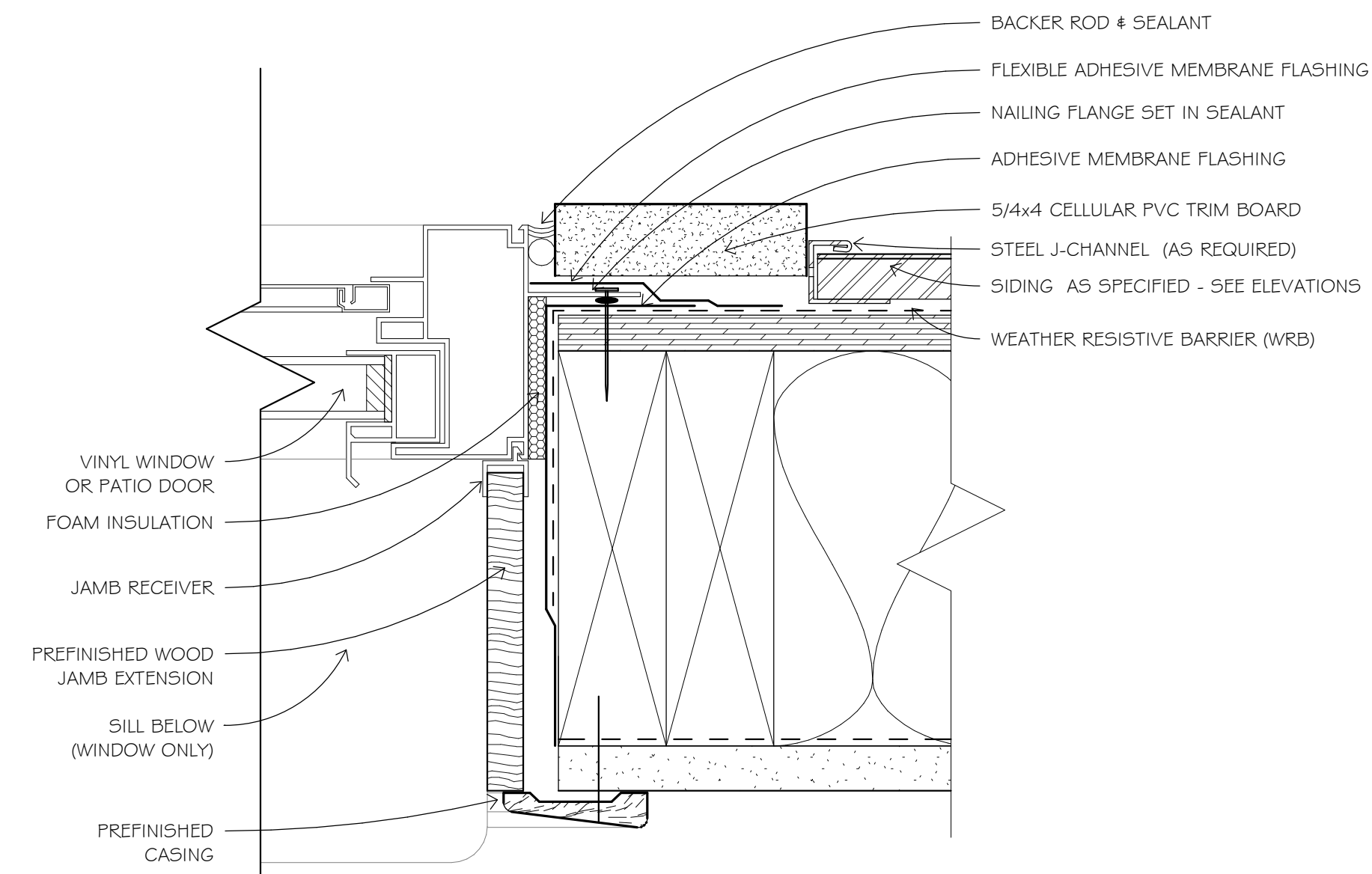
WEATHER BARRIER
MEMBRANE FLASHING
METAL FLASHING
TRIM
TURN DOWN AT
ENDS,
BOTH
SIDES

STEP 5

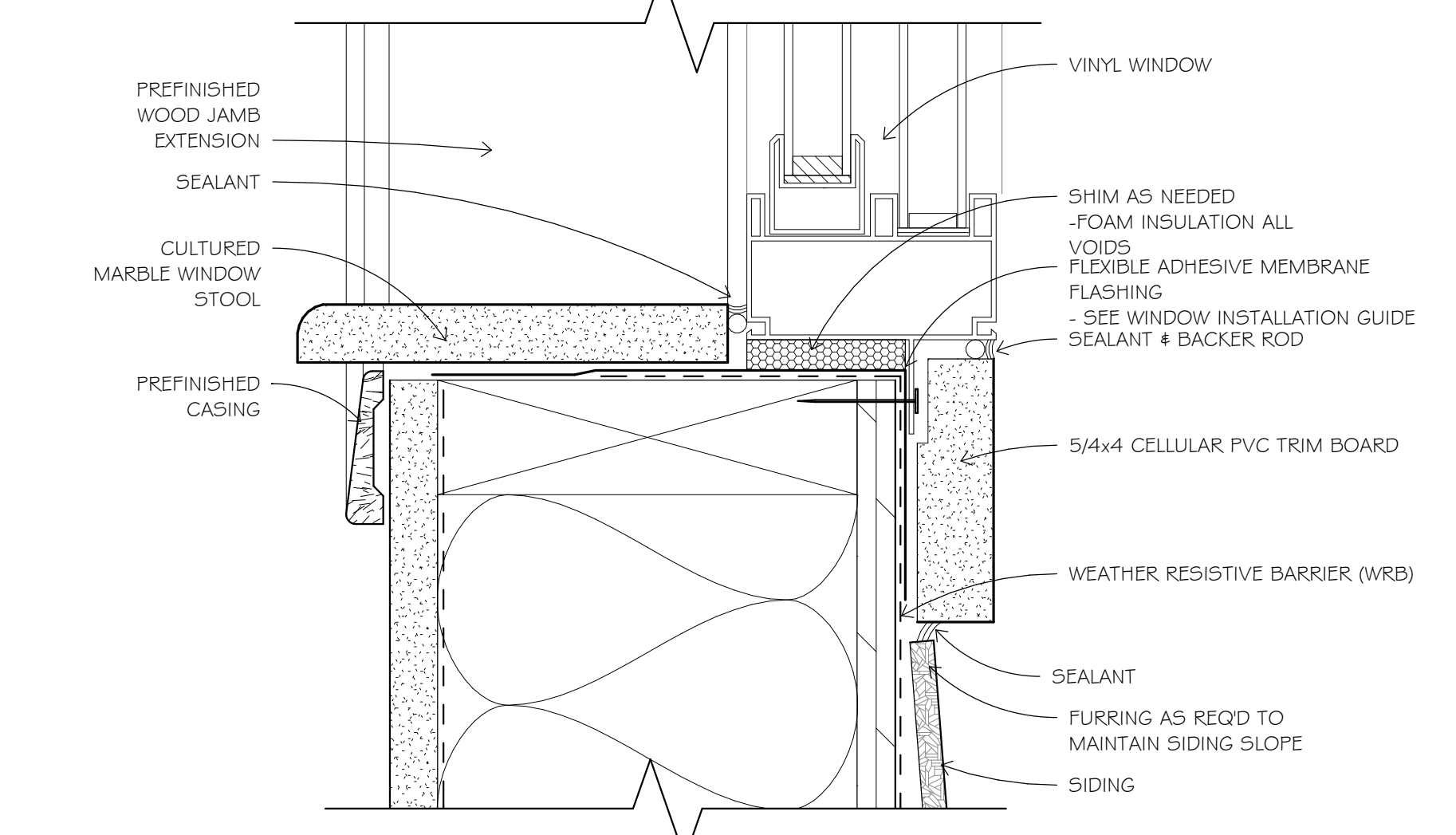
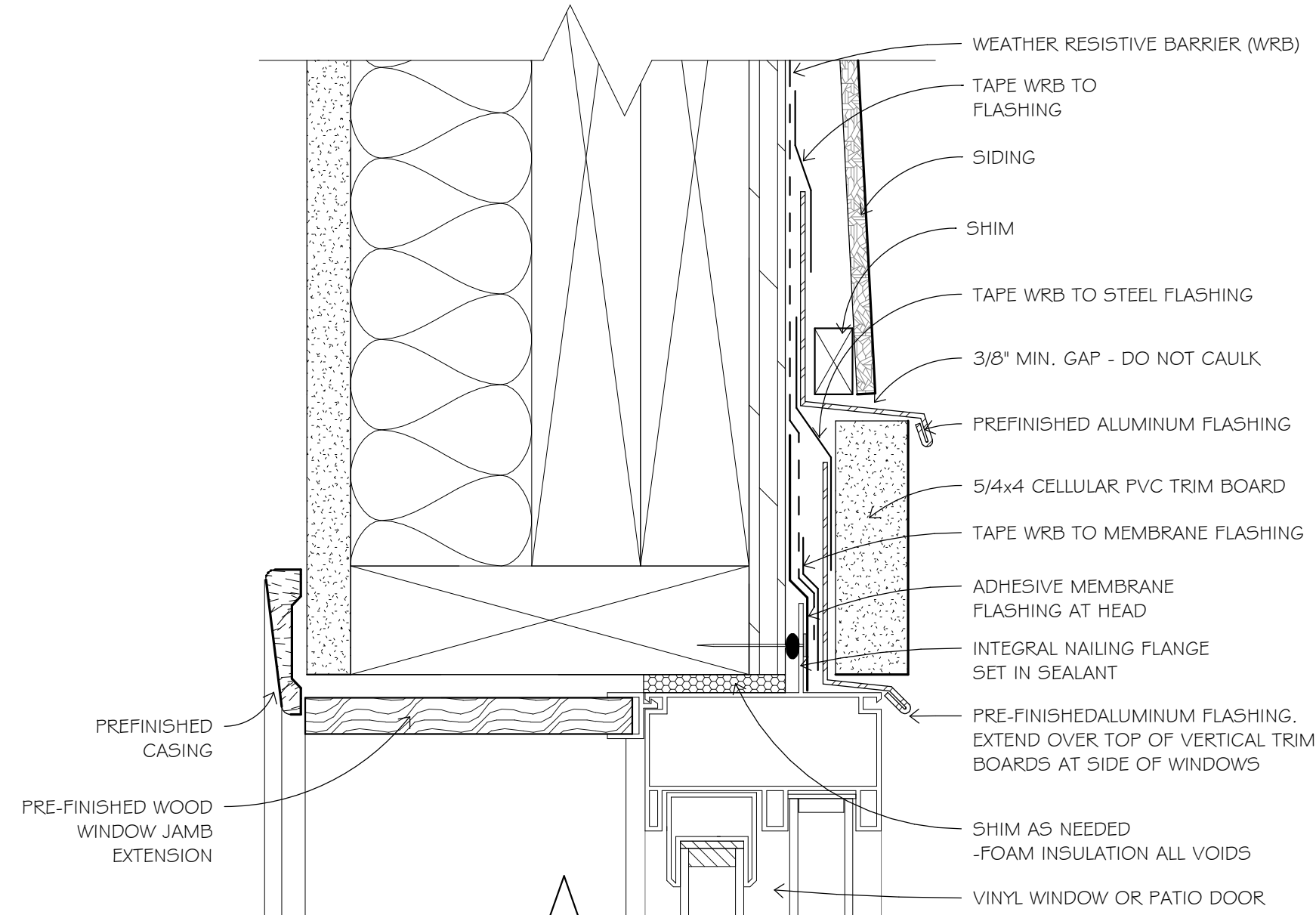
13. AFTER HEAD TRIM HAS BEEN INSTALLED, INSTALL AN ADDITIONAL PIECE OF CONTINUOUS PREFINISHED METAL HEAD FLASHING WITH DRIP EDGE OVER ENTIRE LENGTH OF TRIM BEFORE INSTALLING FINAL BUILDING MATERIAL (I.E. SIDING, ETC.). NAIL AT TOP EDGE AND TAPE TO WEATHER BARRIER WITH WEATHER BARRIER TAPE.



TAPE ALL CUTS IN
WEATHER BARRIER
TRIM
METAL FLASHING



4 WINDOW & PATIO DOOR JAMB DETAIL (PLAN VIEW)
6" = 1'-0"



2 WINDOW HEAD & SILL DETAIL @ STUD (SECTION VIEW)
6" = 1'-0"

1 WINDOW SILL DETAIL @ NICHIBA (SECTION VIEW)
6" = 1'-0"

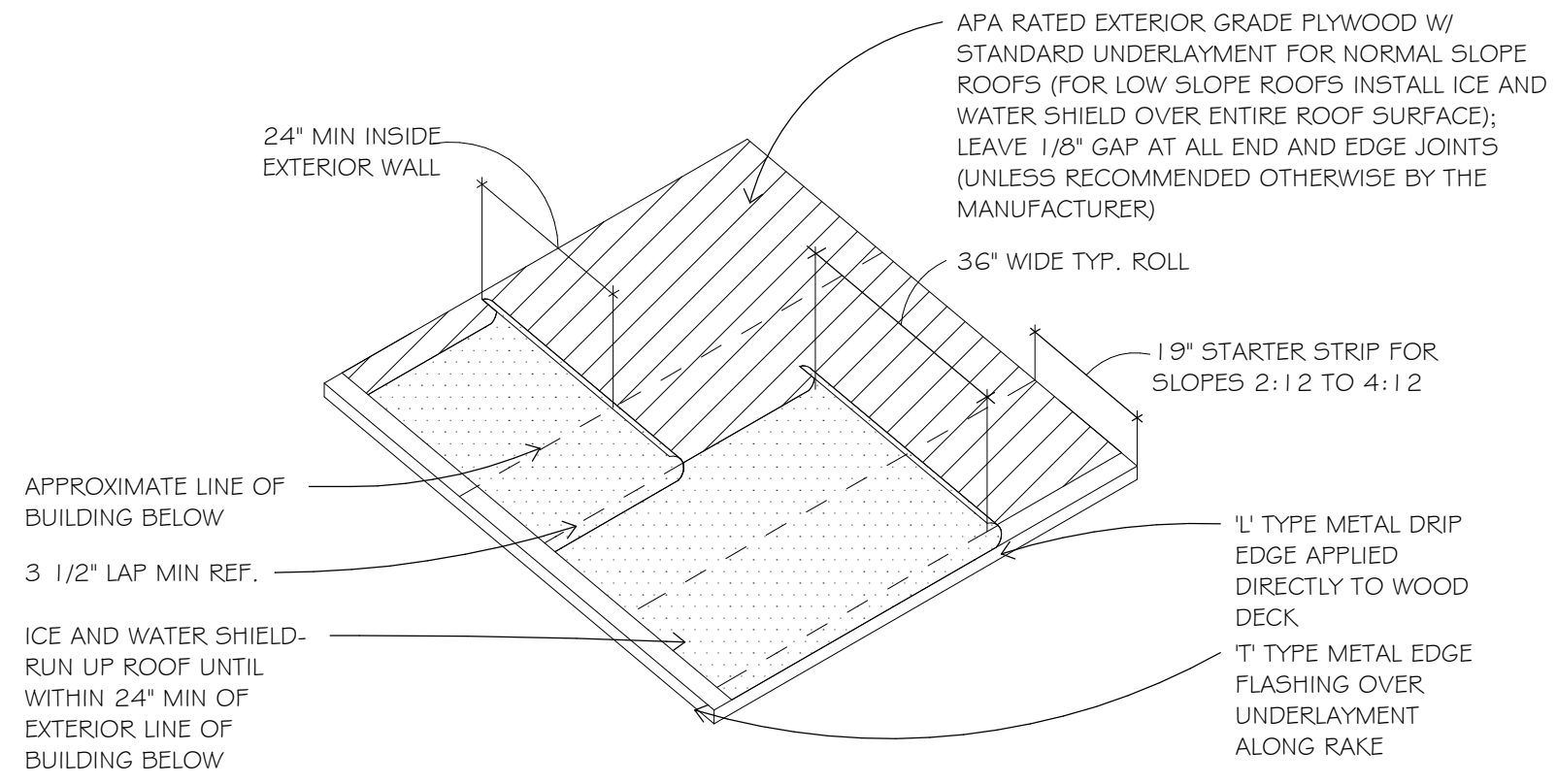
3 WINDOW INSTALLATION GUIDE
3/8" = 1'-0"



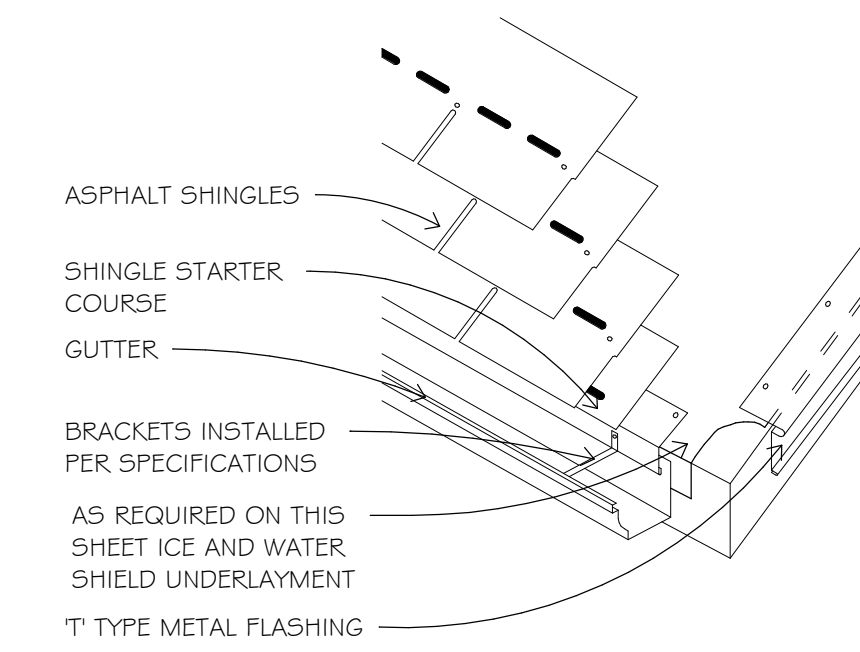
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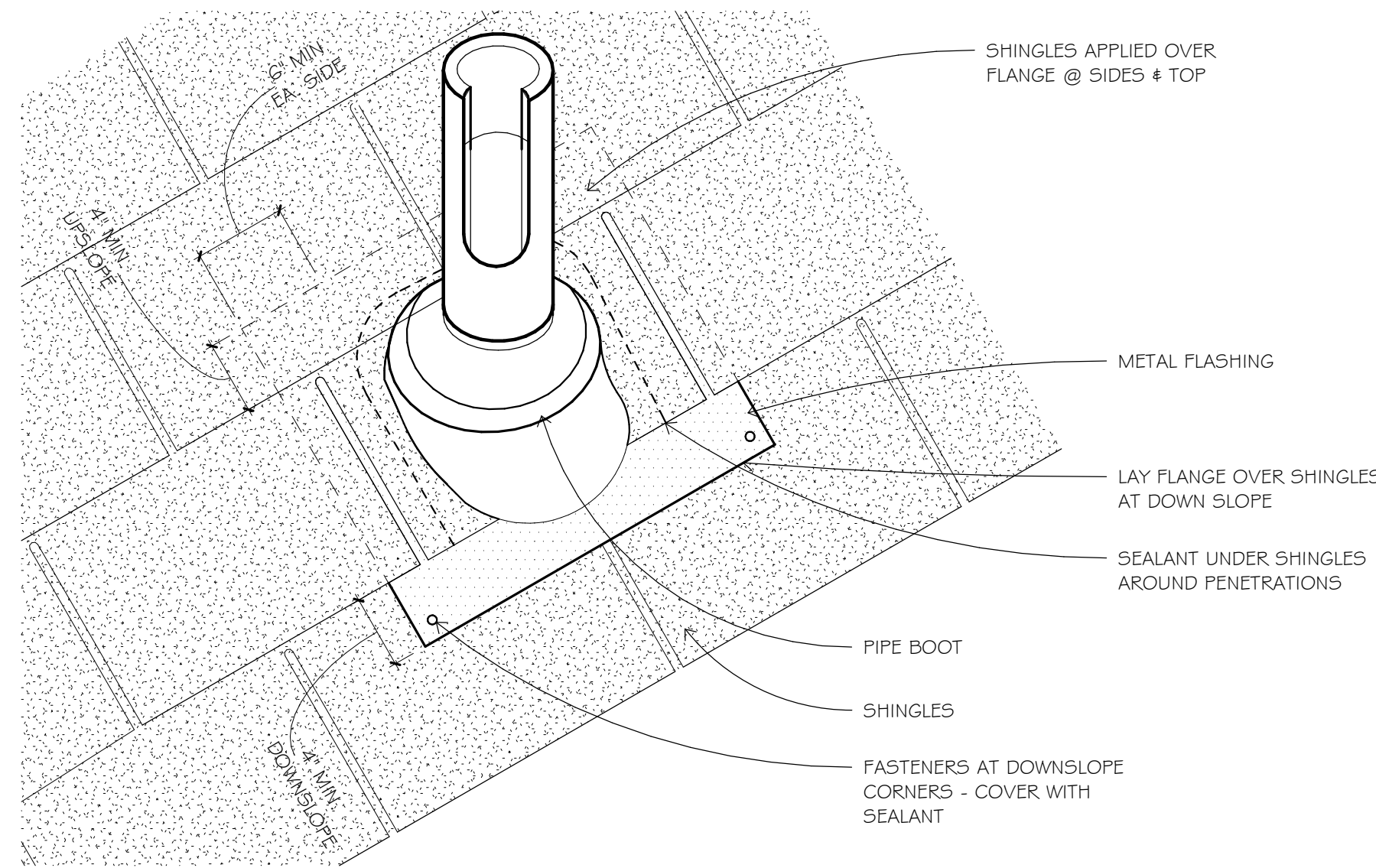
SIGNATURES



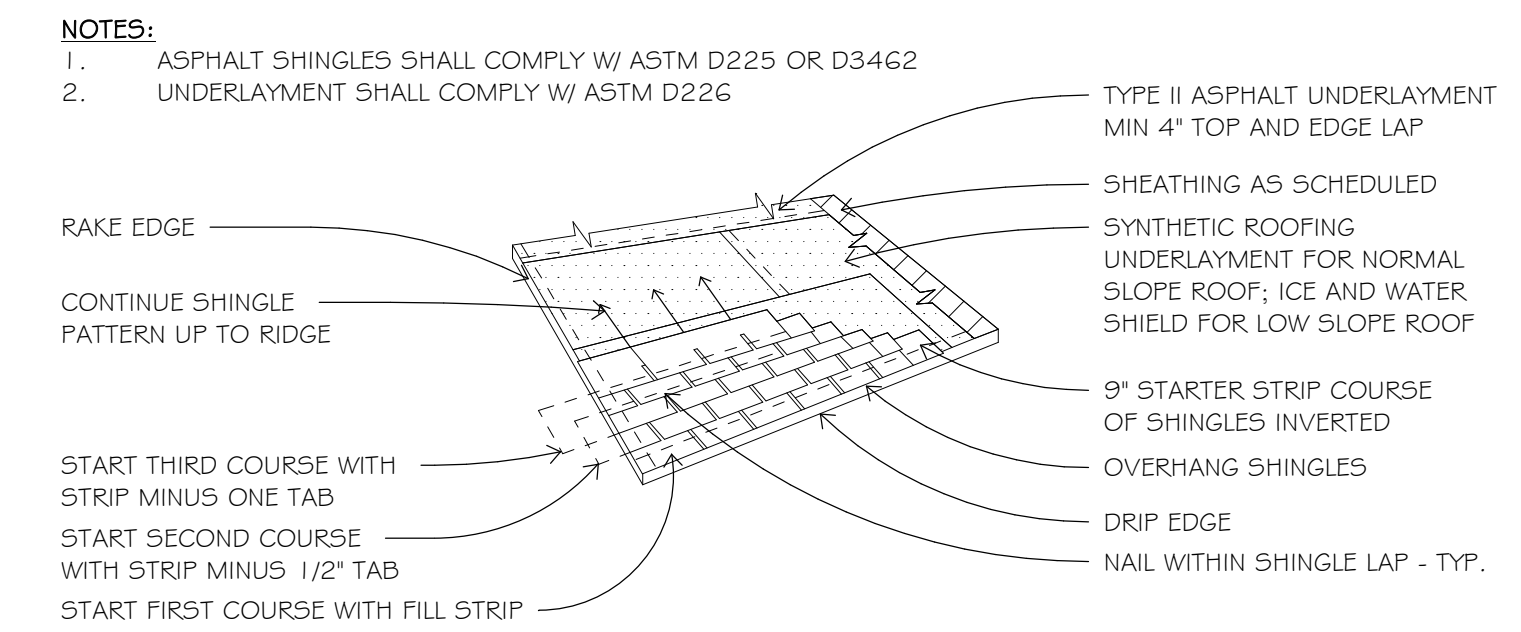
6 EAVE UNDERLAYMENT
3/4" = 1'-0"



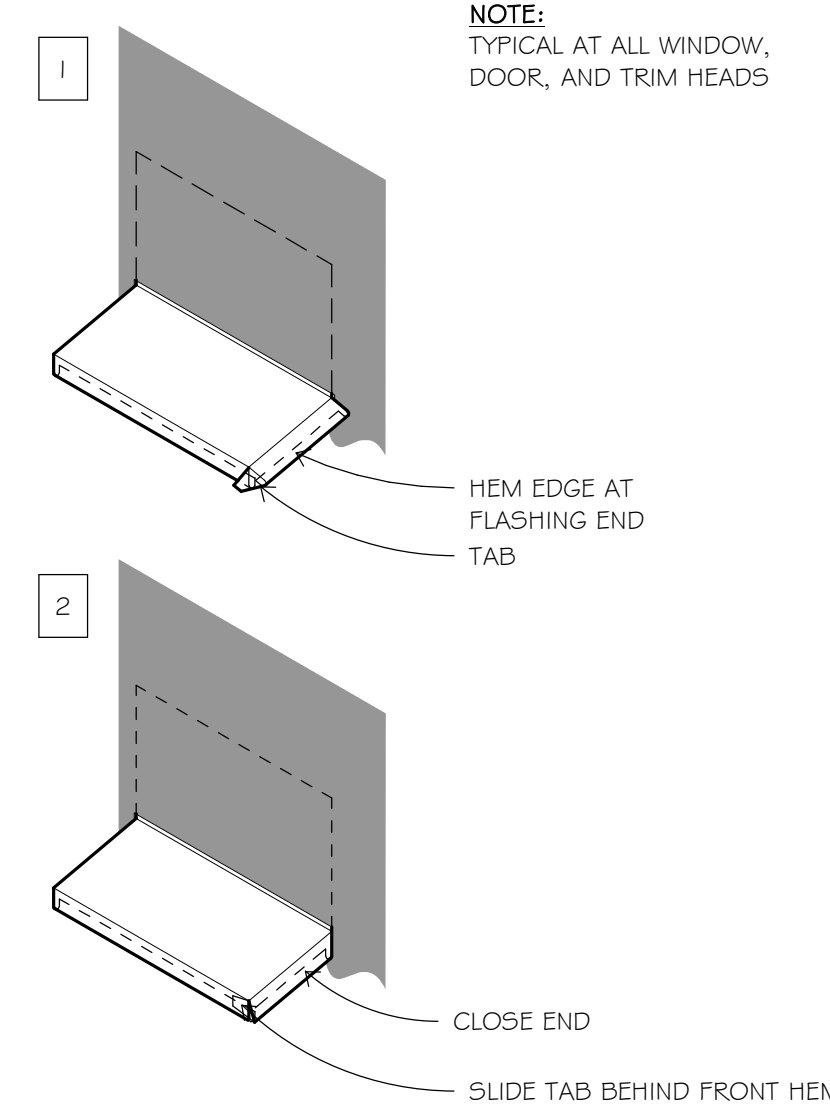
5 EDGE FLASHING & GUTTER
3/4" = 1'-0"



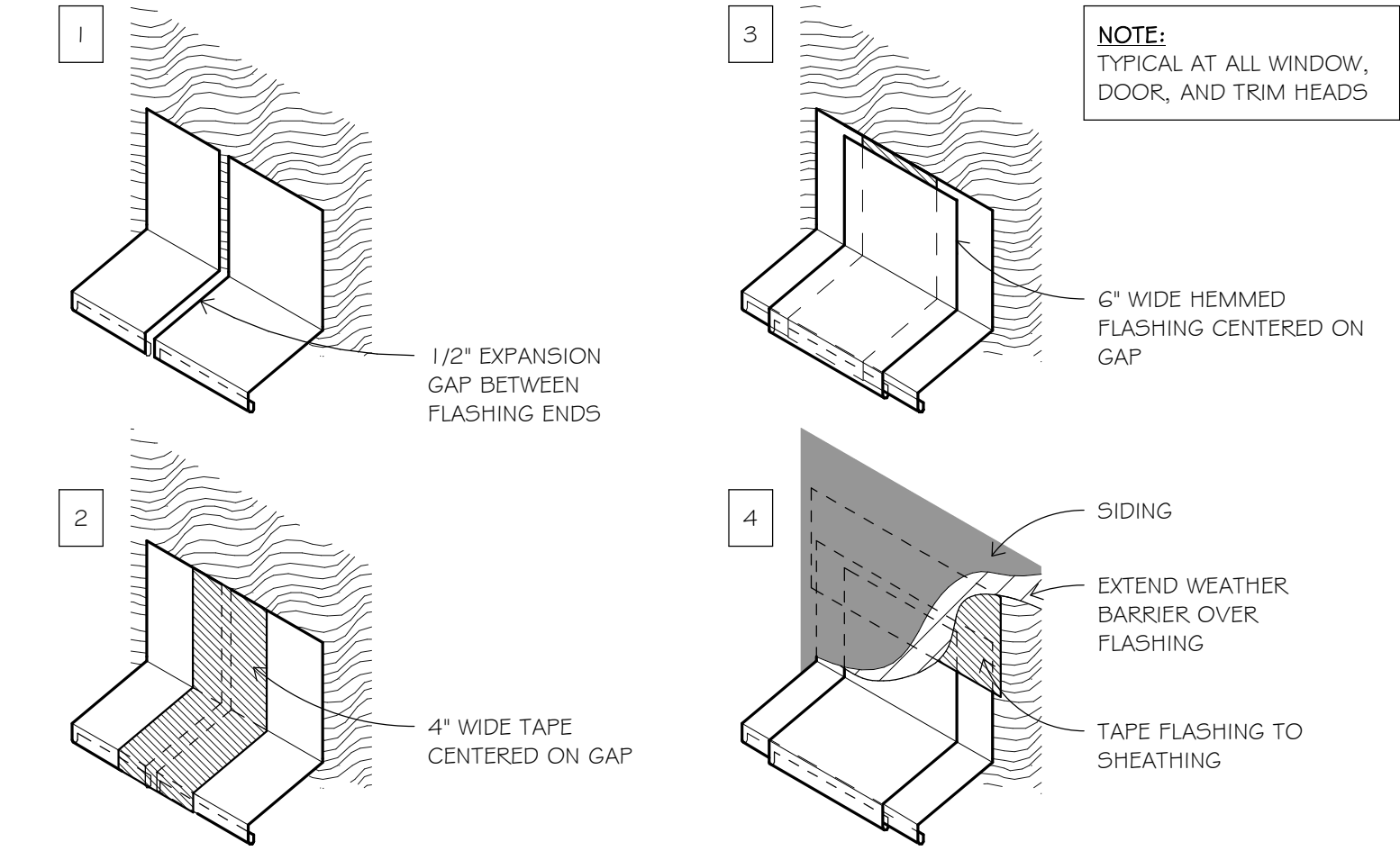
4 ROOF DETAIL AT PIPE BOOT
1 1/2" = 1'-0"



3 SHINGLE/UNDERLAYMENT LAYOUT
3/4" = 1'-0"



2 Z FLASHING DETAILS - END CONDITION
1 1/2" = 1'-0"



1 Z FLASHING DETAILS - JOINT CONDITION
1 1/2" = 1'-0"

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MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

PROJECT INFO

Commission No.
B/A: **616-18**
Drawn By:
HD
Issue Date
06/07/19

SUBMITTALS / REVISIONS	
06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
1 06/07/19	ISSUED FOR CONSTRUCTION

SCALE
As indicated

West Birch Apartments

1103 West Branch Street
Princeton, MN

EXTERIOR DETAILS - ROOF

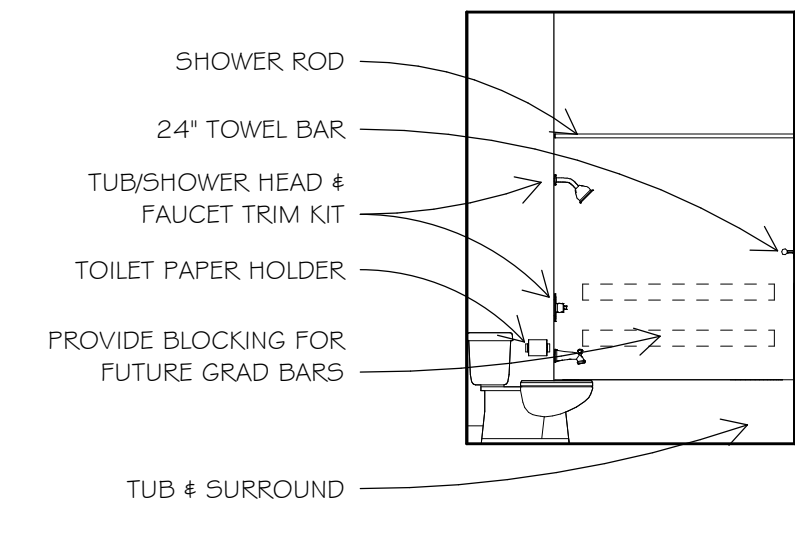
A604

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA
 06/07/19 sign date
 JAMES L. MOY 27036 reg. no.
 6/30/2020 reg. exp. date

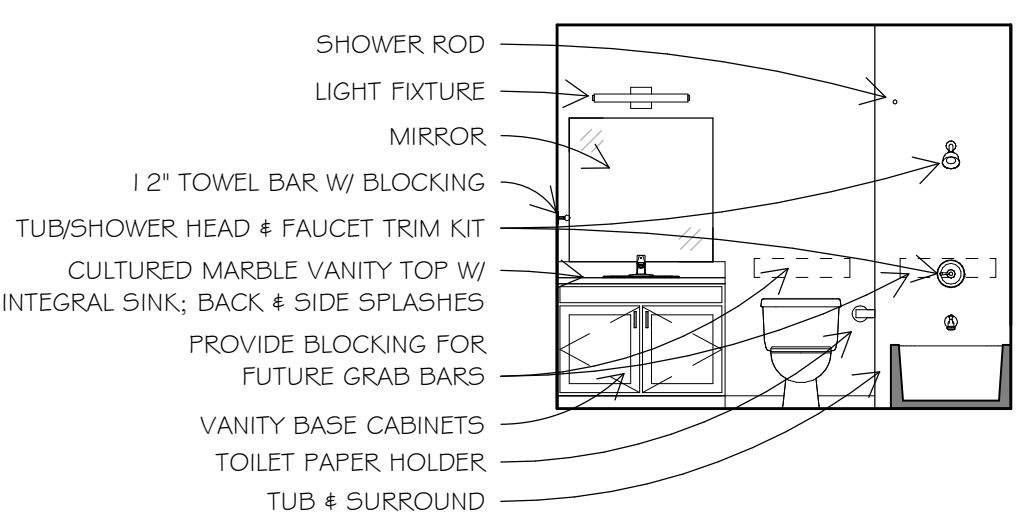
Commission No. B/A: 616-18
 Drawn By: SB, HD
 Issue Date: 06/07/19

△ SUBMITTALS / REVISIONS

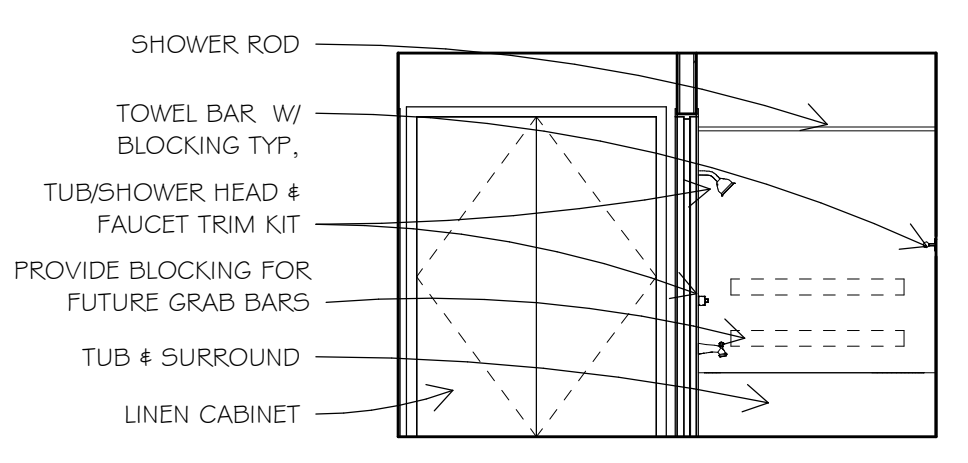
02/16/18	MHFA REVIEW - SD
04/20/18	50% CD
06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
06/07/19	ISSUED FOR CONSTRUCTION



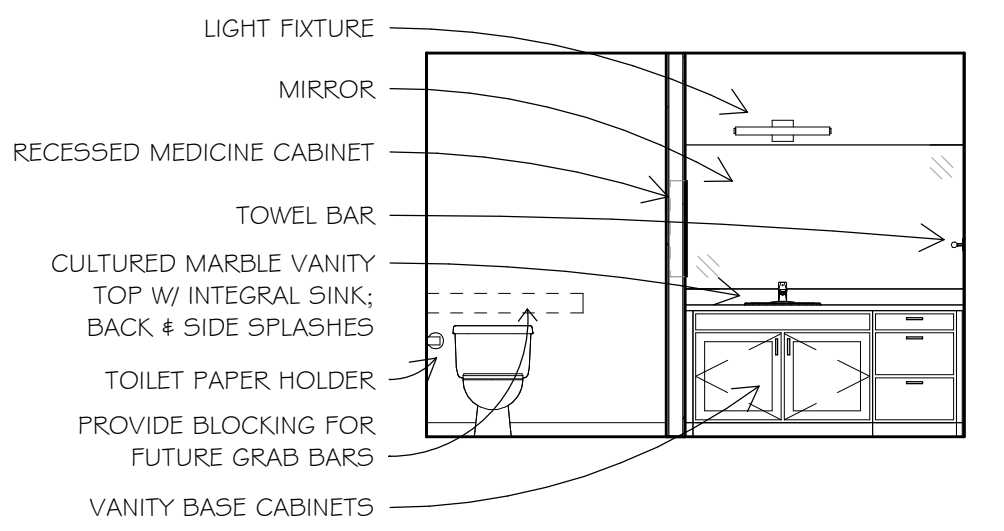
20 MASTER BATH ELEVATION @ TUB (TYP. A)
1/4" = 1'-0"
(A, I, C, C.1 & E SIMILAR)



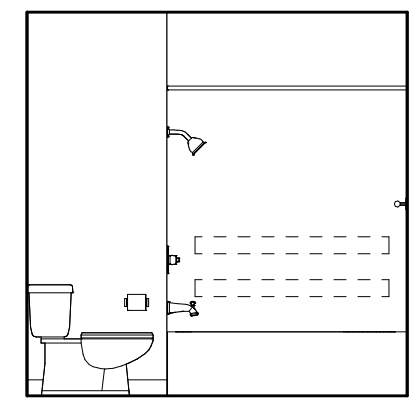
21 MASTER BATH ELEVATION @ VANITY/WC (TYP. A)
1/4" = 1'-0"
(A, I, C, C.1 & E SIMILAR)



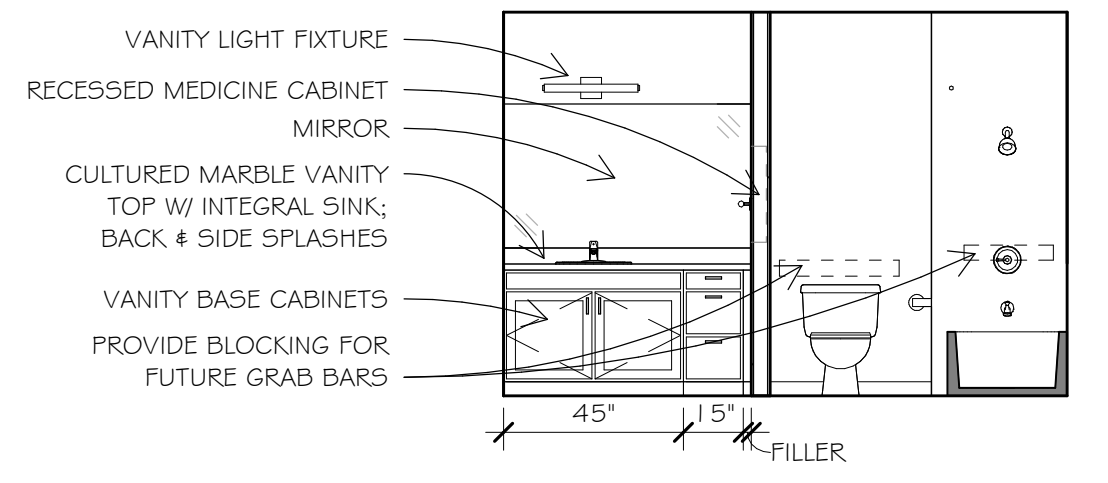
22 BATH ELEVATION @ TUB (TYP. A)
1/4" = 1'-0"
(A, I SIMILAR)



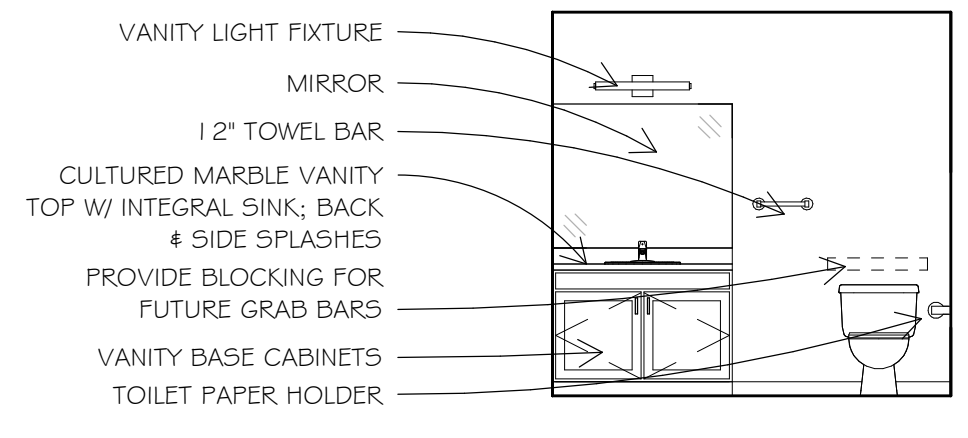
23 BATH ELEVATION @ VANITY/WC (TYP. A)
1/4" = 1'-0"
(A, I SIMILAR)



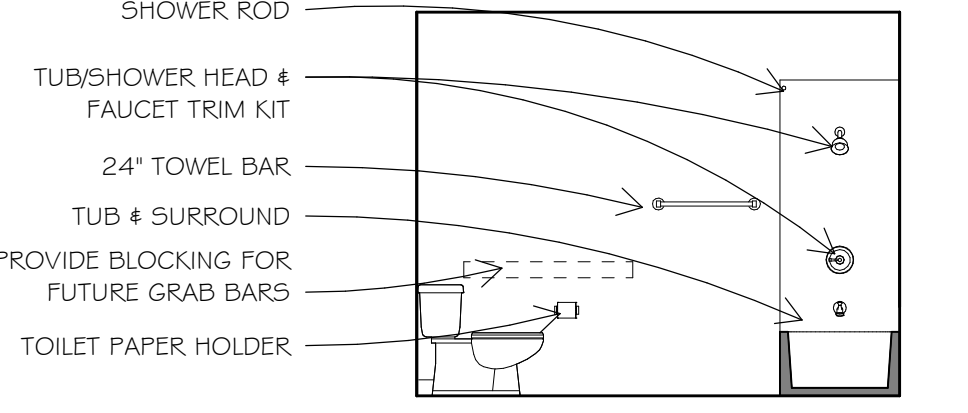
15 BATH ELEV 1 @ UNIT TYPE D (F SIM.)
1/4" = 1'-0"



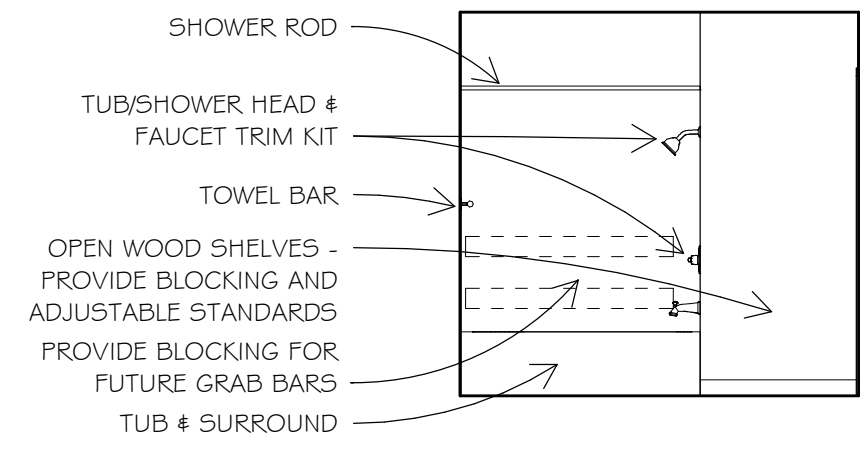
16 BATH ELEV 2 @ UNIT TYPE D (F SIM.)
1/4" = 1'-0"



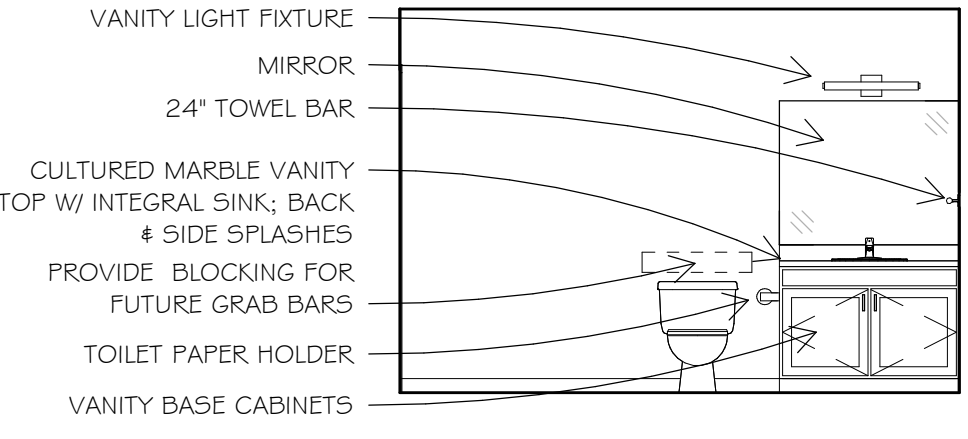
17 BATH ELEVATION @ VANITY/WC (TYP. B)
1/4" = 1'-0"



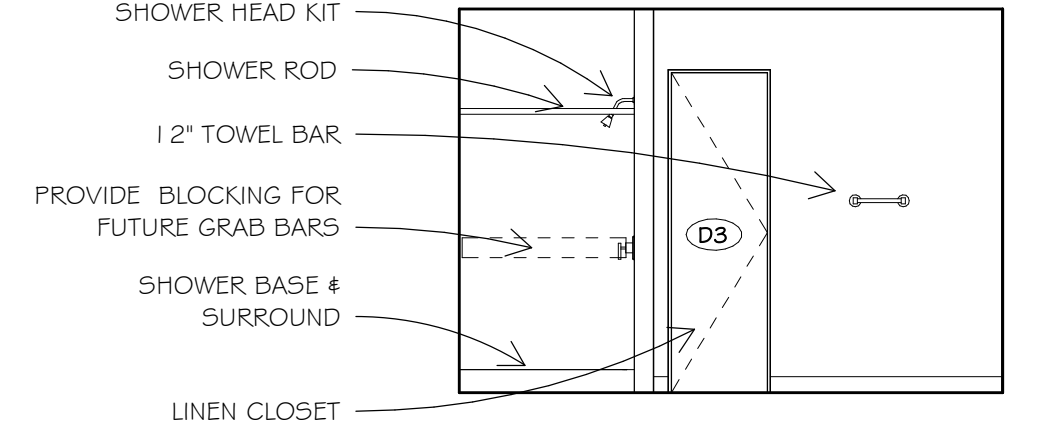
18 BATH ELEVATION @ TUB/WC (TYP. B)
1/4" = 1'-0"



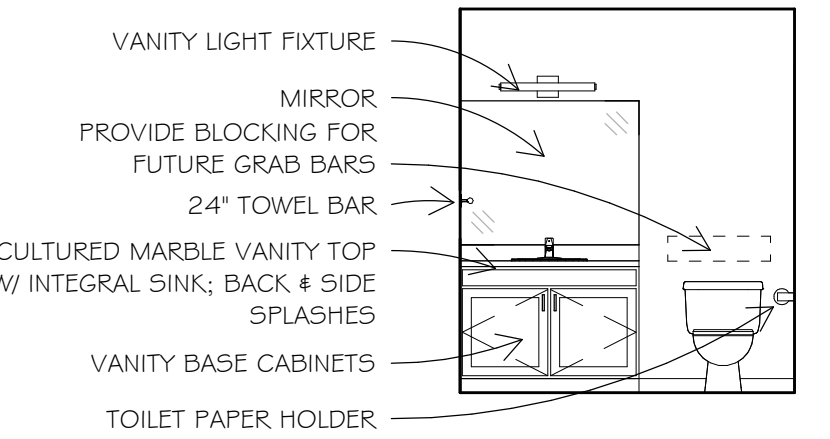
19 BATH ELEVATION @ TUB (TYP. B)
1/4" = 1'-0"



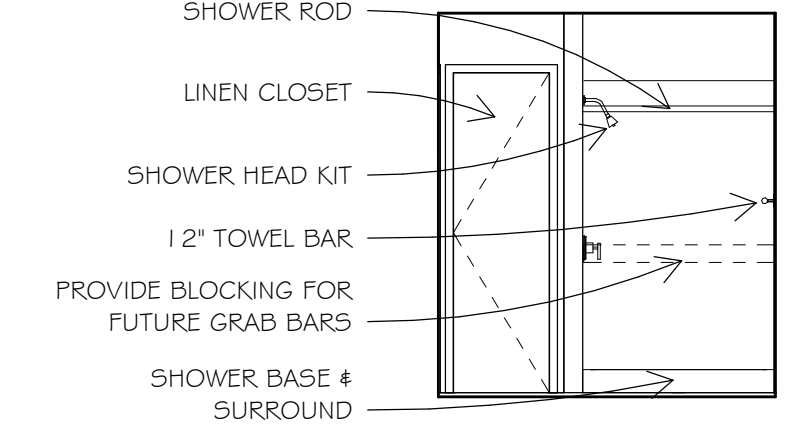
11 MASTER BATH ELEV 2 @ UNIT TYPE F
1/4" = 1'-0"



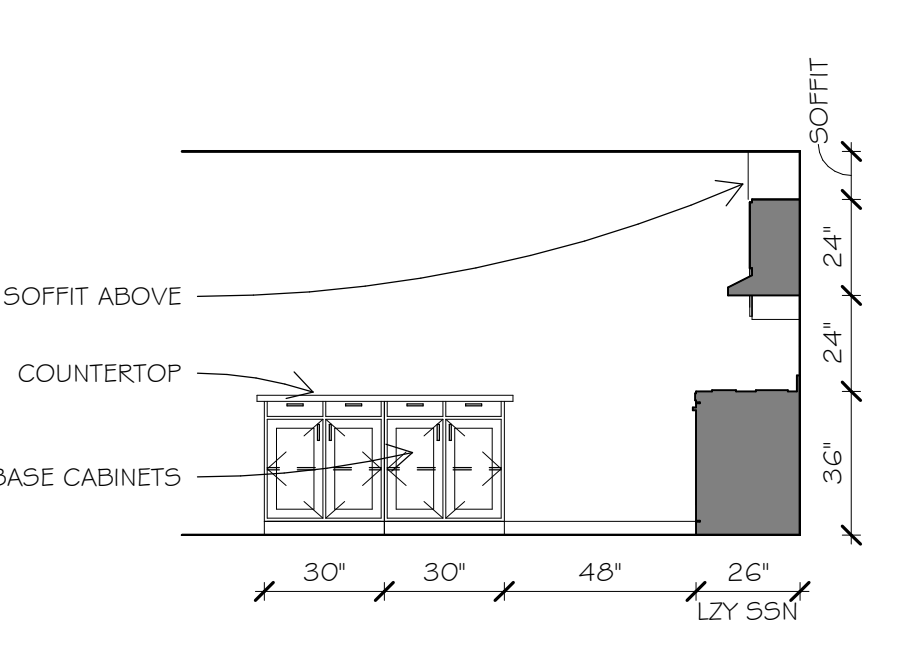
12 MASTER BATH ELEV 1 @ UNIT TYPE F
1/4" = 1'-0"



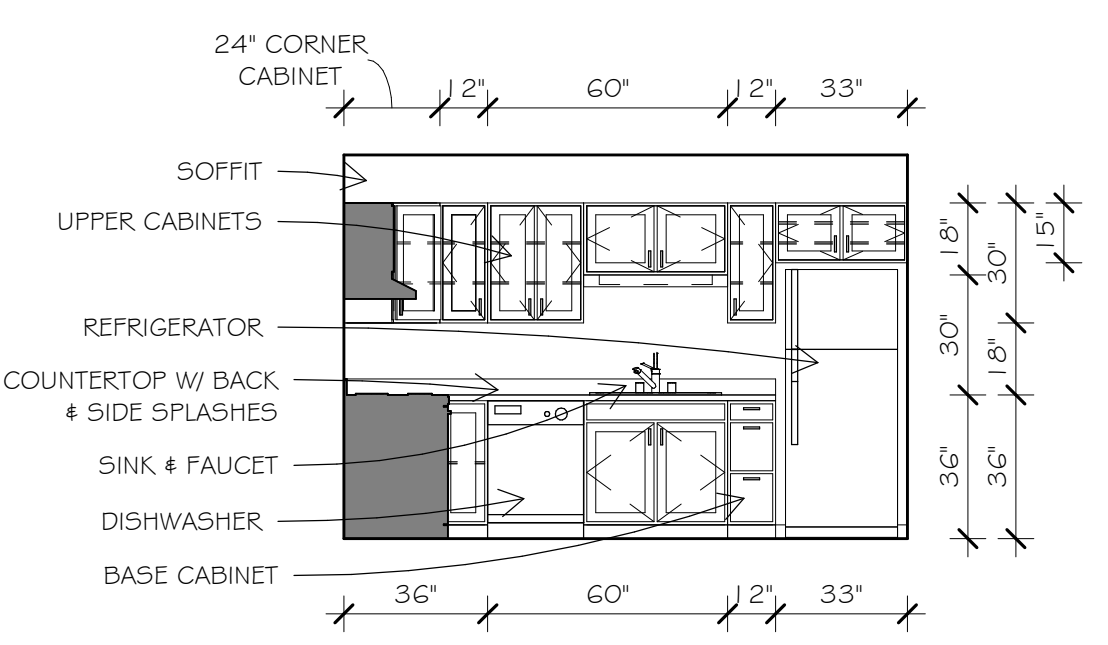
13 MASTER BATH ELEV 2 @ UNIT TYPE D
1/4" = 1'-0"



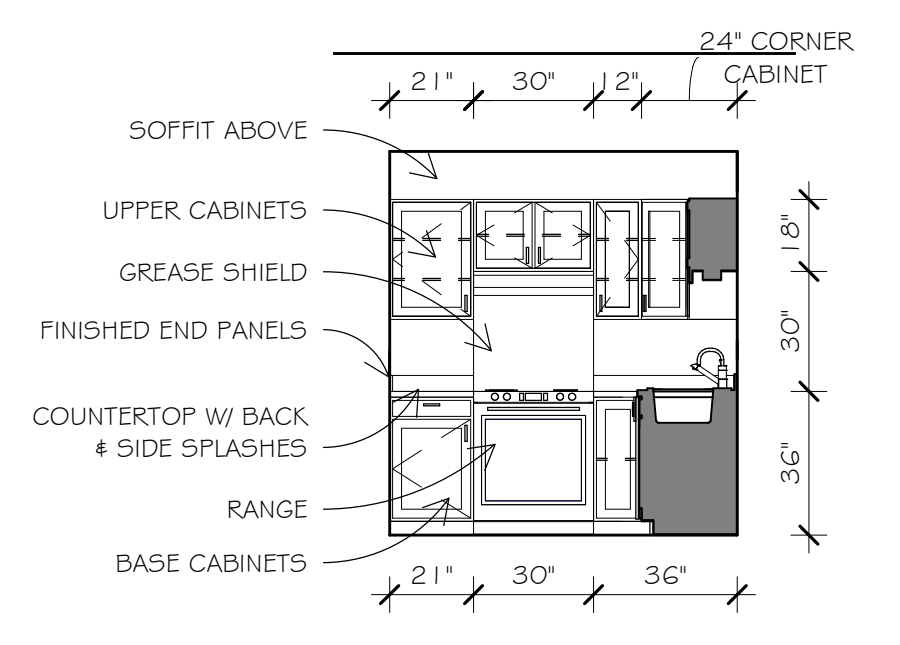
14 MASTER BATH ELEV 1 @ UNIT TYPE D
1/4" = 1'-0"



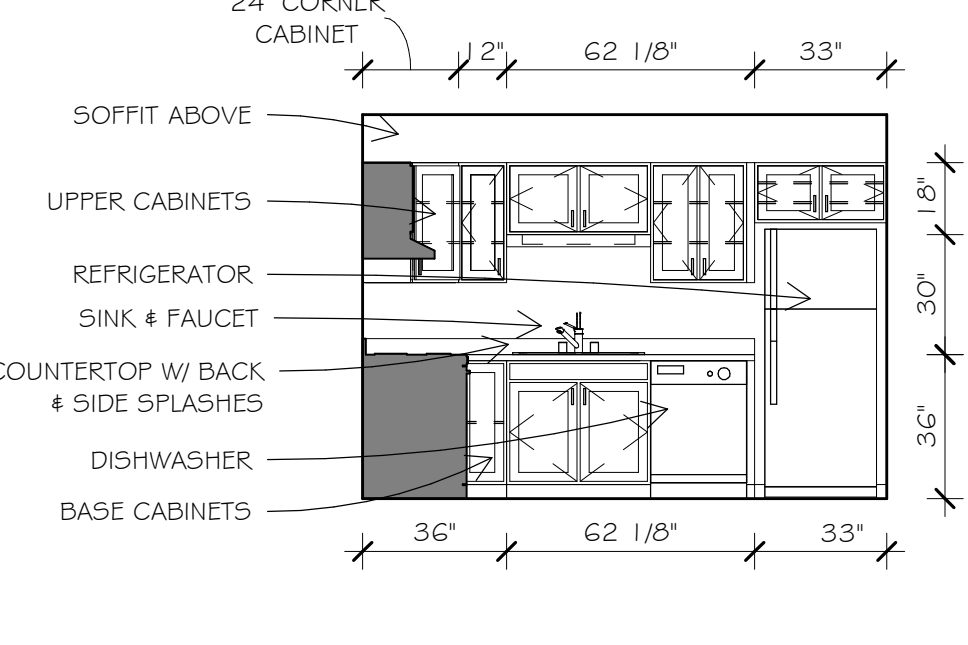
6 KITCHEN ELEV 3 @ UNIT TYPE A
1/4" = 1'-0"
(A, I SIMILAR)



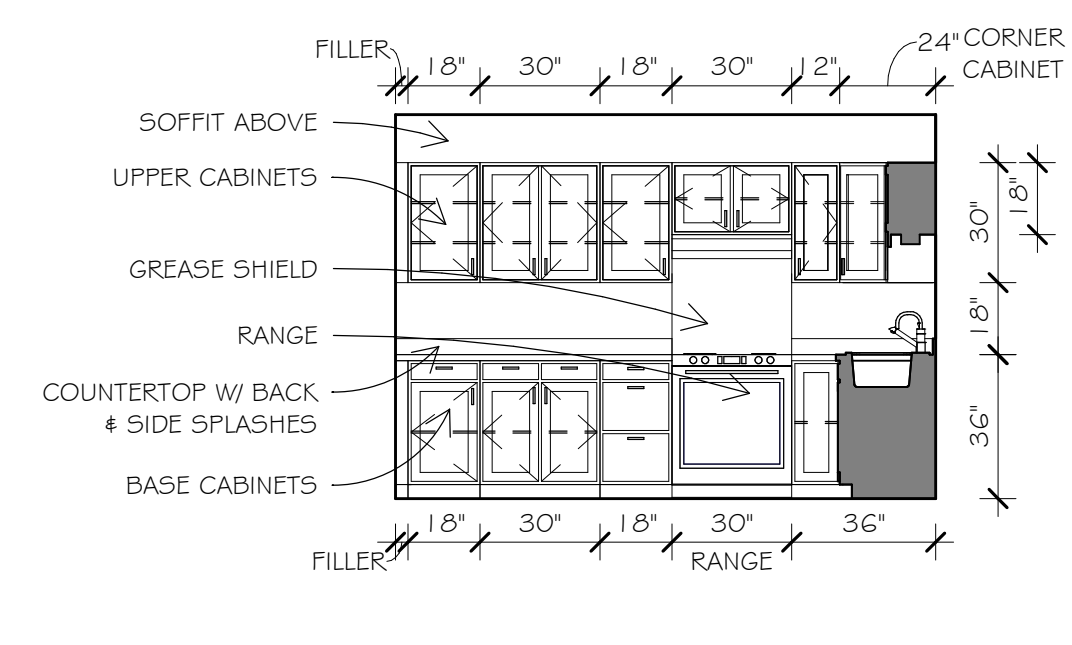
7 KITCHEN ELEVATION @ SINK (TYP. B)
1/4" = 1'-0"



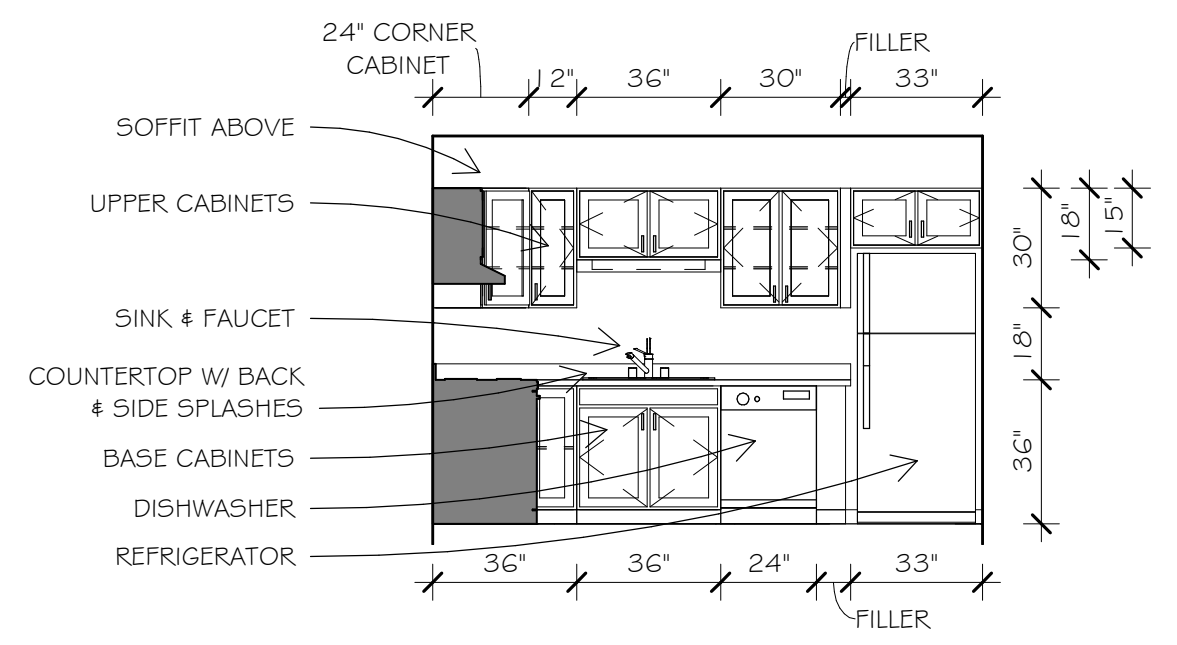
8 KITCHEN ELEVATION @ RANGE (TYP. B)
1/4" = 1'-0"



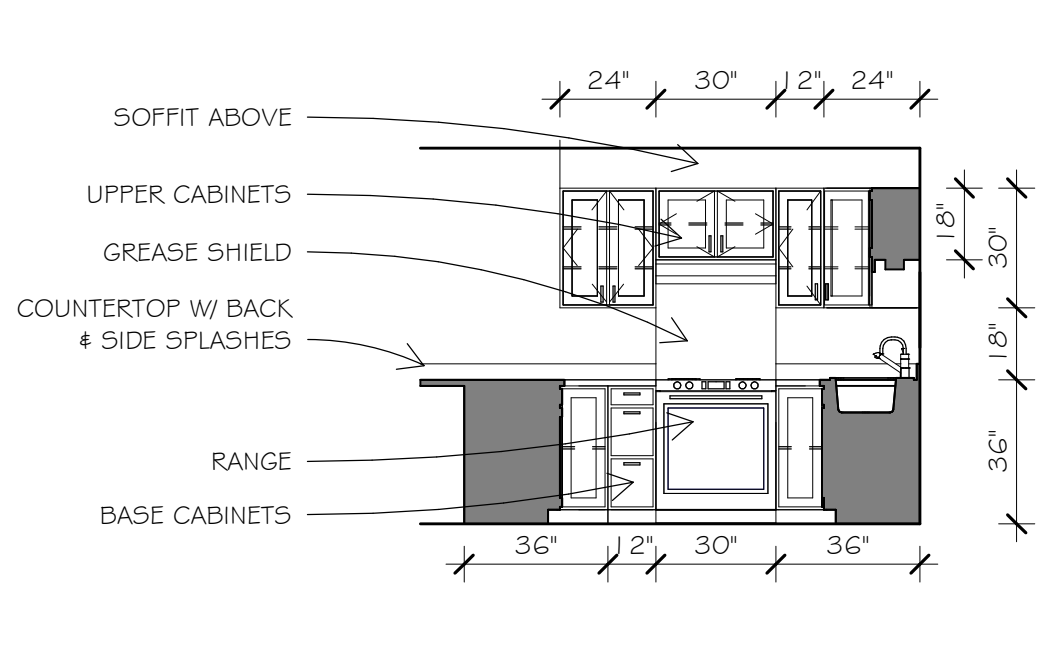
9 KITCHEN ELEVATION @ SINK (TYP. A)
1/4" = 1'-0"
(A, I, C, & C.1 SIMILAR)



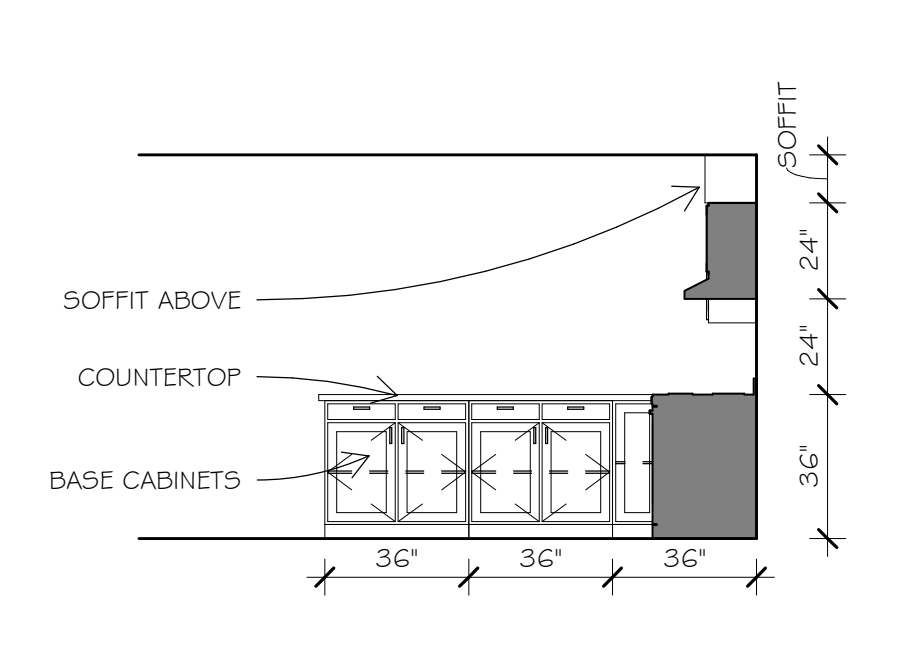
10 KITCHEN ELEVATION @ RANGE (TYP. A)
1/4" = 1'-0"
(A, I, C, & C.1 SIMILAR)



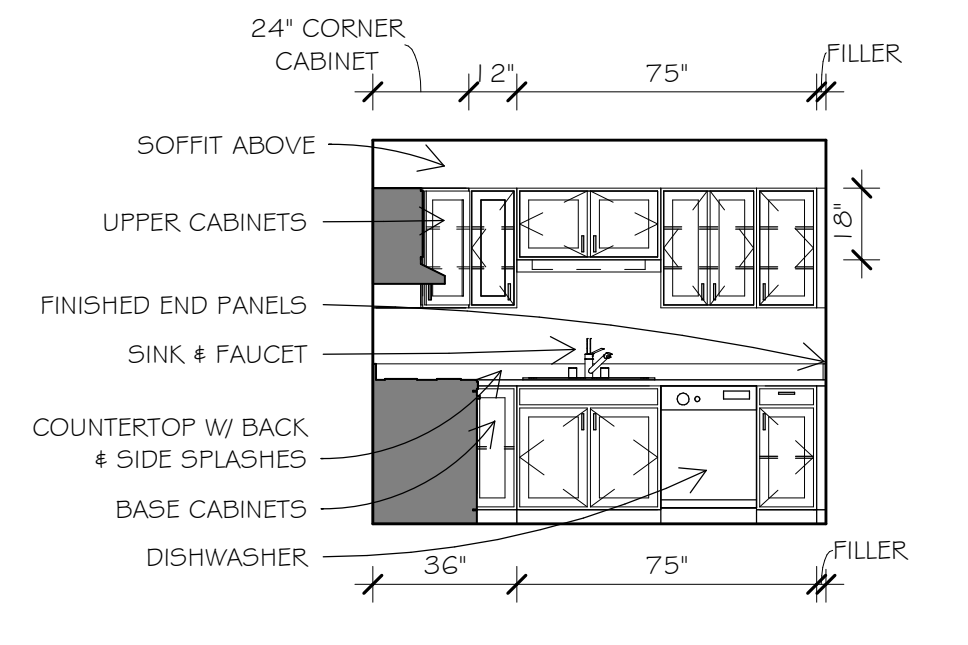
1 KITCHEN ELEV 1 @ UNIT TYPE D
1/4" = 1'-0"
(F SIMILAR)



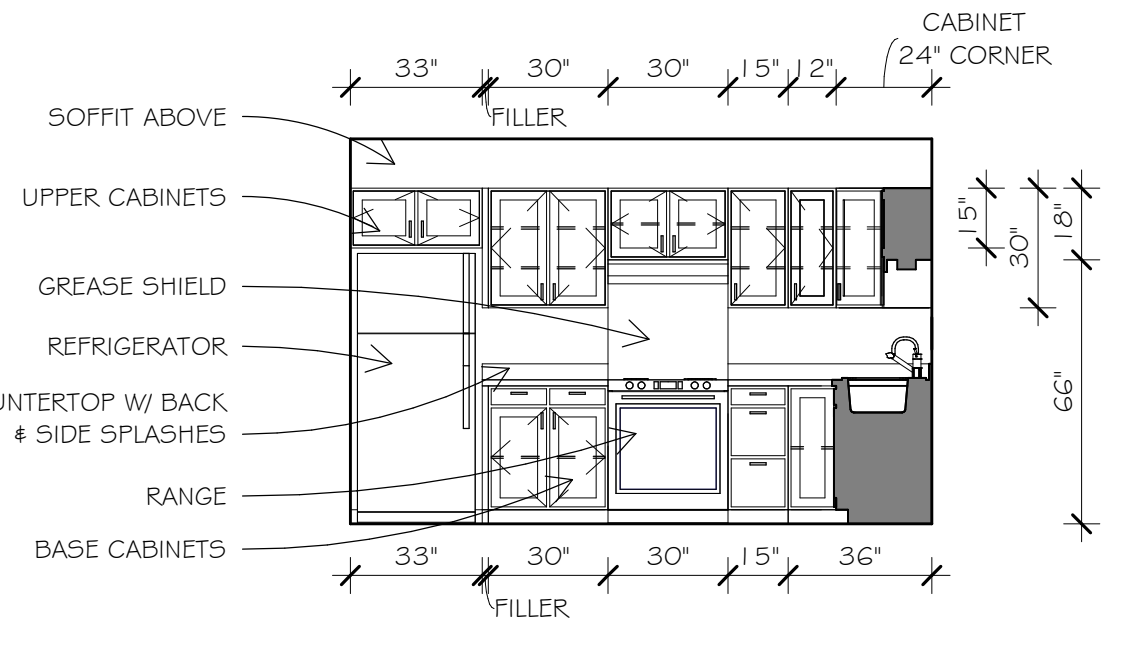
2 KITCHEN ELEV 2 @ UNIT TYPE D
1/4" = 1'-0"
(F SIMILAR)



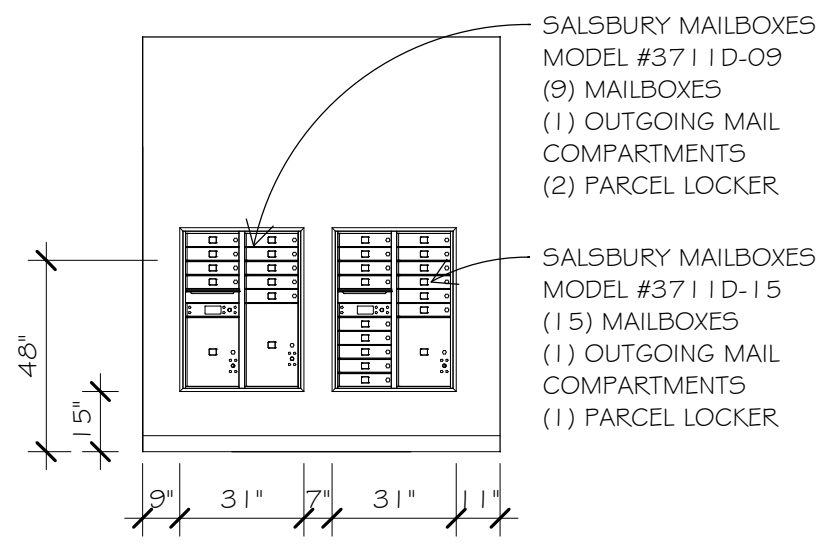
3 KITCHEN ELEV 3 @ UNIT TYPE D
1/4" = 1'-0"
(F SIMILAR)



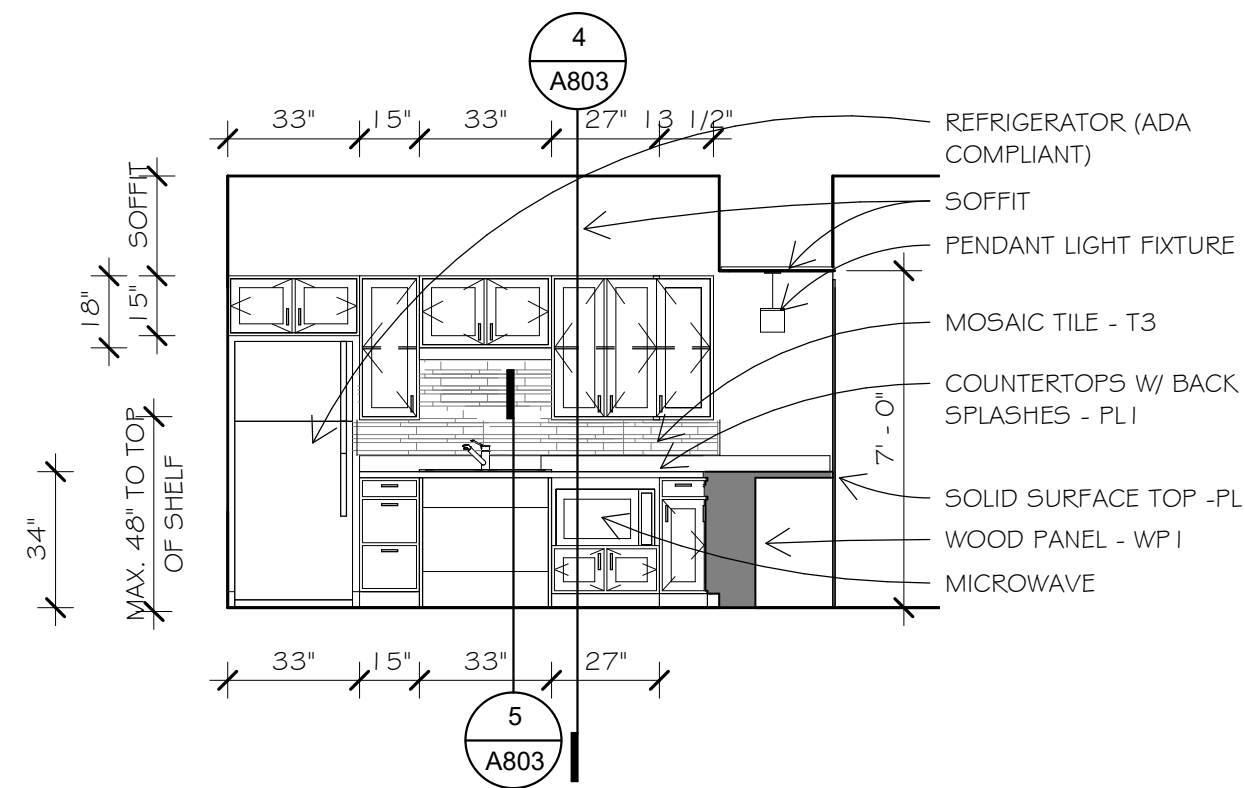
4 KITCHEN ELEVATION @ SINK (TYP. C)
1/4" = 1'-0"



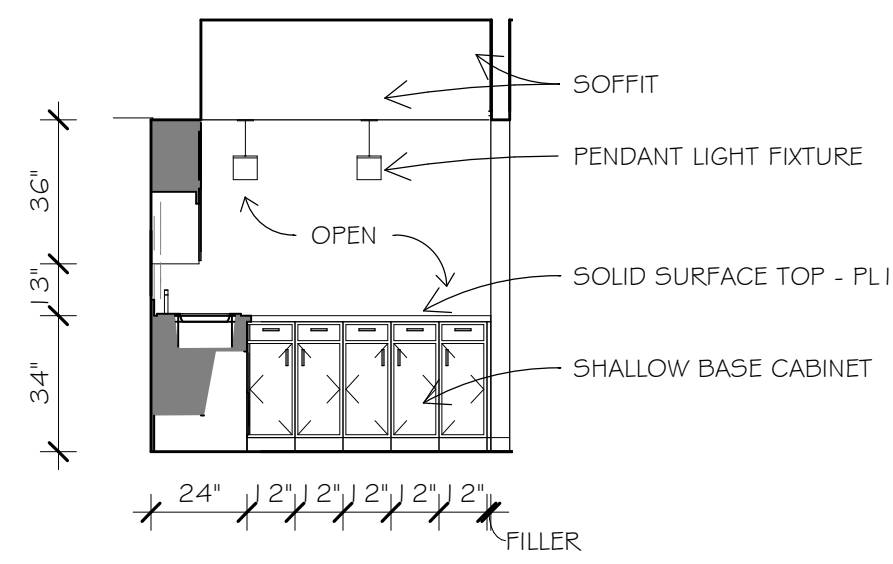
5 KITCHEN ELEVATION @ RANGE (TYP. C)
1/4" = 1'-0"



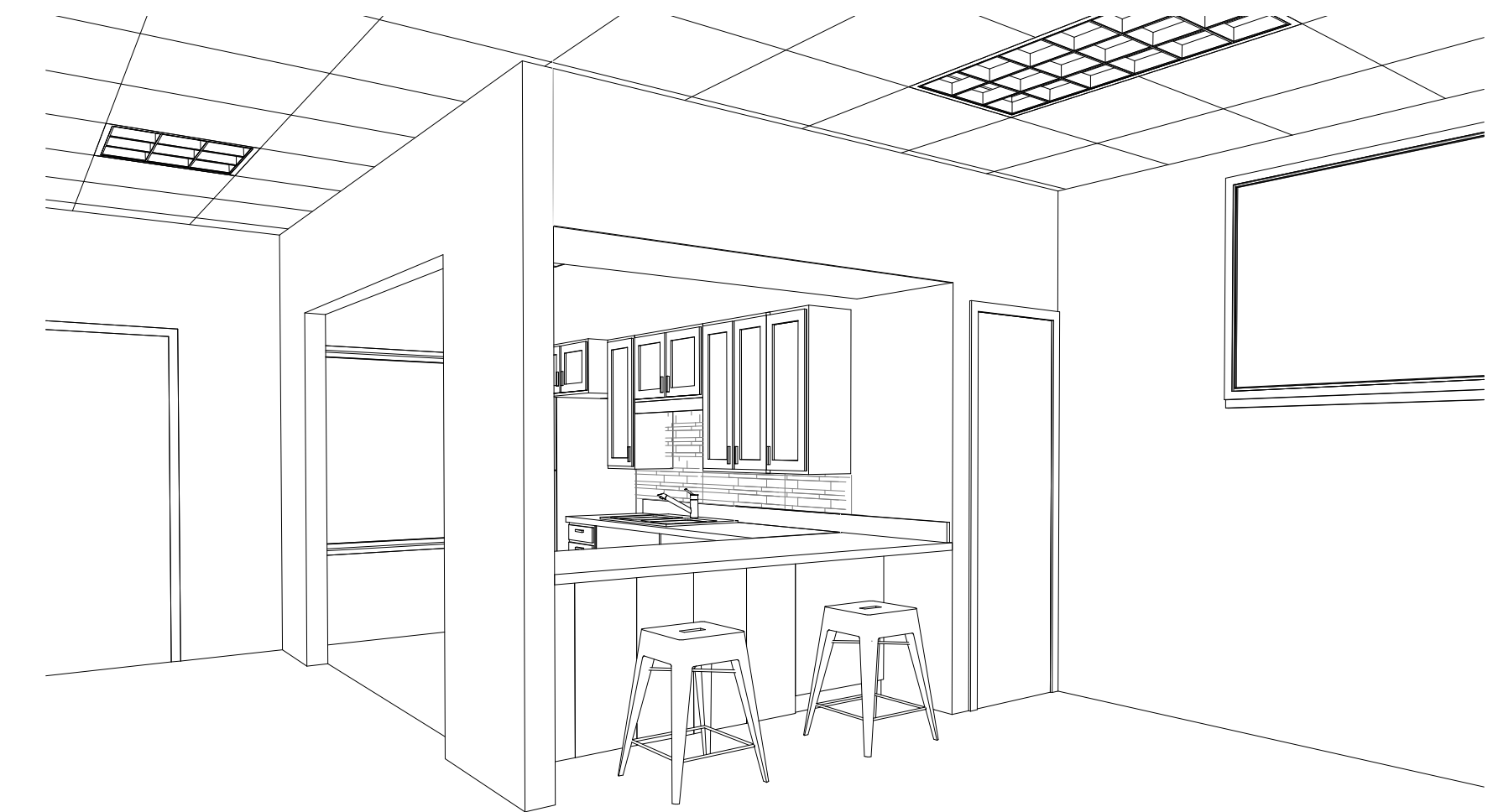
19 ELEVATION @ MAILBOXES
1/4" = 1'-0"



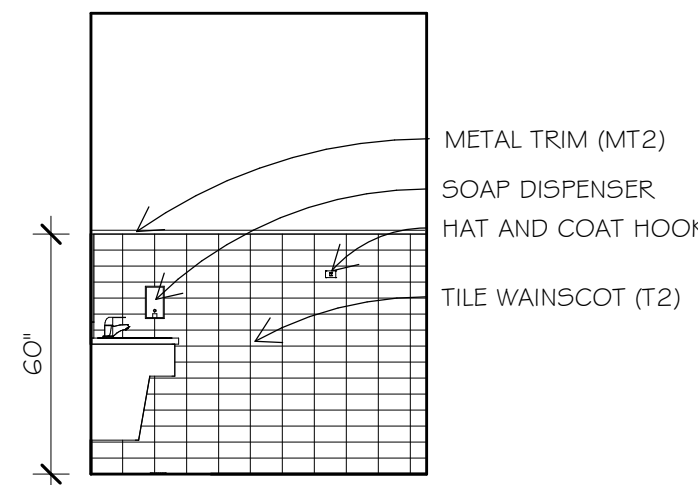
18 KITCHENETTE ELEV. @ SINK - COMMON AREA
1/4" = 1'-0"



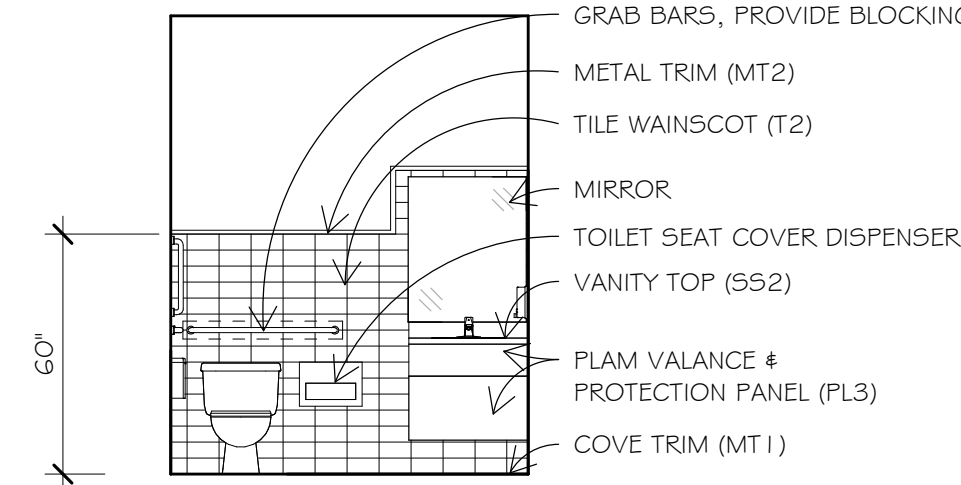
17 KITCHENETTE ELEV. @ COUNTER - COMMON AREA
1/4" = 1'-0"



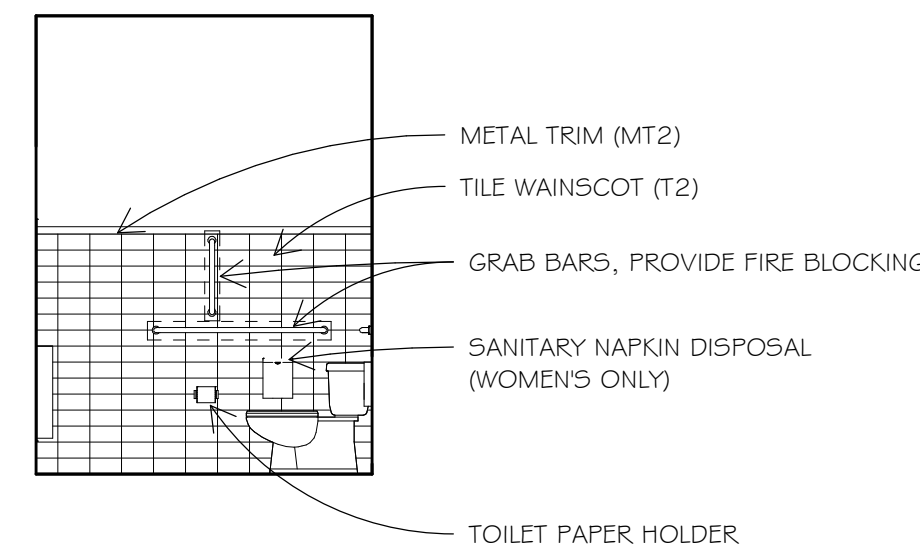
16 KITCHENETTE 3D VIEW - COMMON AREA



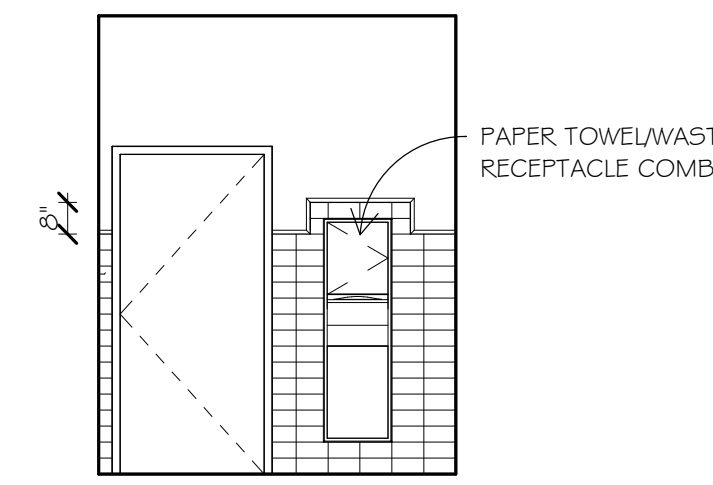
15 ELEV 1 @ TOILET C111
1/4" = 1'-0" (TOILET C110 MIRRORED)



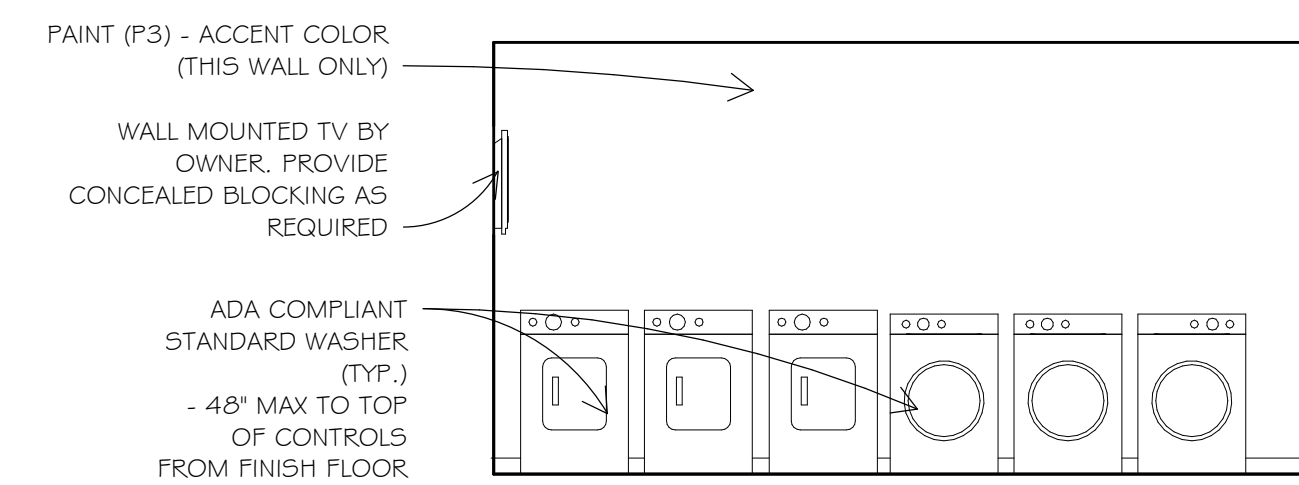
14 ELEV 2 @ TOILET C111
1/4" = 1'-0" (TOILET C110 MIRRORED)



13 ELEV 3 @ TOILET C111
1/4" = 1'-0" (TOILET C110 MIRRORED)

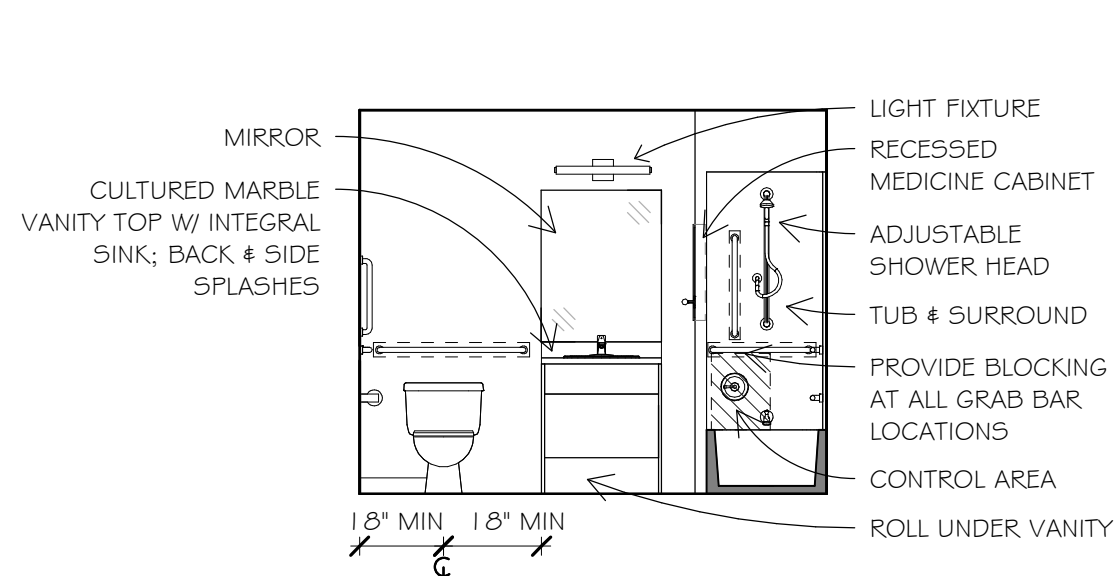


12 ELEV 4 @ TOILET C111
1/4" = 1'-0" (TOILET C110 MIRRORED)

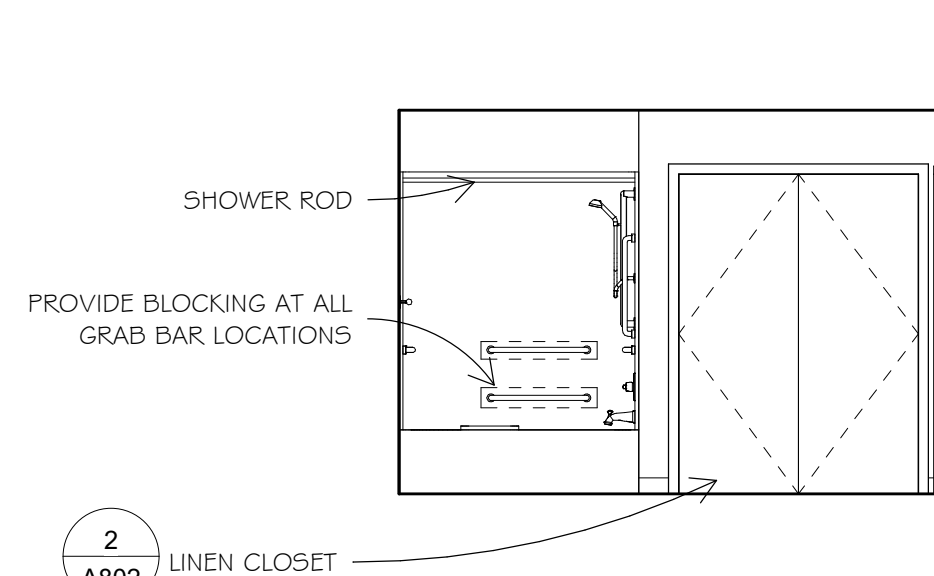


11 LAUNDRY ELEVATION (ADA) @ COMMON AREA
1/4" = 1'-0"

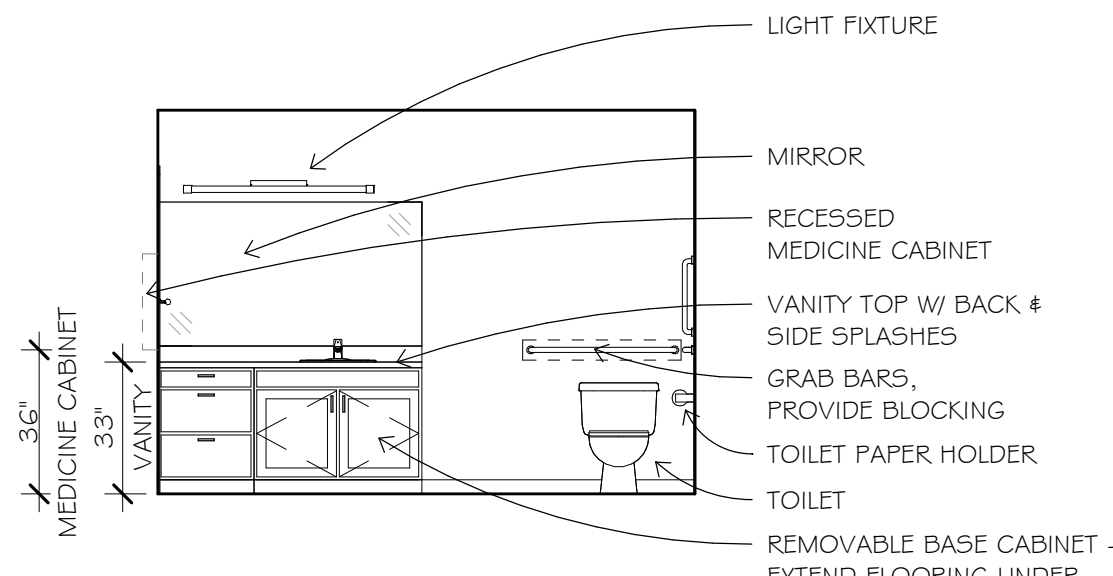
COMMON AREA ELEVATIONS



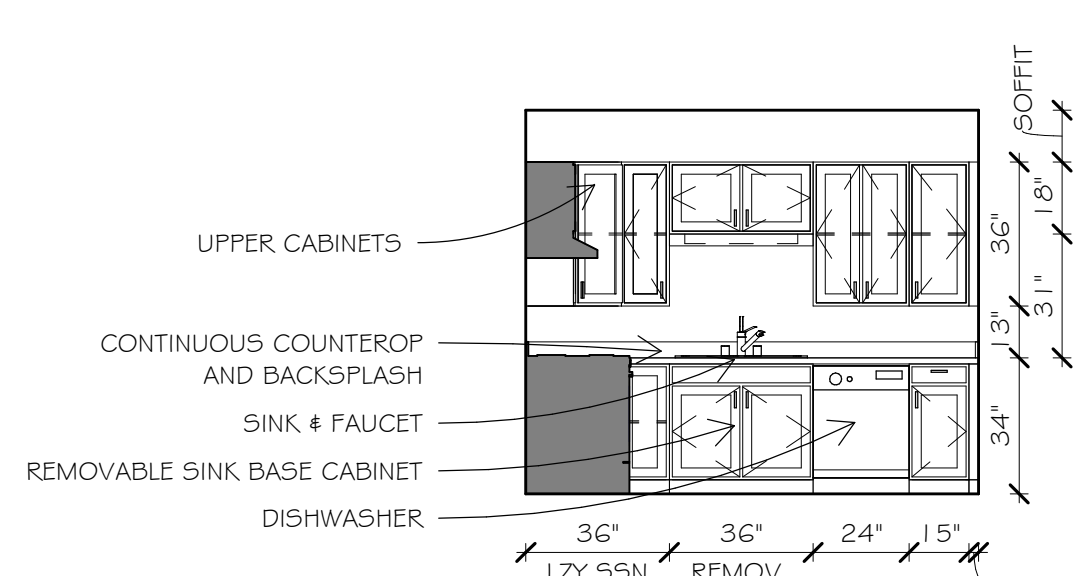
10 BATH ELEVATION @ TOILET (TYPE C.2)
1/4" = 1'-0"



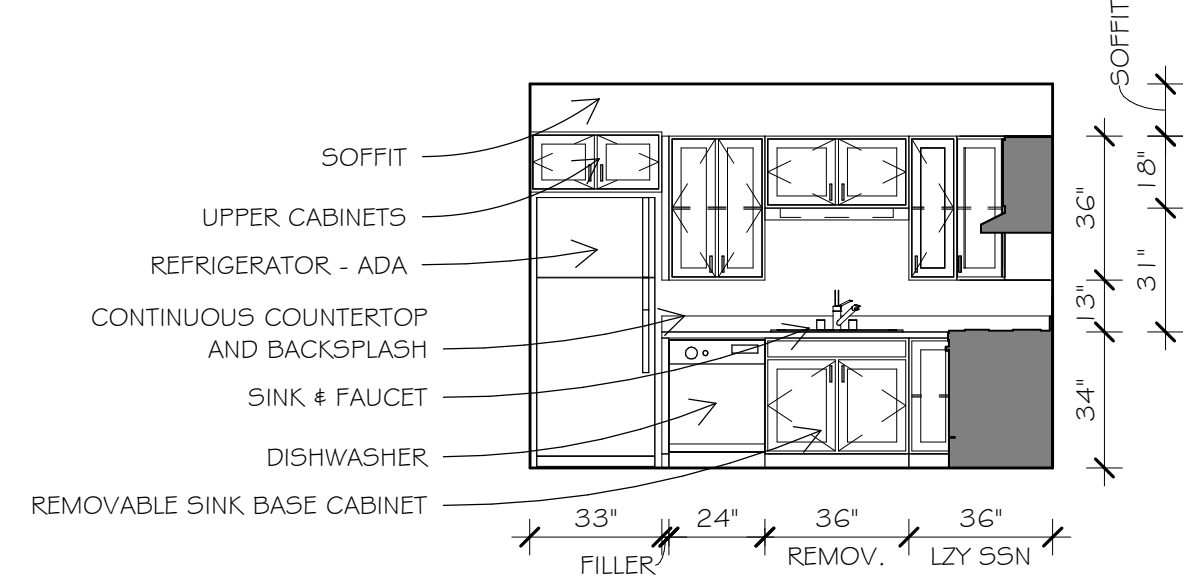
9 BATH ELEVATION @ TUB (TYPE E)
1/4" = 1'-0"



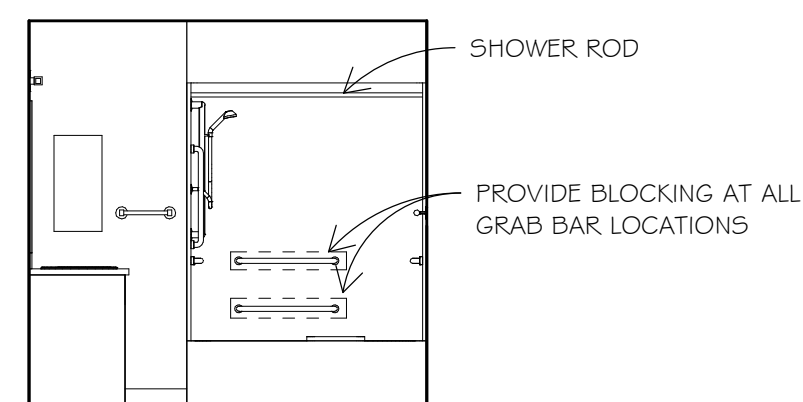
8 BATH ELEVATION @ TOILET (TYPE E)
1/4" = 1'-0"



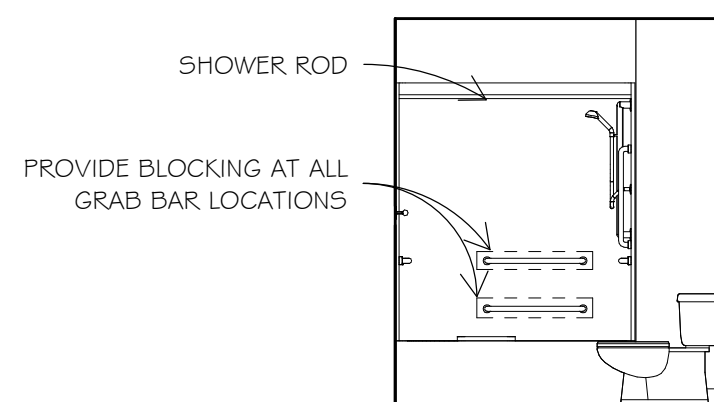
7 KITCHEN ELEVATION @ SINK (TYP. C.2)
1/4" = 1'-0"



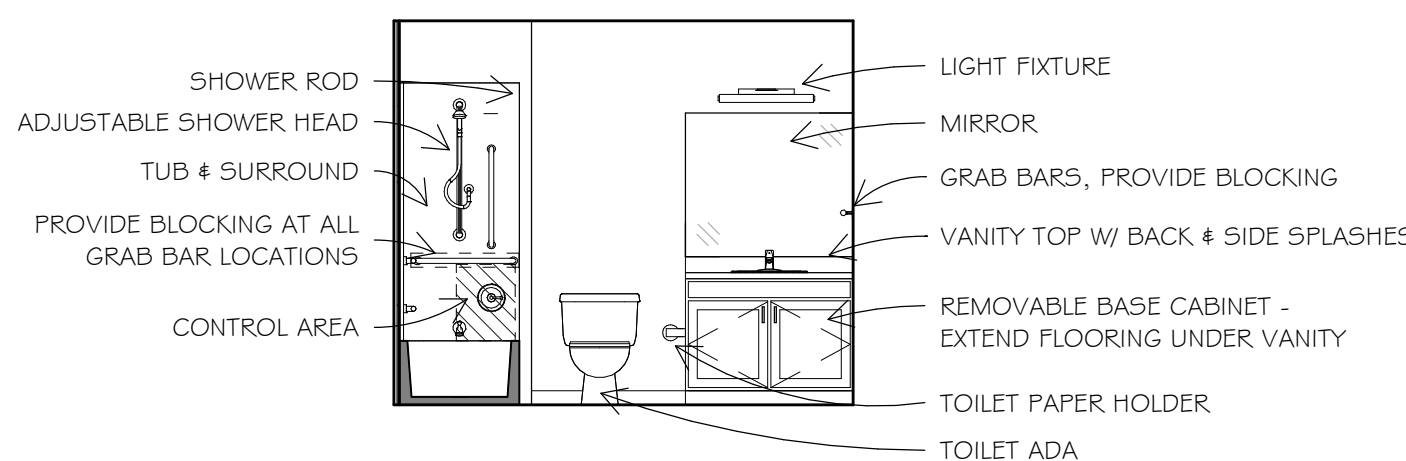
6 KITCHEN ELEVATION @ SINK (TYPE E)
1/4" = 1'-0"



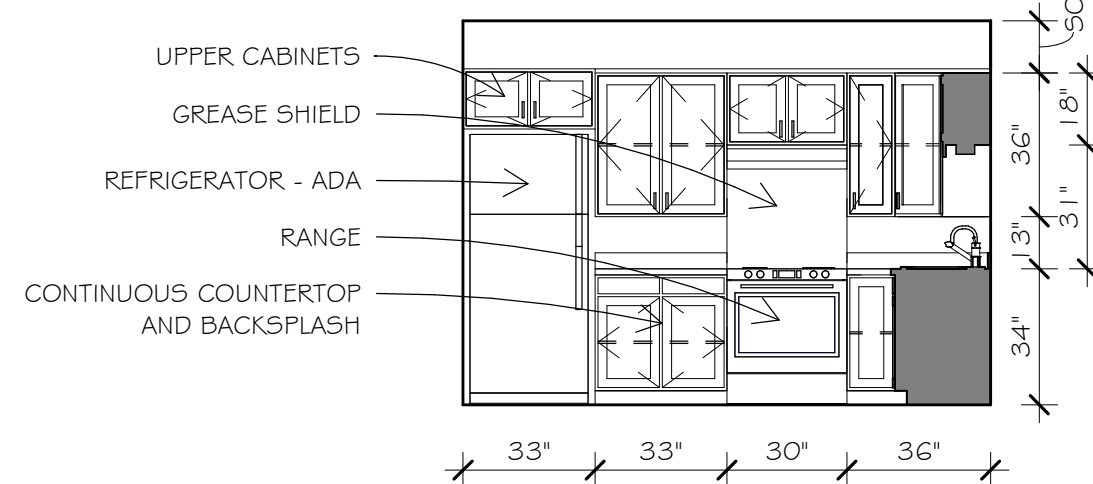
5 BATH ELEVATION @ TUB (TYPE C.2)
1/4" = 1'-0"



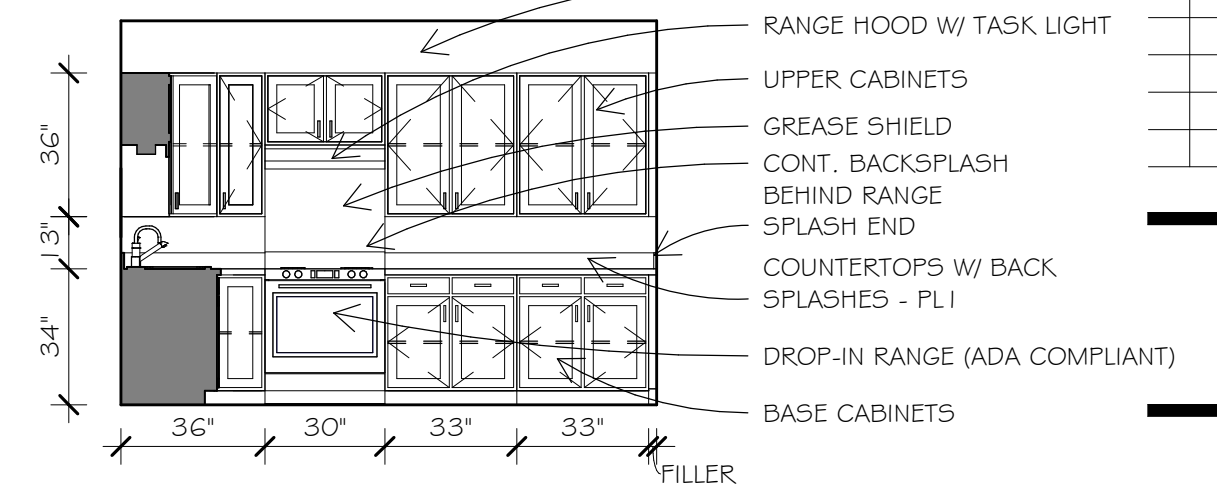
4 MASTER BATH ELEV 2 @ UNIT (TYPE E)
1/4" = 1'-0"



3 MASTER BATH ELEV 1 @ UNIT (TYPE E)
1/4" = 1'-0"



2 KITCHEN ELEVATION @ RANGE (TYP. C.2)
1/4" = 1'-0"



1 KITCHEN ELEVATION @ RANGE (TYPE E)
1/4" = 1'-0"

ACCESSIBLE UNITS ELEVATIONS



1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
612/331-2224 FAX
info@blumentals.com

SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA
06/07/19 sign date
JAMES L. MOY 27036 reg. no.
6/30/2020 reg. exp. date

PROJECT INFO

Commission No. B/A: 616-18
Drawn By: SB, HD
Issue Date 06/07/19

SUBMITTALS / REVISIONS	
04/20/18	50% CD
06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
1	06/07/19 ISSUED FOR CONSTRUCTION

SCALE
1/4" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

INTERIOR ELEVATIONS -
COMMON AREAS AND ACC
UNITS

A702



Blumentals Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
612/331-2224 FAX
info@blumentals.com

SIGNATURES

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1 06/07/19	ISSUED FOR CONSTRUCTION

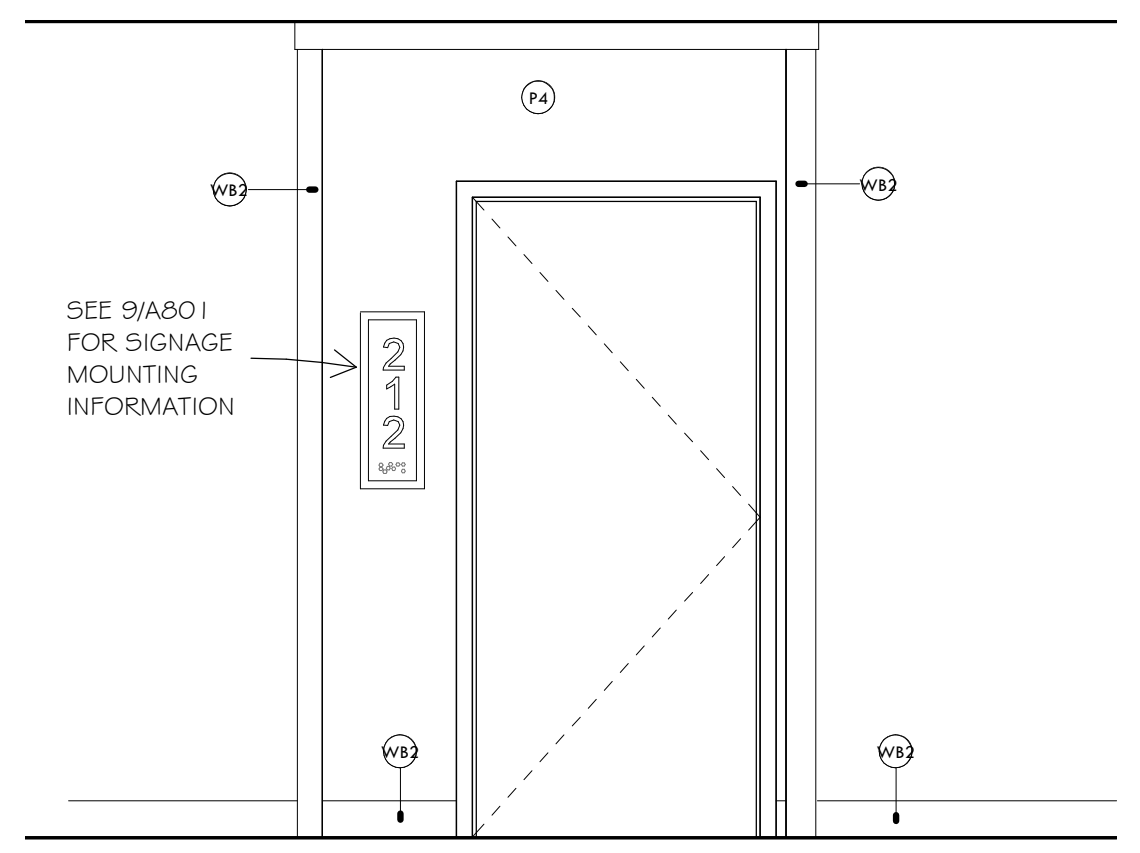
SCALE As indicated

West Birch Apartments

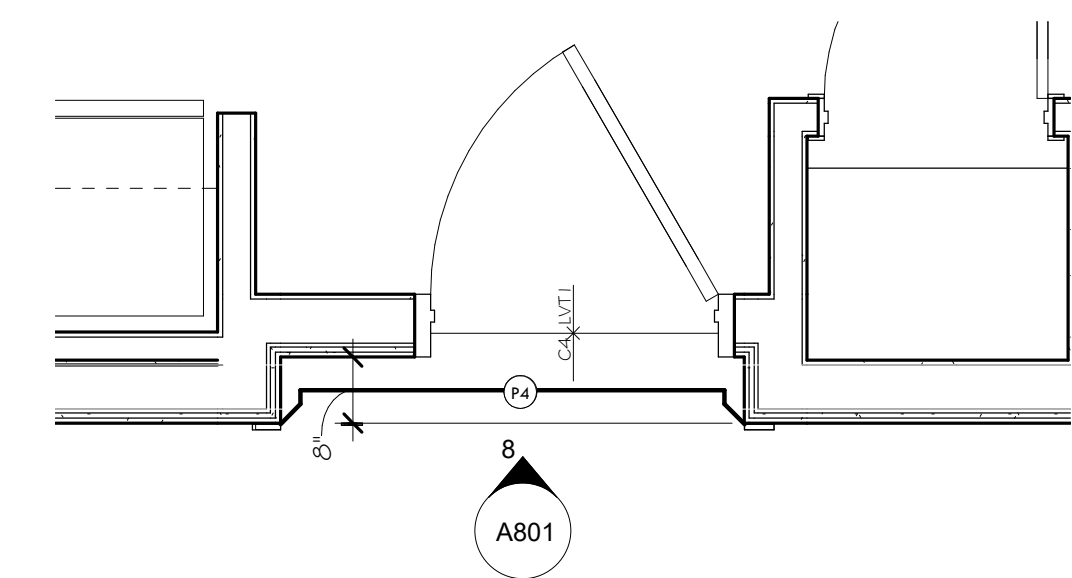
1103 West Branch Street
Princeton, MN

INTERIOR DETAILS

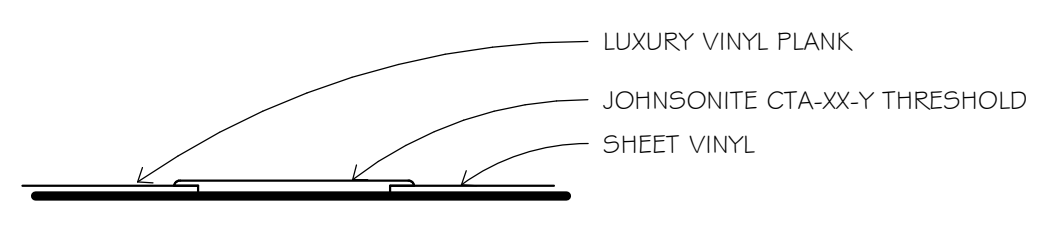
A801



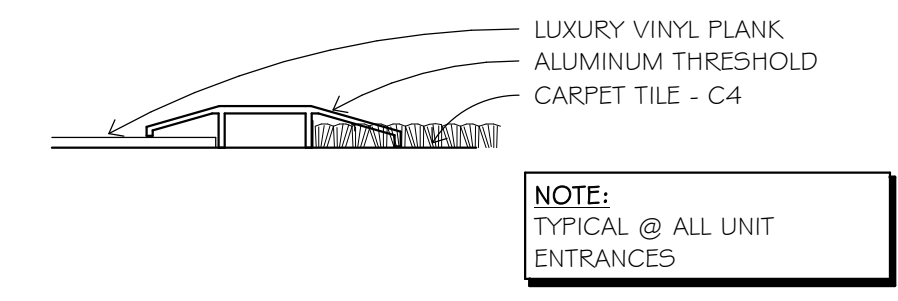
8 UNIT ENTRY ELEVATION (TYP)
1/2" = 1'-0"



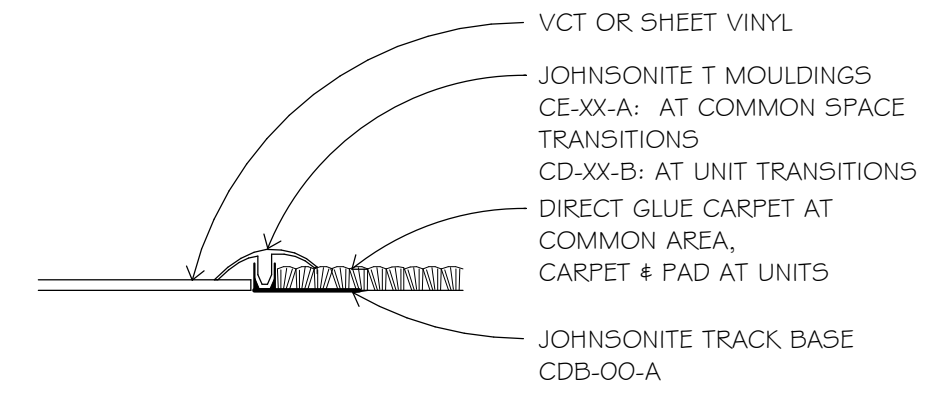
7 FINISHES @ UNIT ENTRY (TYP.)
1/2" = 1'-0"



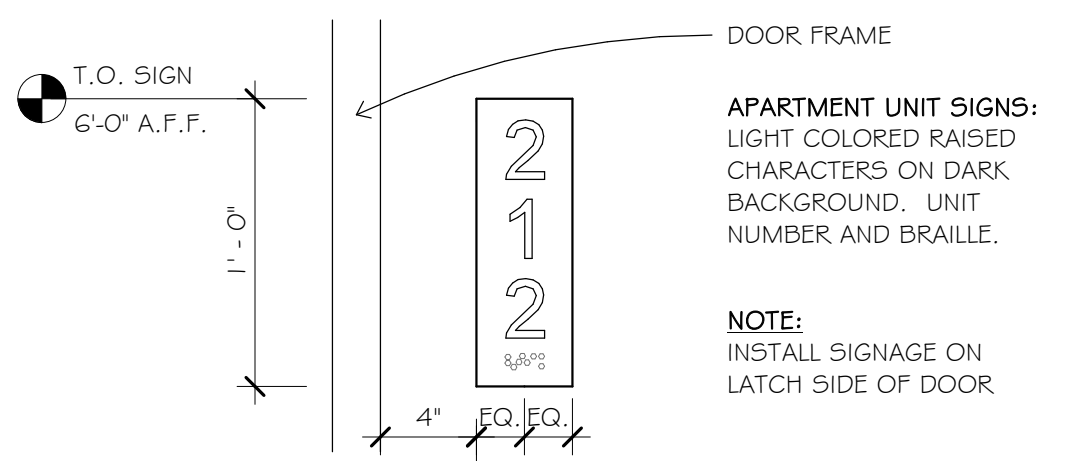
5 SHEET VINYL TRANSITION
6" = 1'-0"



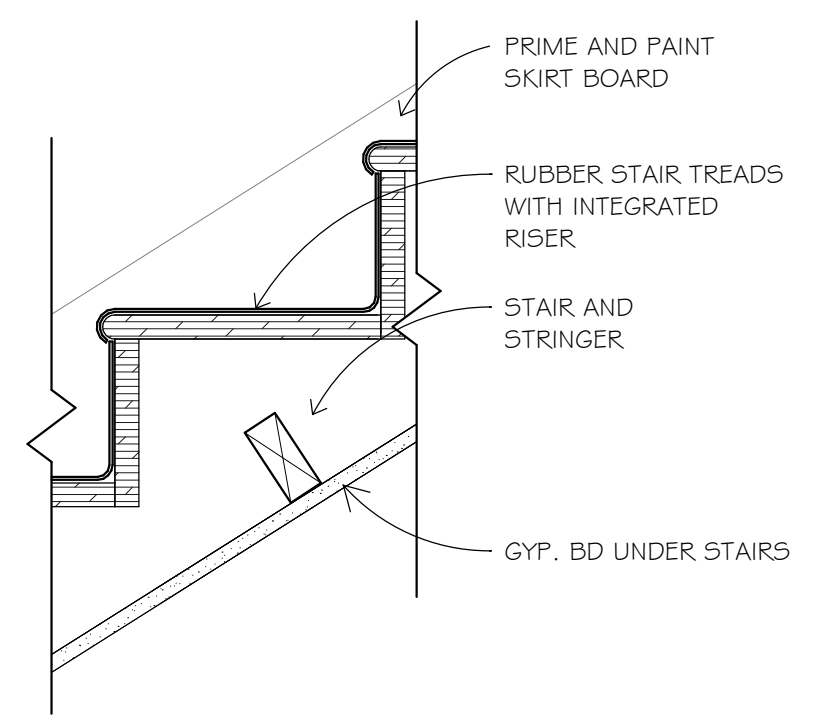
4 DETAIL AT UNIT ENTRY DOOR
6" = 1'-0"



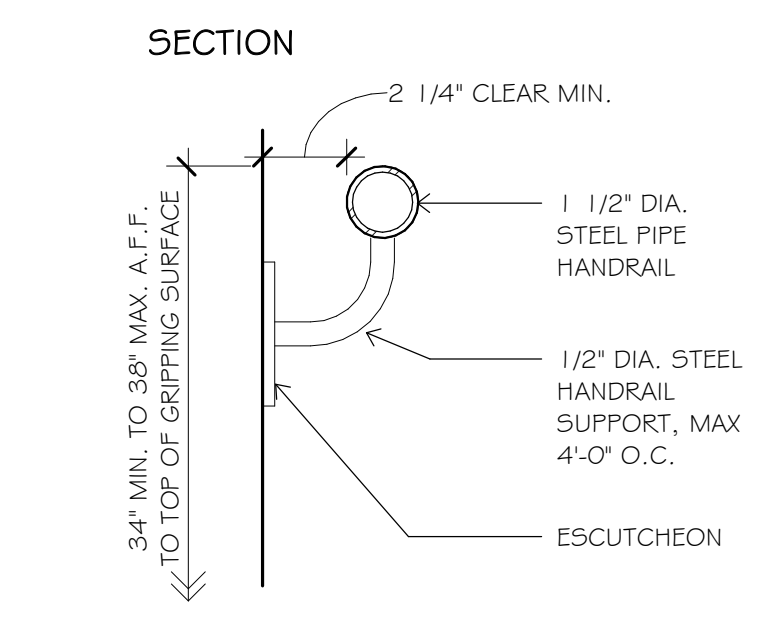
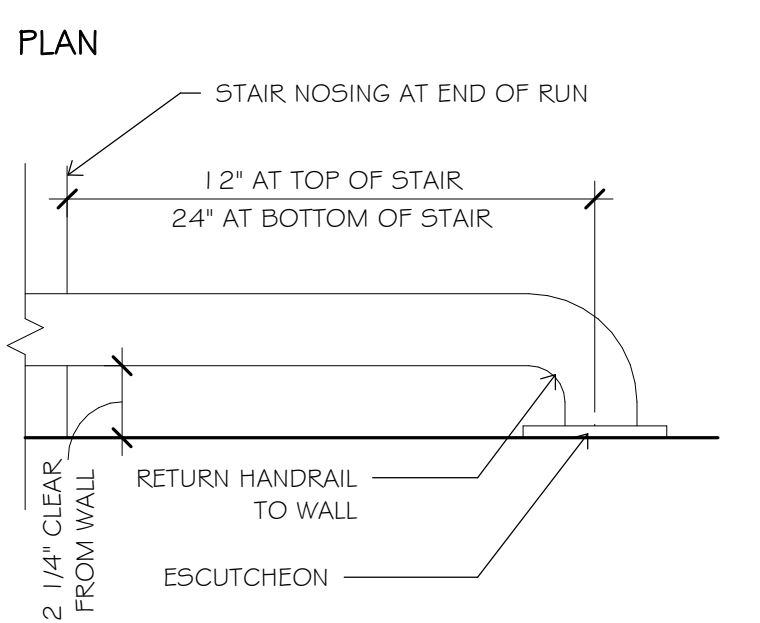
1 CARPET TRANSITION
6" = 1'-0"



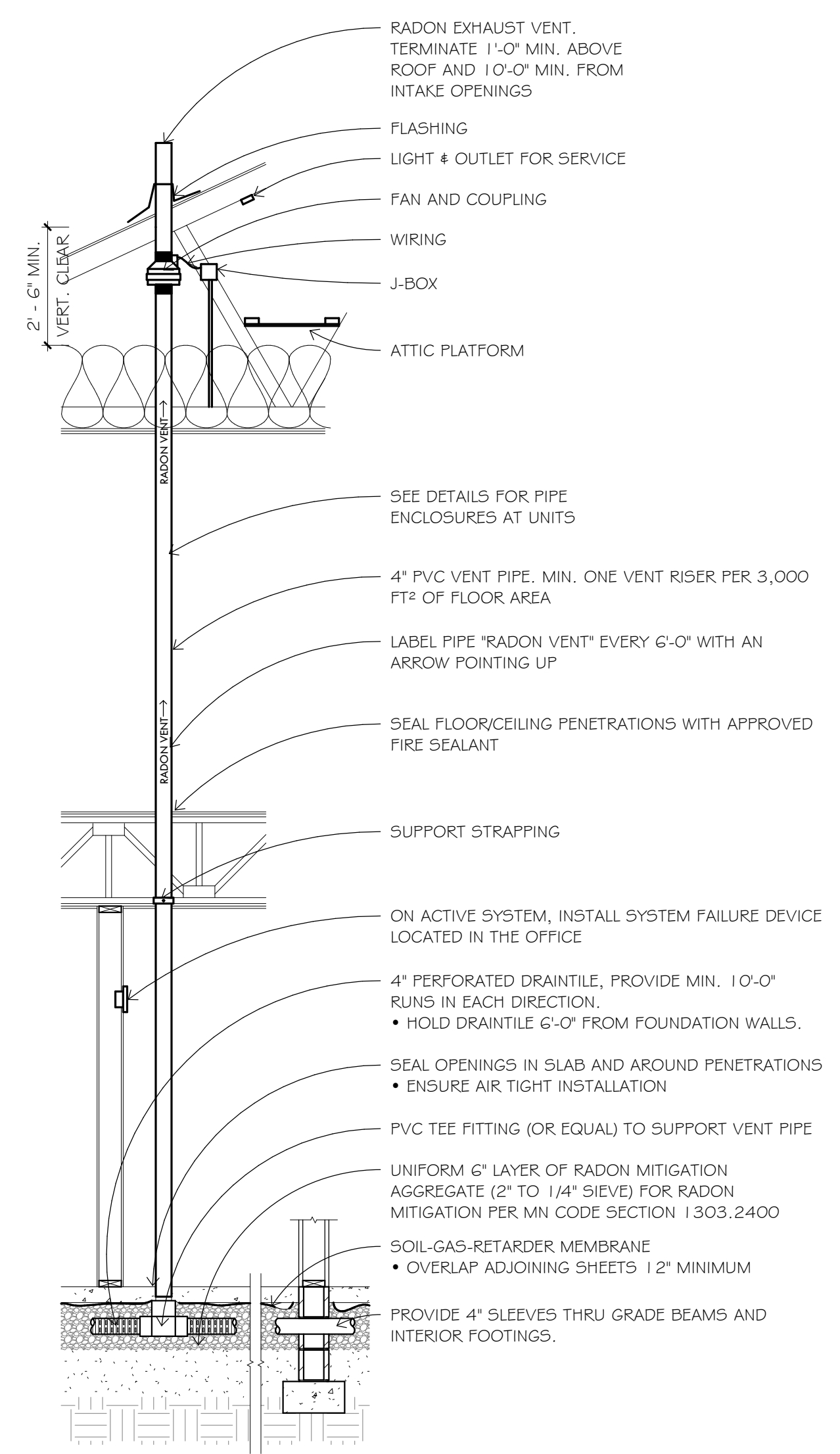
9 DETAIL @ UNIT SIGNAGE
1 1/2" = 1'-0"



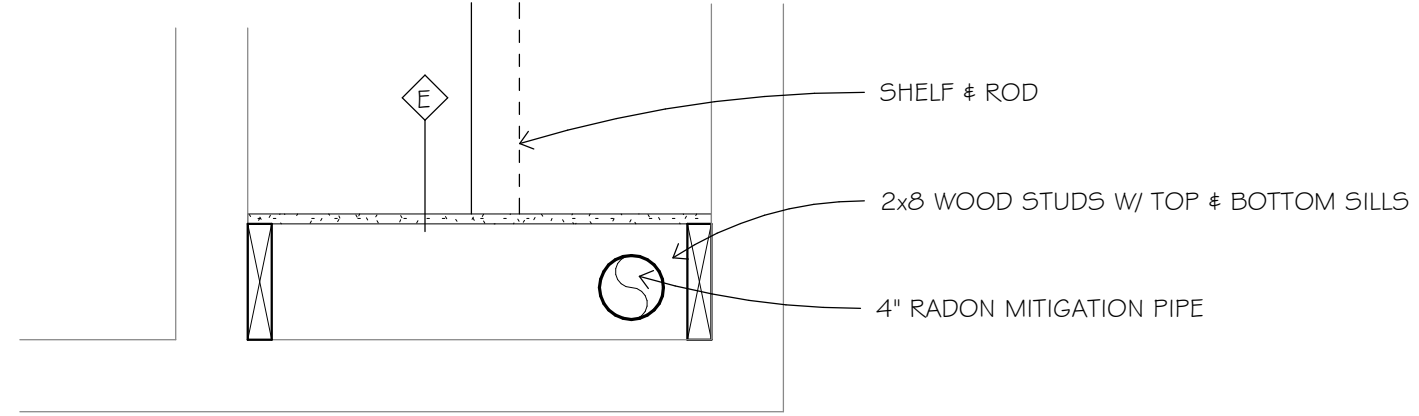
10 DETAIL AT STAIR TREADS
1 1/2" = 1'-0"



11 WALL MOUNTED HANDRAILS
3" = 1'-0"



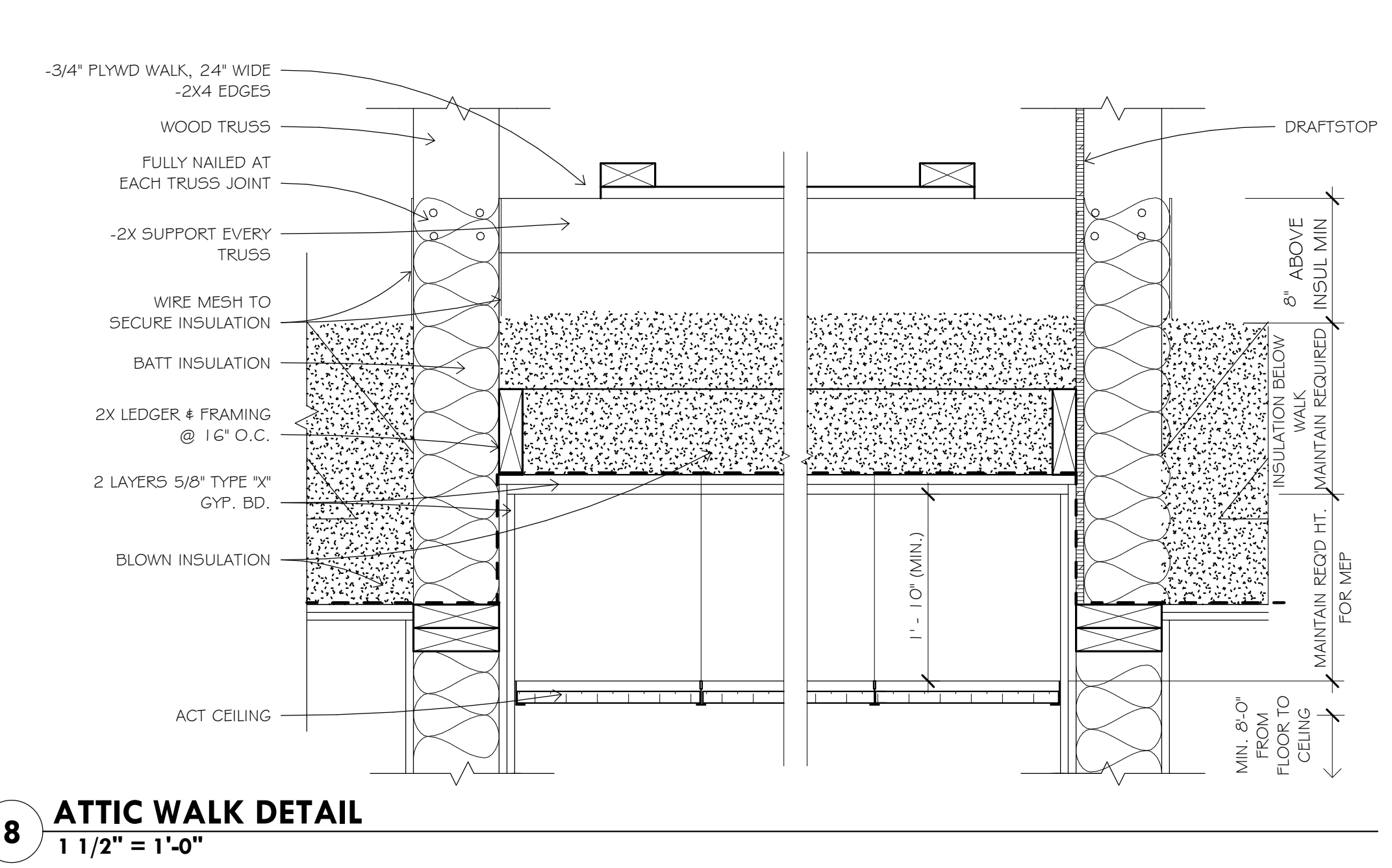
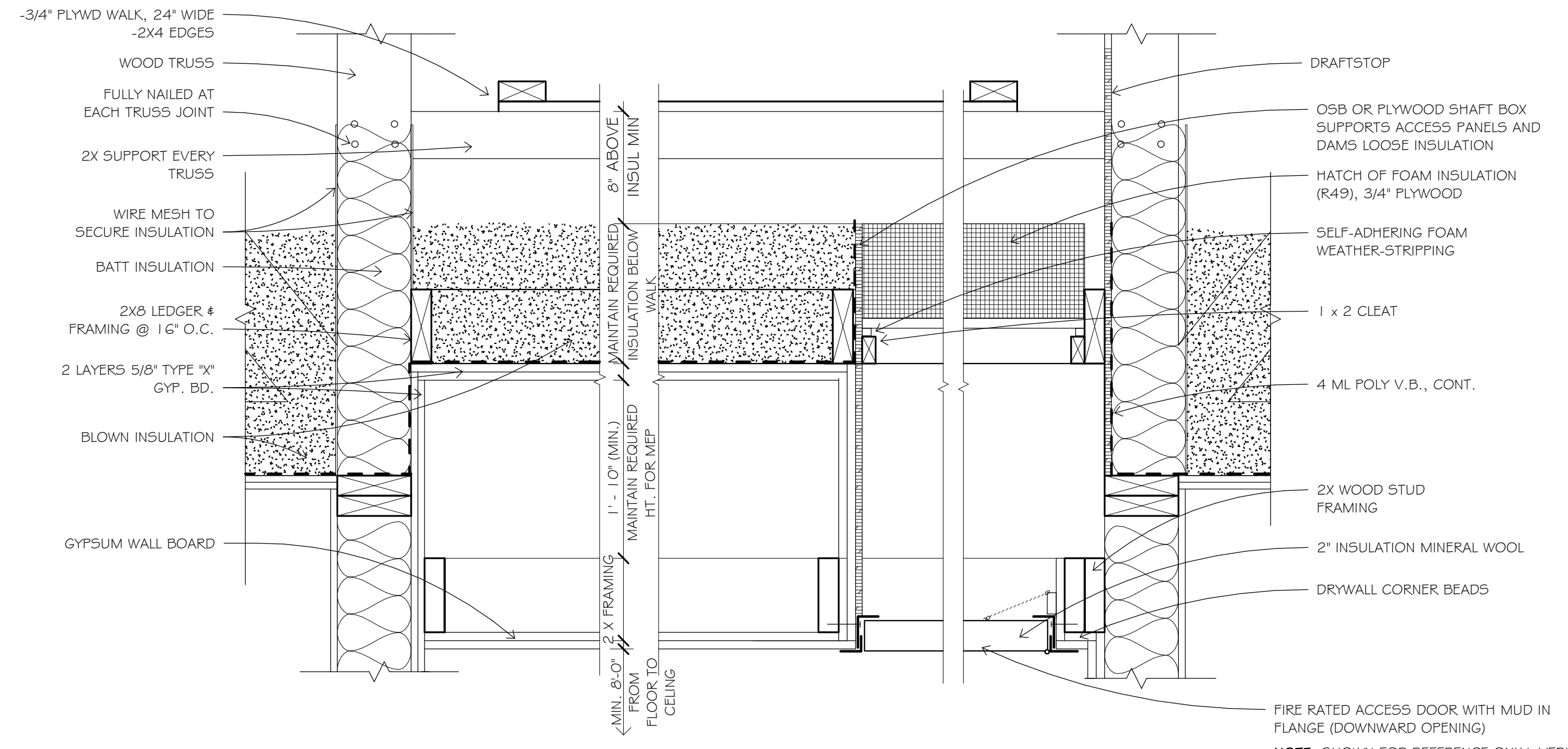
3 RADON - ACTIVE MITIGATION SYSTEM
3/8" = 1'-0"



2 RADON PIPE ENCLOSURE @ UNIT
1" = 1'-0"

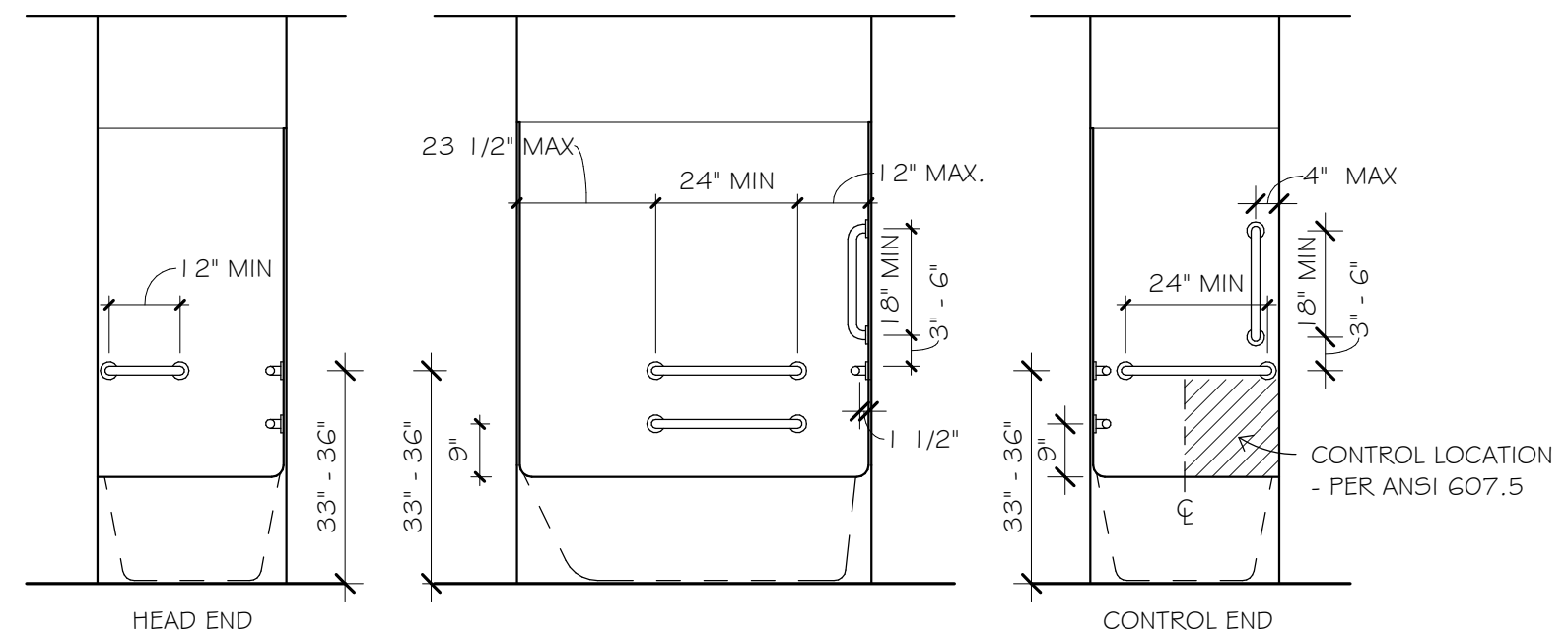
- NOTES:
- INSTALL VENT PIPES SO RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR MEMBRANE
 - CIRCUITS MINIMUM 15 AMP, 115 VOLT BY ELECTRICAL CONTRACTOR
 - INSTALL VENT FAN IN VERTICAL RUN OF VENT PIPE SO AS TO MAINTAIN A LOWER PRESSURE UNDER THE SLAB/MEMBRANE THAN ABOVE.
 - LOCATE POSITIVELY PRESSURED PORTIONS OF THE VENT PIPE AND FAN ON ACTIVE SYSTEM OUTSIDE HABITABLE SPACES.
 - ON ACTIVE SYSTEM: PROVIDE A VISIBLE OR AUDIBLE WARNING SYSTEM TO ALERT MANAGEMENT OF A LOSS OF PRESSURE OR AIR FLOW IN THE VENT PIPE. LOCATE DEVICE IN OFFICE.

TYPICAL NOTES: -
--

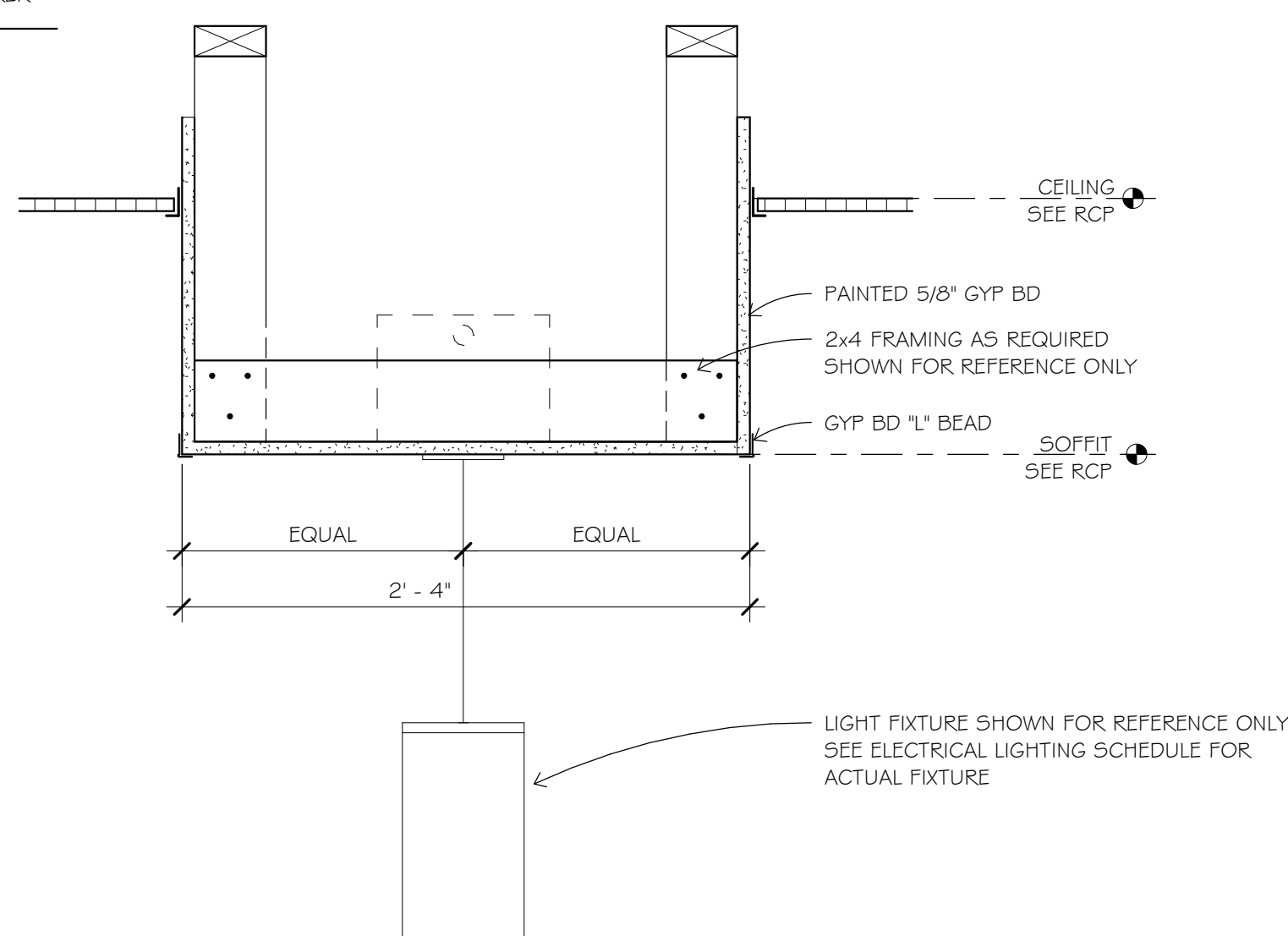


9 ATTIC HATCH DETAIL
 1 1/2" = 1'-0"

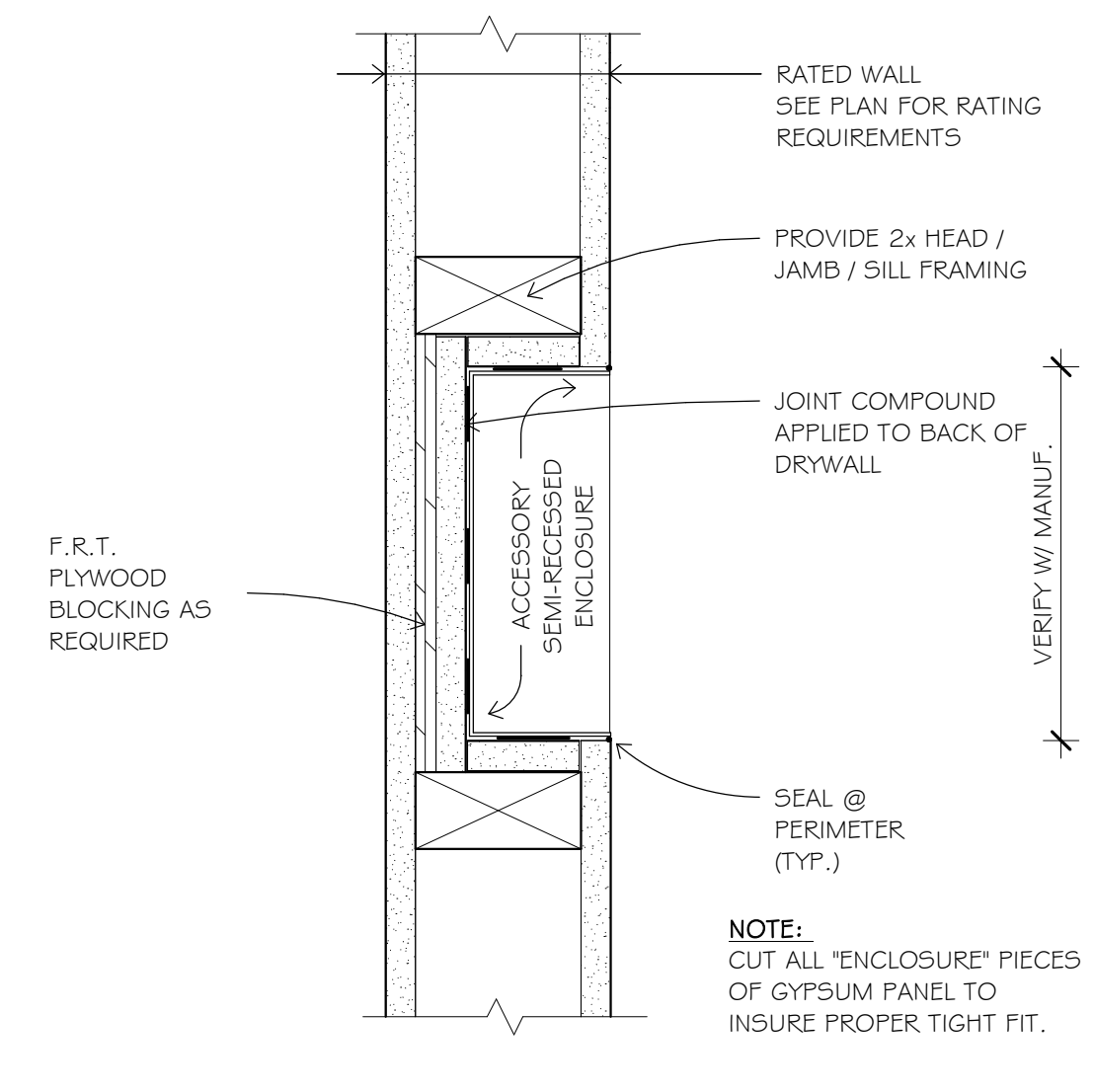
8 ATTIC WALK DETAIL
 1 1/2" = 1'-0"



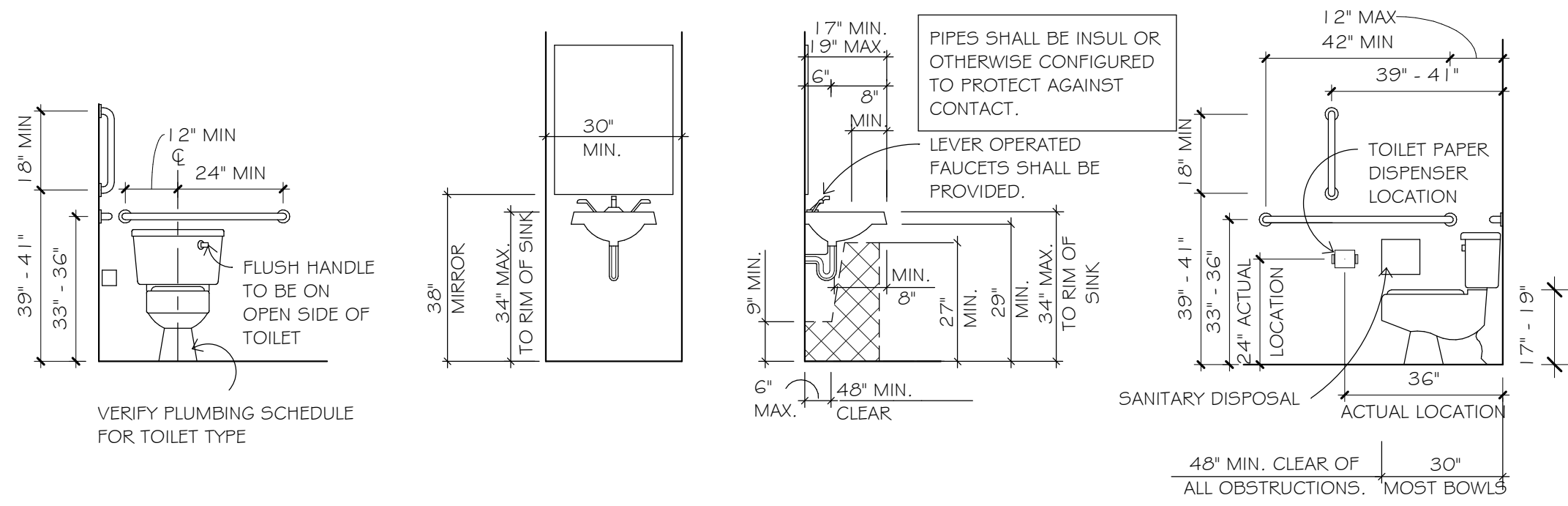
7 ELEVATION @ TUB GRAB BARS
 3/8" = 1'-0"



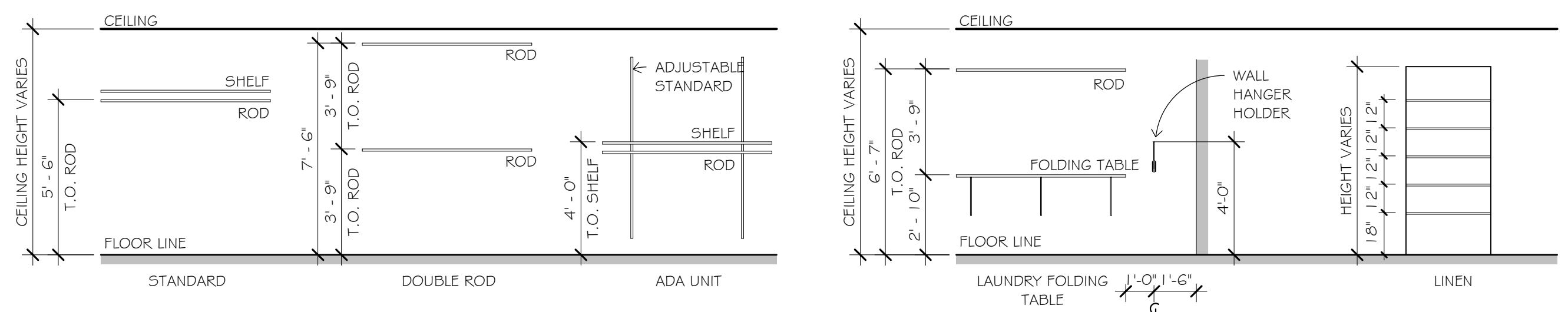
5 SOFFIT DETAIL
 1 1/2" = 1'-0"



4 ACCESSORY ENCLOSURE @ ONE HR FIRE RATED WALL
 3" = 1'-0"

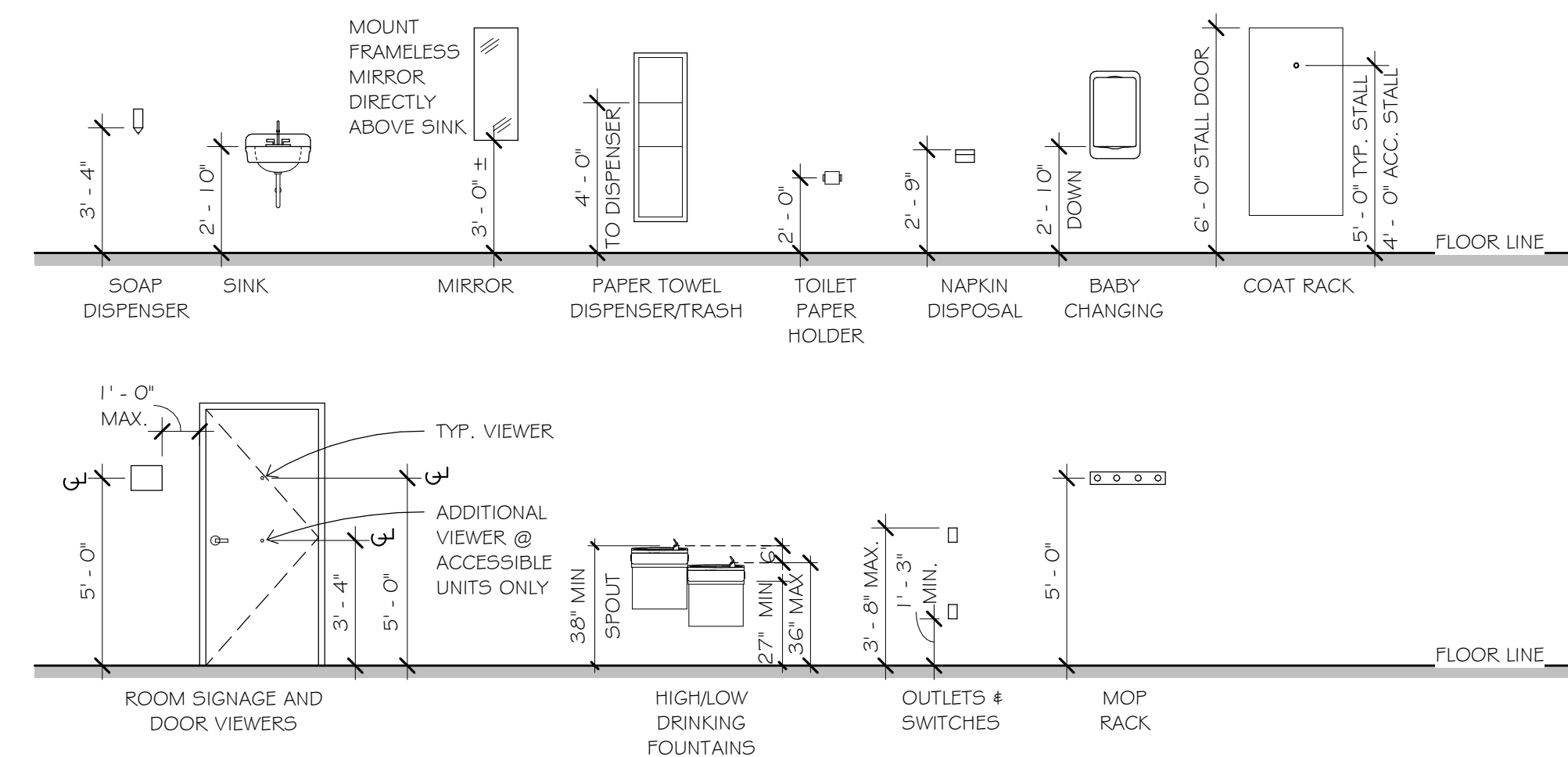


3 ACCESSIBLE FIXTURE ELEVATIONS
 3/8" = 1'-0"

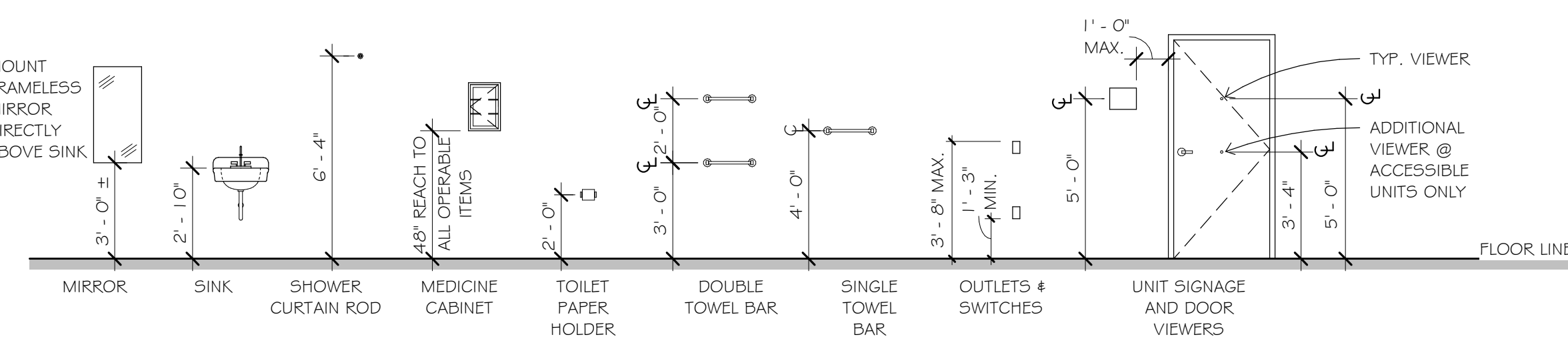


2 TYPICAL MOUNTING HEIGHTS - SHELF AND ROD
 1/4" = 1'-0"

COMMERCIAL MOUNTING HEIGHTS



RESIDENTIAL MOUNTING HEIGHTS



1 TYPICAL MOUNTING HEIGHTS
 1/4" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA. 06/07/19 sign date. JAMES L. MOY 27036 reg. no. 6/30/2020 reg. exp. date.

PROJECT INFO
 Commission No. B/A: 616-18
 Drawn By: HD
 Issue Date: 06/07/19

SUBMITTALS / REVISIONS

02/16/18	MHFA REVIEW - SD
04/20/18	50% CD
06/21/18	90% CD
08/24/18	100% MHFA REVIEW
02/05/19	ISSUED FOR CITY REVIEW
02/21/19	ADDENDUM #2
06/07/19	ISSUED FOR CONSTRUCTION

SCALE
 As indicated

West Birch Apartments
 1103 West Branch Street
 Princeton, MN
 INTERIOR DETAILS

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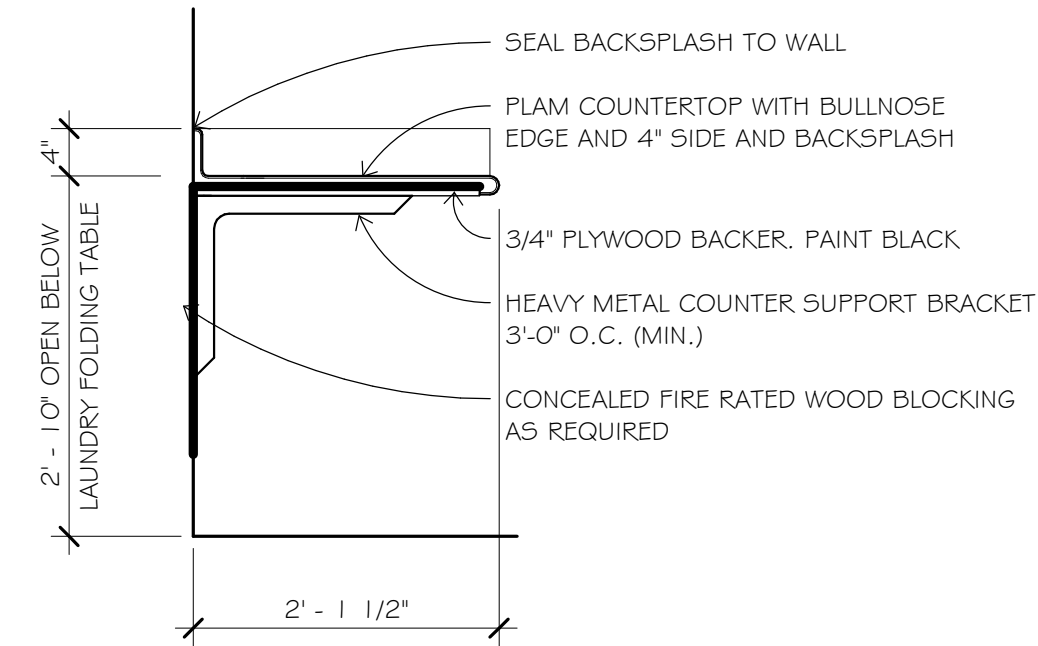
MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

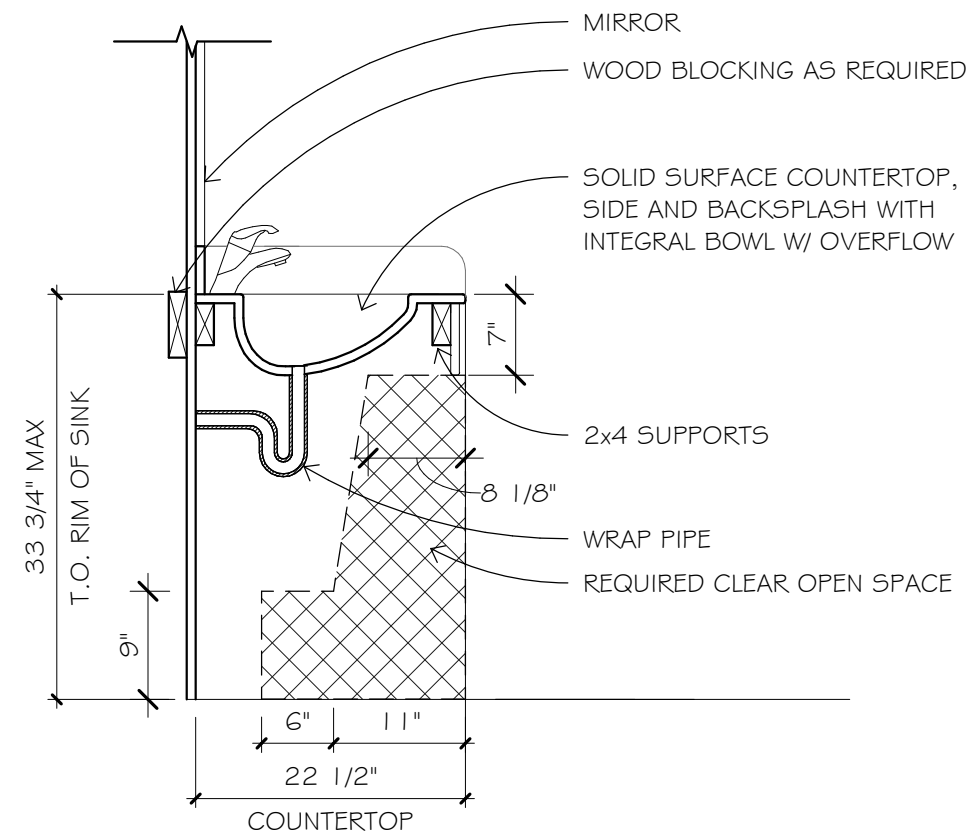
6/30/2020
reg. exp. date

Commission No.
B/A: 616-18
Drawn By:
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06/07/19

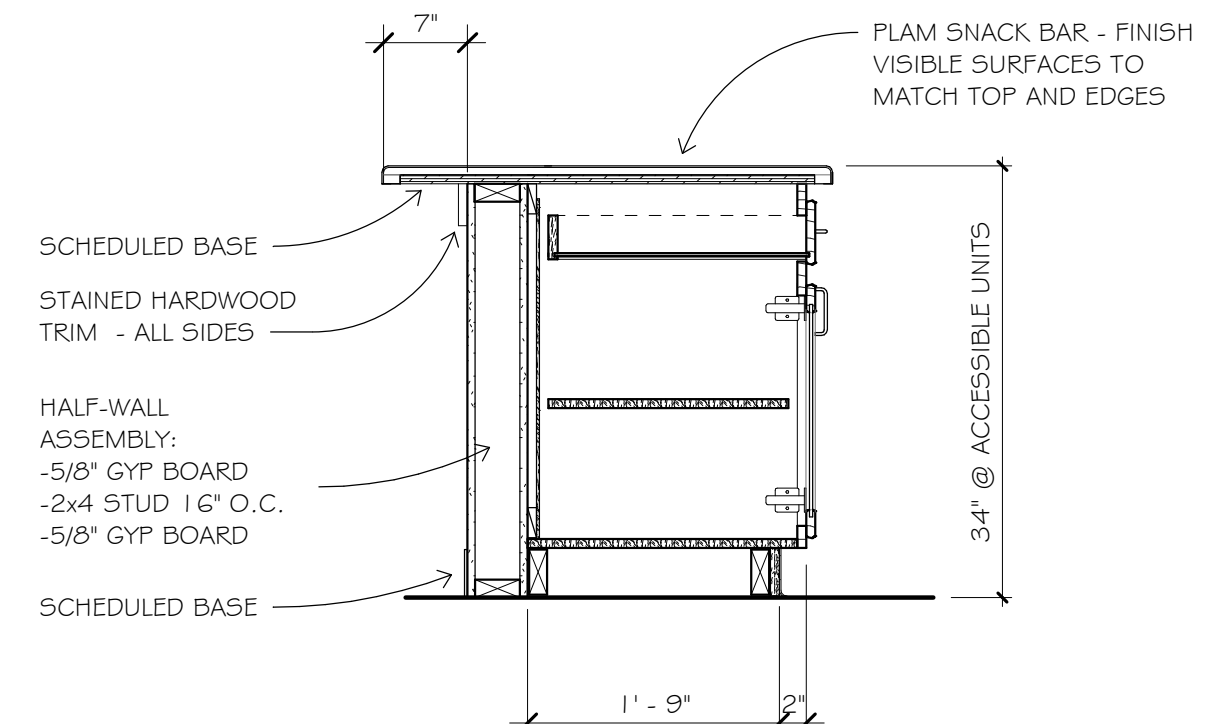
SUBMITTALS / REVISIONS	
06/21/18	90% CD
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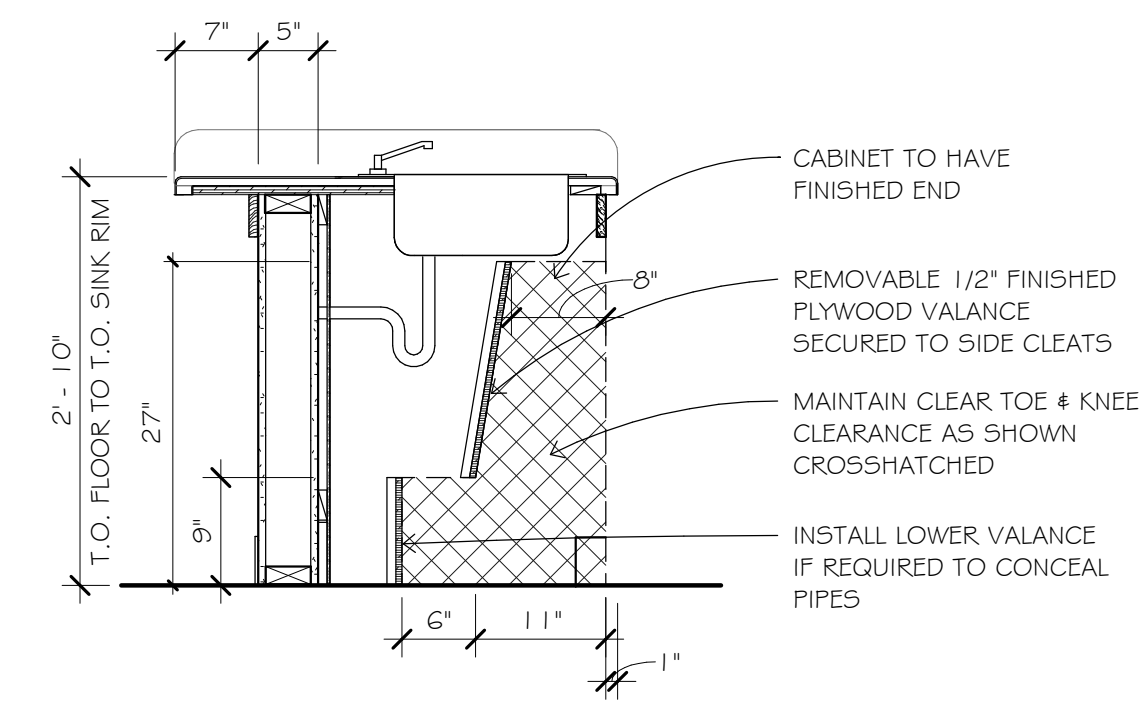
8 LAUNDRY TABLE FOLDING SECTION
3/4" = 1'-0"



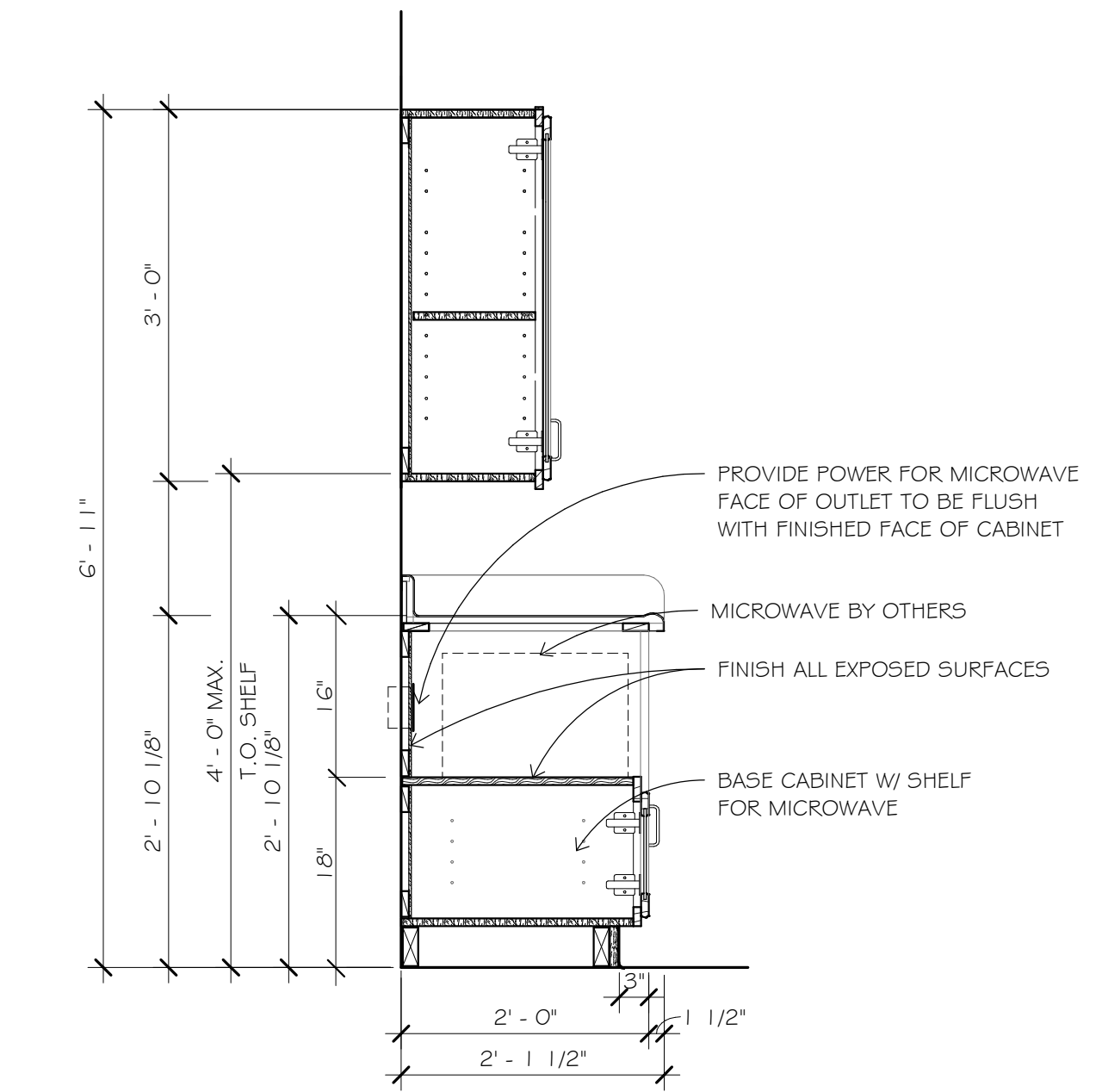
7 ACC. VANITY SECTION
3/4" = 1'-0"



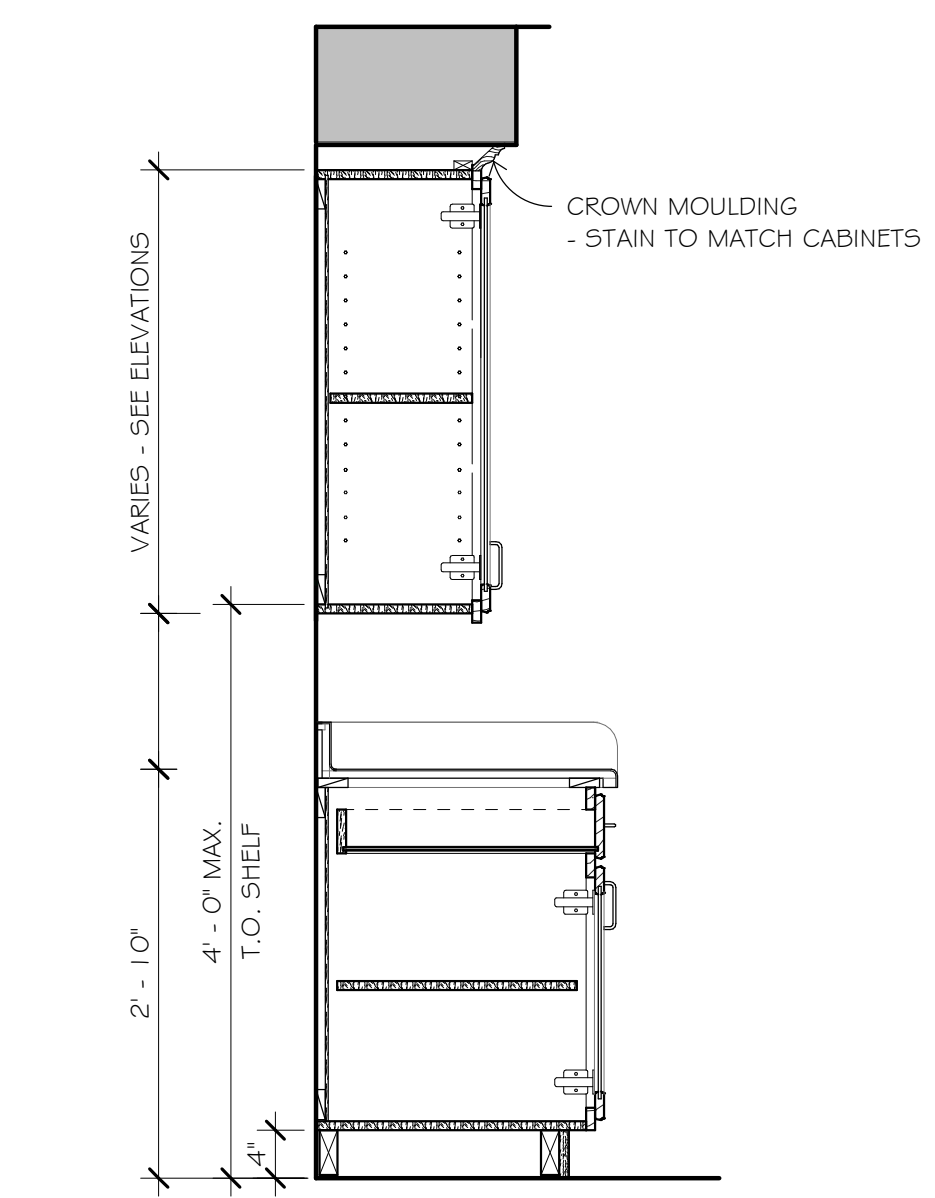
6 ACC. KITCHEN CABINET @ PENINSULA
3/4" = 1'-0"



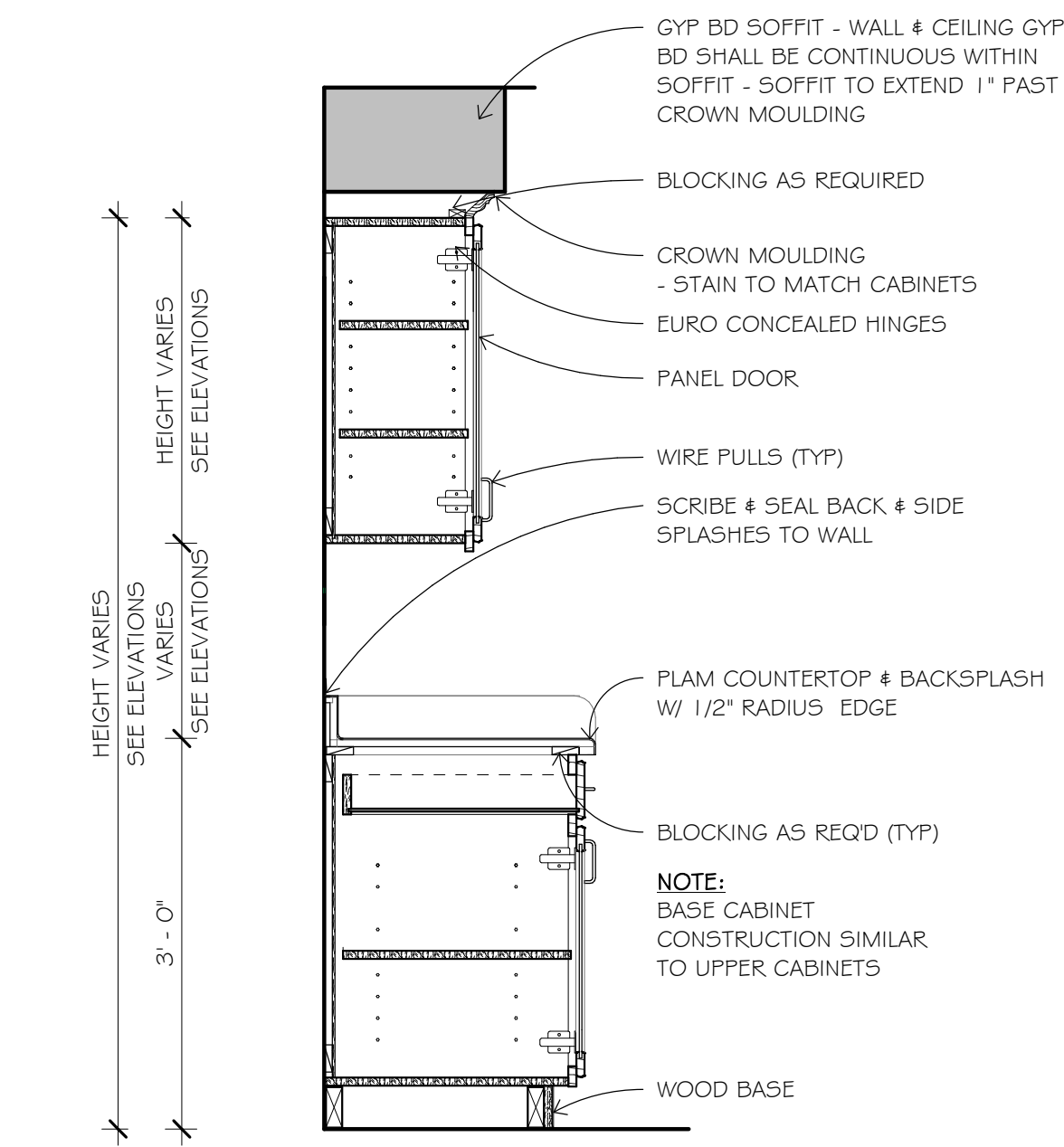
5 ACC. KITCHEN CABINET SECTION - SINK
3/4" = 1'-0"



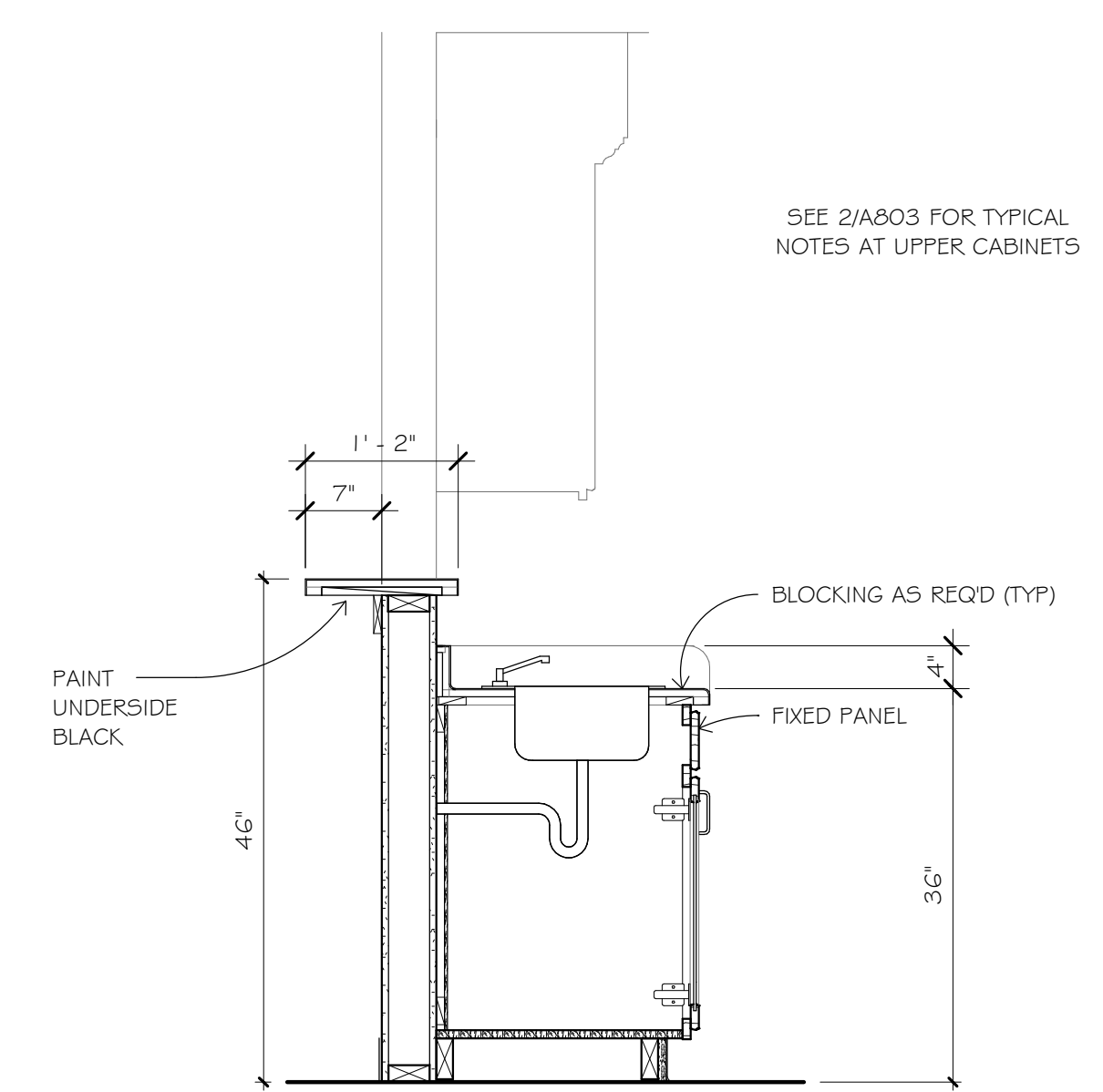
4 ACCESSIBLE CABINET SECTION @ MICROWAVE
3/4" = 1'-0"



3 ACC. KITCHEN CABINET SECTION
3/4" = 1'-0"



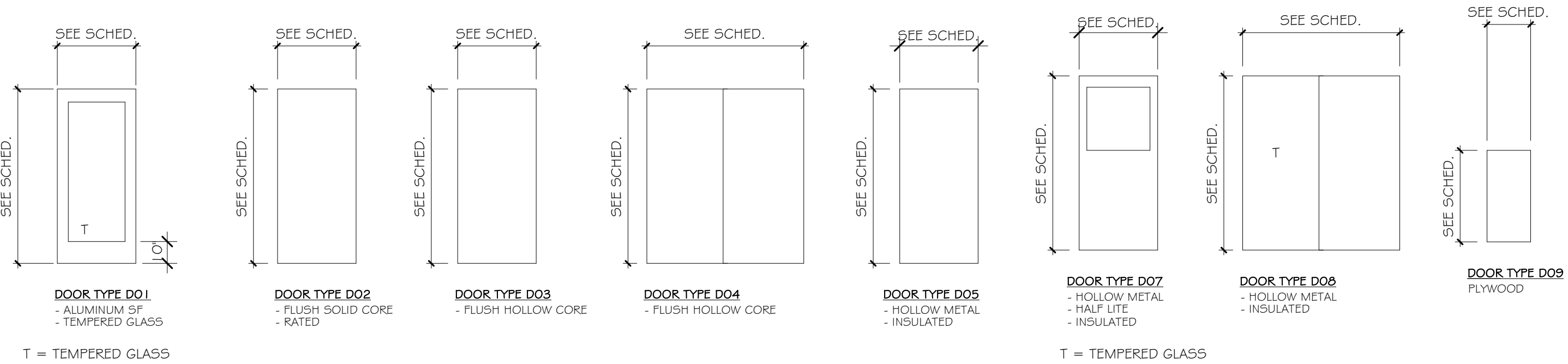
2 TYPICAL KITCHEN CABINET SECTION
3/4" = 1'-0"



1 TYPICAL KITCHEN CABINET SECTION @ SINK
3/4" = 1'-0"

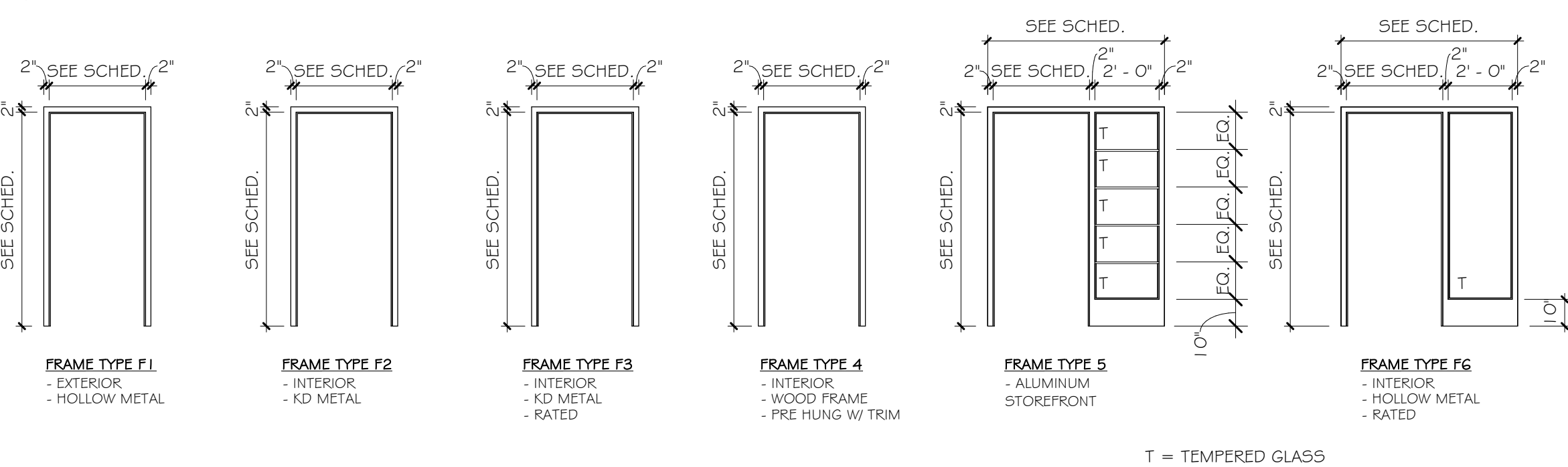
DOOR SCHEDULE - COMMON AREA									
MARK	DESCRIPTION	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE GROUP	STC	COMMENTS
C101A	VESTIBULE	3' - 6"	6' - 8"	1	5		C8		
C101B	VESTIBULE	3' - 6"	6' - 8"	1	5		C5		
C105	OFFICE	3' - 0"	6' - 8"	2	6	20-min	C1		
C105A	OFFICE	2' - 8"	6' - 8"	2	2		C4		
C106	COMMUNITY ROOM	3' - 0"	6' - 8"	2	3	20-min	C1		
C106A	MECHANICAL	2' - 0"	6' - 8"	3	4		C4		
C106B	COMMUNITY ROOM	3' - 0"	6' - 8"	7	1		C9		
C107	PANTRY	2' - 0"	6' - 8"	3	4		C4		
C109	LAUNDRY	3' - 0"	6' - 8"	2	6	20-min	C1		
C110	M. TOILET	3' - 0"	6' - 8"	2	3	20-min	C3		
C111	F. TOILET	3' - 0"	6' - 8"	2	3	20-min	C3		
C112A	UTILITY	3' - 0"	6' - 8"	2	3	20-min	C2		
C112B	UTILITY	6' - 0"	6' - 8"	8	1		C10		
C116A	STAIR 2	3' - 0"	6' - 8"	2	3		C6		
C116B	STAIR 2	3' - 0"	6' - 8"	5	1		C9		
C205	STAIR 2	3' - 0"	6' - 8"	2	3		C6		
C302	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C302A	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C303	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C304	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C305	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C306	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C307	ATTIC WALK	2' - 0"	3' - 6"	9			C11		
C308	ATTIC WALK	2' - 0"	2' - 0"	9			C11		

DOOR SCHEDULE - UNITS									
MARK	DOOR DESCRIPTION	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE GROUP	STC	COMMENTS
A1	UNIT ENTRY	3' - 0"	6' - 8"	2	3	20-min	U1		
B1	BEDROOM	3' - 0"	6' - 8"	3	4		U2		
C1	BATHROOM	3' - 0"	6' - 8"	3	4		U2		
D1	CLOSET	3' - 0"	6' - 8"	3	4		U4		
D2	CLOSET	2' - 6"	6' - 8"	3	4		U4		
D3	CLOSET	2' - 0"	6' - 8"	3	4		U4		
D4	CLOSET	2' - 4"	6' - 8"	3	4		U4		
E1	CLOSET - DBL	4' - 0"	6' - 8"	4	4		U3		
E2	CLOSET - DBL	5' - 0"	6' - 8"	4	4		U3		
E3	CLOSET - DBL	6' - 0"	6' - 8"	4	4		U3		



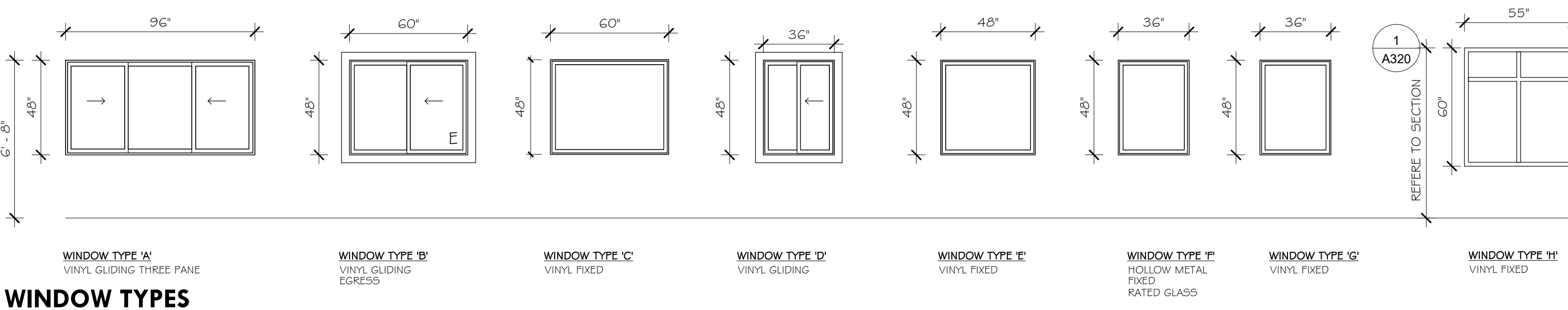
DOOR TYPES

1/4" = 1'-0"



FRAME TYPES

1/4" = 1'-0"



WINDOW TYPES

1/4" = 1'-0"

BUILDING MATRIX
SEE SPECIFICATION SECTION XX XX XX FOR BUILDING MATRIX OR MATRICES

FINISH SCHEDULE
SEE SPECIFICATION SECTION 09 90 05 FOR ALL FINISHES RELATED TO THE PROJECT

DOOR HARDWARE SCHEDULE
SEE SPECIFICATION SECTION 08 71 00 FOR DOOR HARDWARE GROUPS



1600 Marshall Street NE, Suite 1
 Minneapolis, MN 55413
 612/331-2222
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 info@blumentals.com

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SCALE
As indicated

West Birch Apartments

1103 West Branch Street
 Princeton, MN

TYPES & SCHEDULES

A901

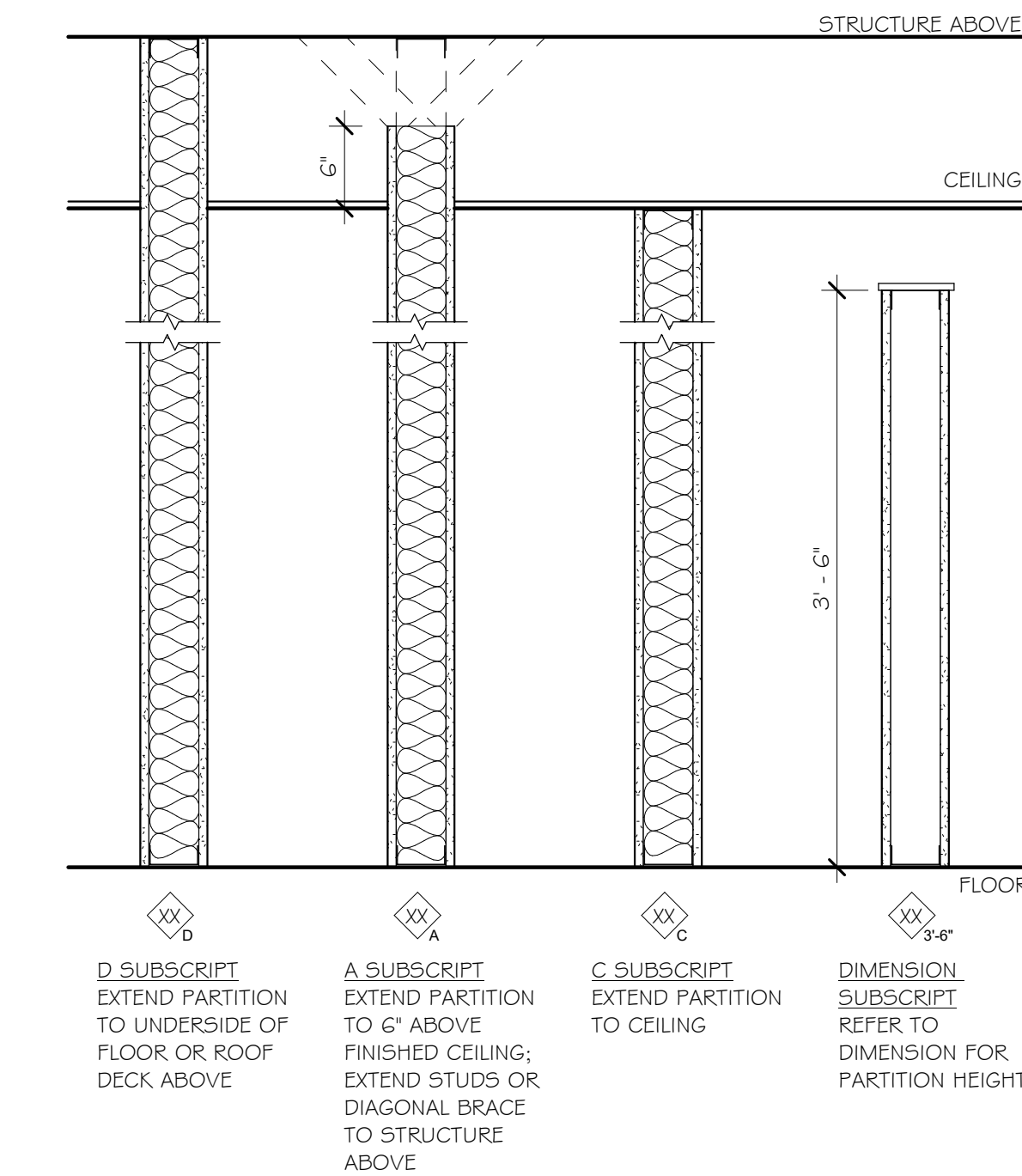
WALL TYPES

WALL TYPE 'A'					WALL TYPE 'B' - WALL FURRING					WALL TYPE 'C'					WALL TYPE 'D'					
SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	
1 ₀	5 1/2"	6 3/4"			1 ₀	5 1/2"	7 3/4"			1 ₀	3 1/2"	5 7/8"	50-54	UL FILE NO. U311 FIRE RATING 1 HR	1 ₀	3 1/2"	4 3/4"			
					2 ₀	7 1/4"	9 1/2"			2 ₀	5 1/2"	7 7/8"	50-54	UL FILE NO. U311 FIRE RATING 1 HR	2 ₀	5 1/2"	6 3/4"			
															3 ₀	7 1/4"	4 7/8"			
WALL TYPE 'E' - WALL FURRING					WALL TYPE 'F'					WALL TYPE 'G'					WALL TYPE 'H'					
SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	
1 ₀	3 1/2"	4 1/8"			1 ₀	3 1/2"	5"			1 ₀	1 1/2"	2 3/4"		GA FILE NO. WP 3640 FIRE RATING 1 HR	1 ₀	5 1/2"	6 3/4"	50-54	GA FILE NO. WP 3380 FIRE RATING 1 HR	
2 ₀	5 1/2"	6 1/8"																		
3 ₀	7 1/4"	9 1/8"																		

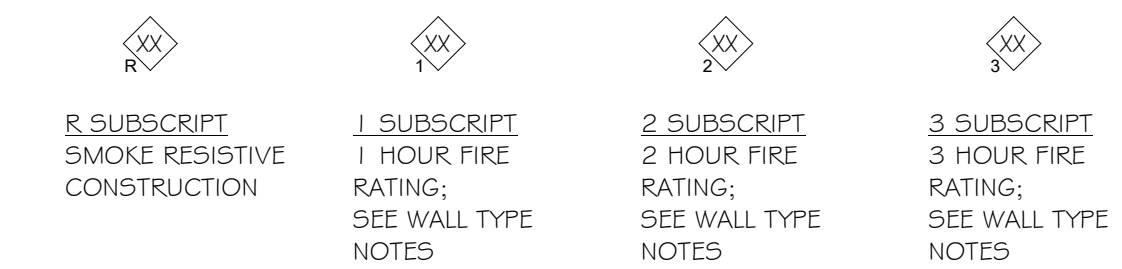
WALL TYPE NOTES

- PARTITION TYPE SHALL BE \diamond_{10} UNLESS NOTED OTHERWISE
- AT ALL WALL TYPES, PROVIDE MOLD RESISTANT PAPER-FACED GYPSUM BOARD AT ALL WET WALL LOCATIONS
- PROVIDE 5/8" TYPE "X" FIRE RATED GYP BD AT ALL FIRE RATED WALLS UNLESS NOTED OTHERWISE
- PROVIDE ABUSE-RESISTANT GYP BD TO 4' 0" A.F.F. AT COMMON AREAS AND HALLWAYS UNLESS NOTED OTHERWISE
- PROVIDE FIRE SEALING AT ALL OPENINGS & PENETRATIONS THAT ARE FIRE RATED WALLS TO MEET THE REQUIRED FIRE RATINGS
- DIMENSIONS TO FINISH FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE
- PROVIDE SOLID BLOCKING WITHIN PARTITIONS AT ALL WALL HUNG OR SUPPORTED EQUIPMENT
- ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO FLOOR OR ROOF DECK; ALL JOINTS AND PENETRATIONS SHALL BE FILLED AND SEALED TO MAINTAIN THE ACOUSTIC RATING
- SEE STRUCTURAL FOR ADDITIONAL REQUIREMENTS.

WALL TERMINATION TYPES



WALL FIRE RATING TYPES



WALL ACOUSTICAL TYPES



Blumentals Architecture

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SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD
Issue Date
06/07/19

△ SUBMITTALS / REVISIONS

06/21/18 90% CD
08/24/18 100% MHFA REVIEW
02/05/19 ISSUED FOR CITY REVIEW
02/21/19 ADDENDUM #2
1 06/07/19 ISSUED FOR CONSTRUCTION

SCALE
1" = 1'-0"

West Birch Apartments

1103 West Branch Street
Princeton, MN

WALL TYPES

A902