

WEST BIRCH TOWNHOME RENOVATION

504 13TH AVE. N.
PRINCETON, MINNESOTA 55371



1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
612/331-2224 FAX
info@blumentals.com

TITLE SHEET	DATE	ISSUE
T	TITLE	06/07/19

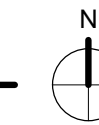
ARCHITECTURAL

A101	SITE PLAN	06/07/19	06/07/19
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VICINITY MAP

504 13TH AVE. N.
PRINCETON, MN 55371



PROJECT DIRECTORY

OWNER

WEST BIRCH ESTATES OF PRINCETON LP
c/o CENTRAL MINNESOTA HOUSING PARTNERSHIP
37 28TH AVENUE NORTH, SUITE 102
ST. CLOUD, MN 56308

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SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA 06/07/19
sign date
JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD, SW
Issue Date
06/07/19

SUBMITTALS / REVISIONS

1	8/17/18	90% CD
2	10/03/18	100% MHFA Review
3	06/07/19	Addendum 03
4	06/07/19	ISSUED FOR CONSTRUCTION

SCALE
1/2" = 1'-0"

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TITLE

BUILDING/UNIT TABULATION

UNIT TYPE	A	B	C	D	TOTAL UNITS/BLDG.
# OF BEDROOMS	2	2	3	2	
# OF BATHROOMS	1	2	2	1	
H/V IMPAIRED	X*				
#1201, 1203, 1205, 1207, 1209, 1211	1	2	2	1	6
#602, 604, 606, 608, 610, 612	1	2	2	1	6
#1502, 1504, 1506, 1508, 1510, 1512	1	2	2	1	6
#1204, 1206, 1208, 1210, 1212, 1214	1	2	2	1	6
BUILDING/UNIT TOTALS	4	8	8	4	24
UNIT SF (GROSS)	1,073	1,123	1271	940	6,801
TOTAL UNIT SF (GROSS)	4,292	8,984	10,168	3,760	27,204

* LOCATION NOTED ON SITE PLAN (1)

UNIT TABULATION AND BUILDING AREA INFORMATION IS PROVIDED FOR FUNDERS AND NOT INTENDED FOR BIDDING PURPOSES. BIDDERS SHALL OBTAIN AREAS AND QUANTITIES THROUGH A COMPLETE REVIEW OF PROJECT DOCUMENTS INCLUDING DRAWINGS, SPECIFICATIONS, AND OTHER REFERENCED DOCUMENTS, AND A SITE VERIFICATION AS WARRANTED.



REFERENCE VIEW

T



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SCALE
As indicated

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SITE PLAN

A101

SITE KEYNOTES

101	PARKING LOT - FULL MILL AND OVERLAY, NEW BASE, 2 LIFTS OF BITUMINOUS, PARKING STRIPING ACCORDING TO PLAN.
103	NEW CONCRETE WALKS.
107	NEW SIGNAGE ON EXIST. POSTS
108	NEW STORAGE SHED.
111	REMOVE SITE POLE HEADS AND REPLACE WITH NEW LED POLE HEAD.
113	RELOCATE/REINSTALL EXISTING ACCESSIBLE PARKING SIGNAGE
115	OPEN CURB AT CORNER AS NEEDED TO DRAIN - COORDINATE ALL SLOPE AND PARKING LOT DRAINAGE REQUIREMENTS.
116	EXISTING PLAYGROUND TO REMAIN.
117	REPLACE CONCRETE WALKS AND GARAGE APRONS INDICATED BY HATCH (TYP.)
118	EXISTING CURB LOCATIONS FOR DEMOLITION, SHOWN DASHED.

ACCESSIBLE PATH NOTES:

- THE ACCESSIBLE PATH IS INDICATED ON THIS PLAN AS A BOLD DASHED LINE WITHIN THE SITE. IT CONNECTS TO WEST BIRCH APARTMENTS, AND THE PUBLIC STREETS.
- ALL NEW SIDEWALKS TO MEET MHFA REQUIREMENTS.
- THE PLAYGROUND IS AN ACCESSIBLE ELEMENT AND MUST BE CONNECTED TO THE ACCESSIBLE ROUTE.
- THE RUNNING SLOPE OF THE ACCESSIBLE ROUTE IS 5% MAXIMUM, THE CROSS SLOPE IS 2% MAXIMUM. AT ALL WALKWAY LANDINGS AND ACCESSIBLE PARKING AREAS PROVIDE A 2% MAXIMUM SLOPE IN ANY DIRECTION.

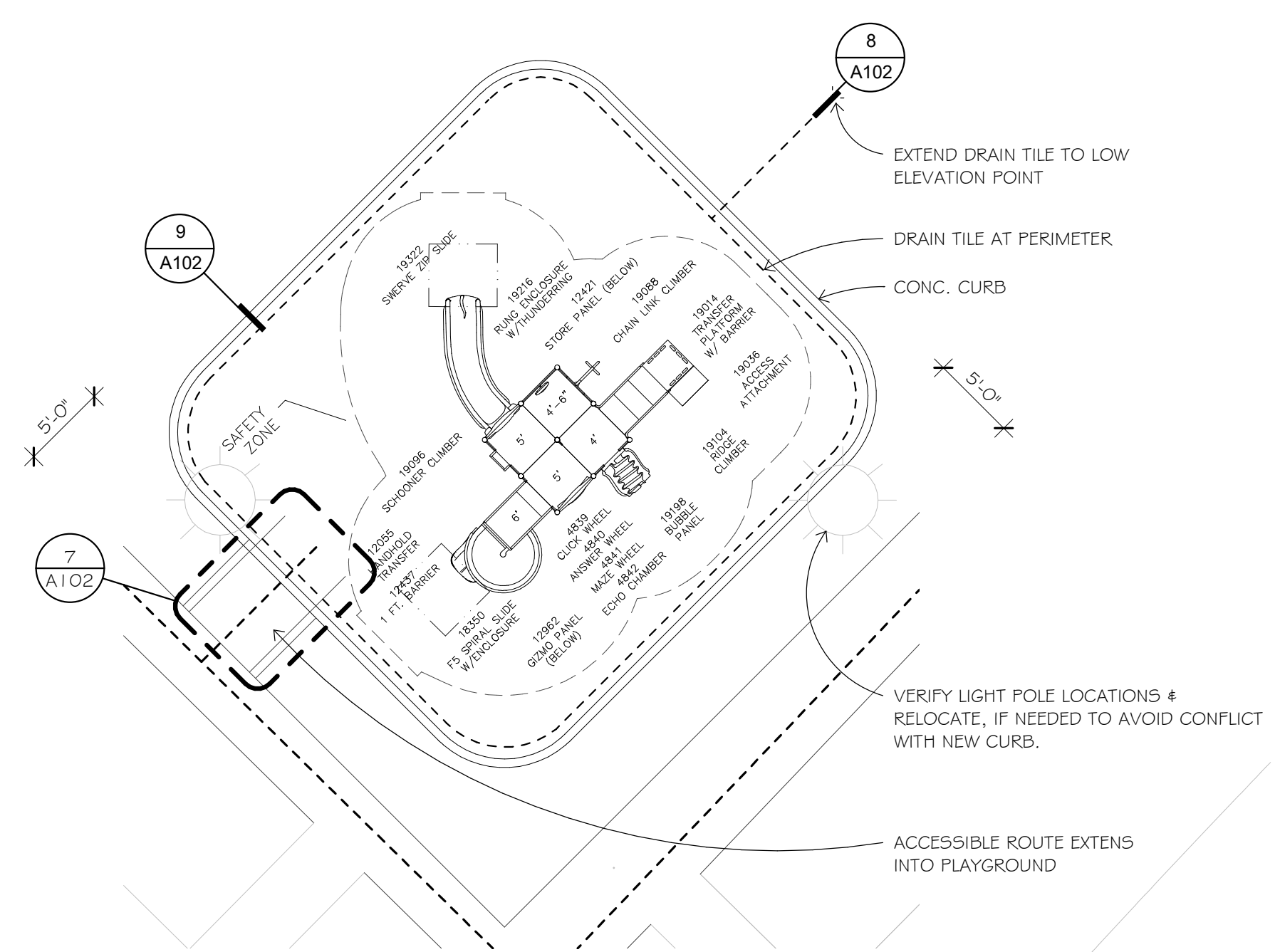
PARKING TABULATION

PARKING REQUIREMENTS

2 STALLS/UNIT = 48 STALLS
STANDARD STALL WIDTH = 9'
STANDARD STALL LENGTH = 18'

REQUIRED MINIMUM # OF ACCESSIBLE STALLS = 2
PROVIDED ACCESSIBLE STALLS = 2

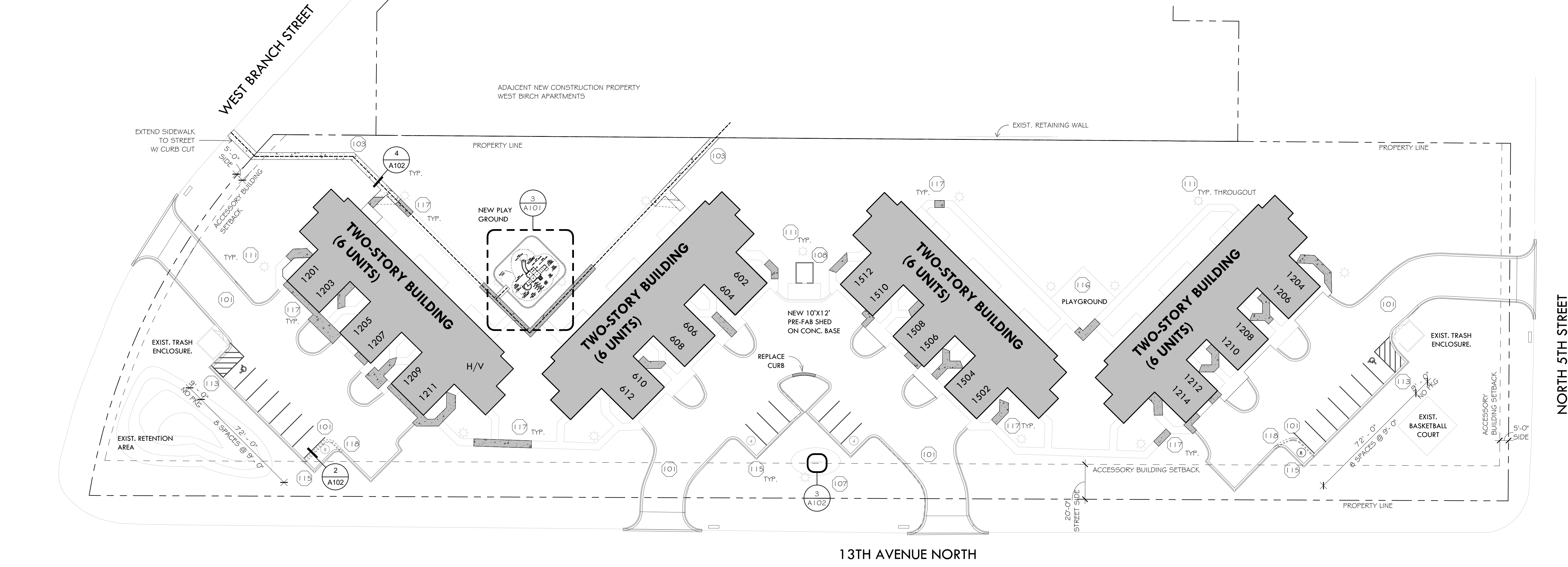
STALL LOCATION	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL STALLS
PARKING GARAGE	24	0	24
SURFACE PARKING	22	2	24
TOTAL STALLS	46	2	48



3 SITE PLAN - NEW PLAYGROUND ENLARGED PLAN
1/8" = 1'-0"

GRAPHIC LEGEND - SITE PLAN

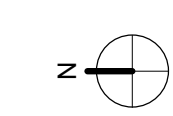
- ACCESSIBLE ROUTE - SEE NOTES
- ☉ LIGHT POLE - SEE KEYNOTE (111)
- ▨ NEW CONCRETE
- ▩ REPLACE CONCRETE ON ACCESSIBLE PATH, REFER TO ACCESSIBLE PATH NOTES
- ▧ CONCRETE TO BE REPLACED
- CC EXISTING CURB CUT



THIS SHEET WAS DEVELOPED FROM THE PLAN PROVIDED BY THE OWNER
DRAWN BY: KLD
DATED: 4/20/2018

ENTIRE SHEET WAS UPDATED FOR ADDENDUM #3

1 SITE PLAN
1" = 30'-0"



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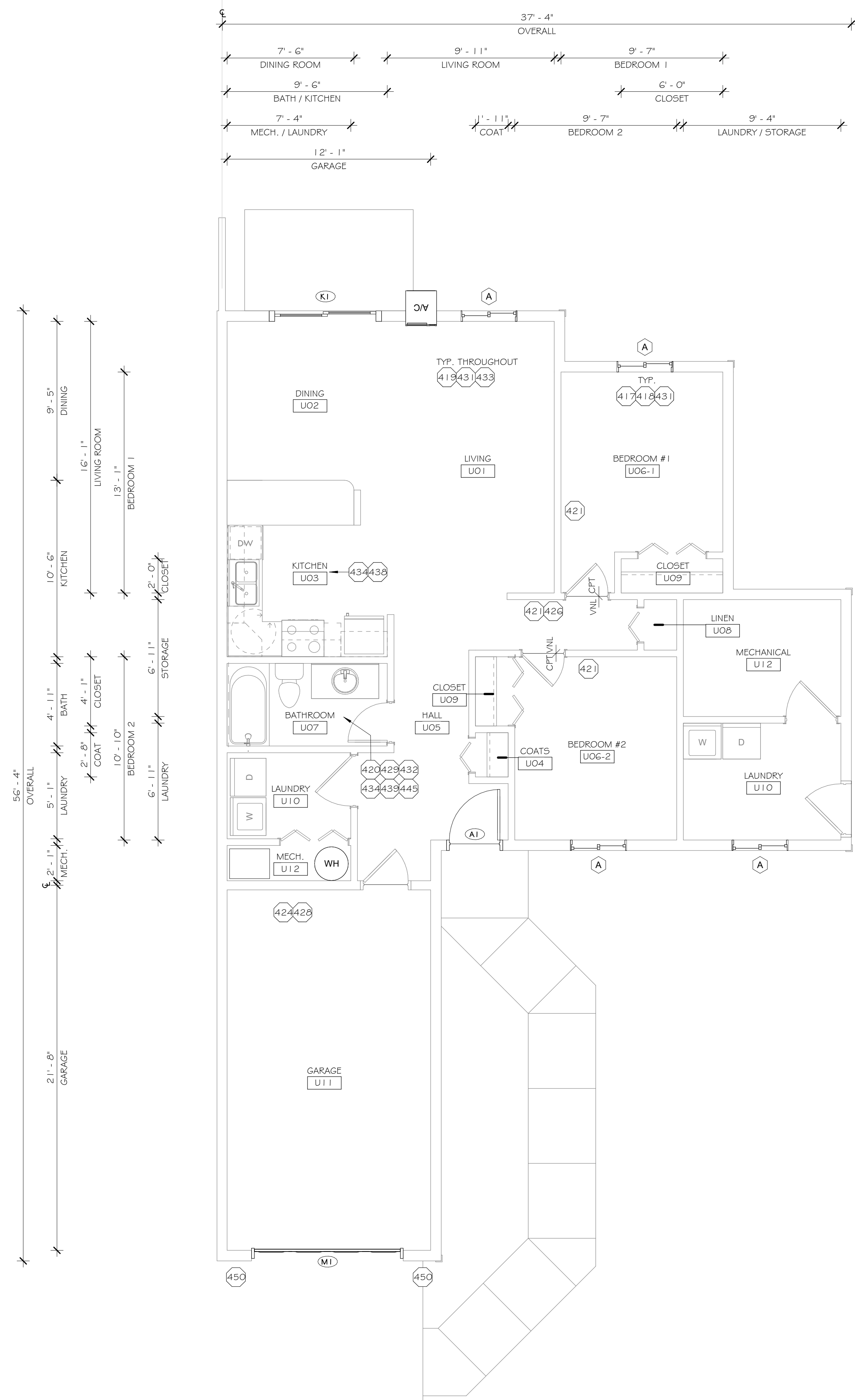
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SCALE
1/4" = 1'-0"

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UNIT PLANS - TYPE 'A'



UNIT KEYNOTES	
417	NEW VERTICAL BLINDS.
418	NEW WINDOWS - REMOVE EXISTING AND INSTALL NEW WINDOW, FRAME, SILL, AND HARDWARE.
419	REPAIR GYPSUM BOARD WALLS AND CEILINGS AS REQUIRED WITH OCCUPANCY SENSOR.
420	NEW BATHROOM EXHAUST FAN WITH HUMIDISTAT; SINGLE SWITCH.
421	REMOVE EXISTING SMOKE/CO DETECTORS AND REPLACE WITH NEW.
424	REMOVE EXISTING FURNACE AND REPLACE WITH NEW FURNACE . NOTE THAT THREE (3) EXISTING FURNACES WILL BE SALVAGED FOR OWNER'S USE ON ANOTHER SITE.
426	NEW THERMOSTAT(S)
428	REMOVE EXISTING WATER HEATER AND REPLACE WITH NEW WATER HEATER. NOTE THAT FOUR (4) EXISTING WATER HEATERS (MOST RECENTLY REPLACED) WILL BE SALVAGED FOR OWNER'S USE ON ANOTHER SITE.
429	EXISTING TUB AND SHOWER SURROUND TO REMAIN. PATCH ANY DEFECTS AND REFINISH BOTH.
431	NEW WOOD CASING AT NEW DOORS AND WINDOWS - MATCH EXIST. PROFILE.
432	NEW SHUT OFF VALVES AT ALL PLUMBING FIXTURES.
433	ADD UNIT SHUT OFF VALVE IF NOT EXISTING CURRENTLY.
434	PATCH AND PAINT KITCHEN AND BATHROOM WALLS AND CEILINGS AS REQUIRED
436	EXIST. KITCHEN CABINETS TO REMAIN. SEE CABINET NOTES BELOW FOR REQUIRED MODIFICATIONS.
439	EXIST. BATHROOM CABINETS TO REMAIN. SEE CABINET NOTES BELOW FOR REQUIRED MODIFICATIONS.
445	REPLACE WATER CLOSET 'INNARDS' AND SUPPLY AND SHUT-OFF VALVES.
450	REPLACE BOTTOM DOOR PANEL AT TWELVE (12) O.H. DOORS. PROVIDE NEW CELLULAR PVC BRICK MOLD AT ALL O.H. DOORS.
460	REPLACE EXISTING LAUNDRY ENTRY DOOR

CABINET NOTES:
ALL EXISTING WALL & BASE CABINET BOXES TO REMAIN, WITH MODIFICATIONS AS NOTED BELOW.

1- DRAWERS: REUSE EXISTING DRAWER BOXES AND INSTALL NEW DRAWER GUIDES. REPLACE ALL DRAWER FRONTS (MATCH EXISTING DETAILS), CONCEAL SCREWS. PROVIDE A ROUTERED FINGER PULL ALONG BOTTOM EDGE OF DRAWER FRONT.

2- CABINET DOORS: REPLACE ALL CABINET DOORS AND HINGES (MATCH EXISTING DETAILS). IN LIEU OF HARDWARE PULLS, PROVIDE A ROUTERED FINGER PULL ALONG BOTTOM EDGE OF WALL CABINET DOORS AND ALONG THE TOP EDGE OF BASE CABINET DOORS.

3- ALL HARDWOOD SPECIES & HARDWARE FINISHES TO MATCH EXISTING.

NOTE:
-DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK.

1 UNIT TYPE 'A' - FIRST FLOOR PLAN
1/4" = 1'-0" (UNIT TYPE A 1211 HEARING & VISUAL - SIMILAR)



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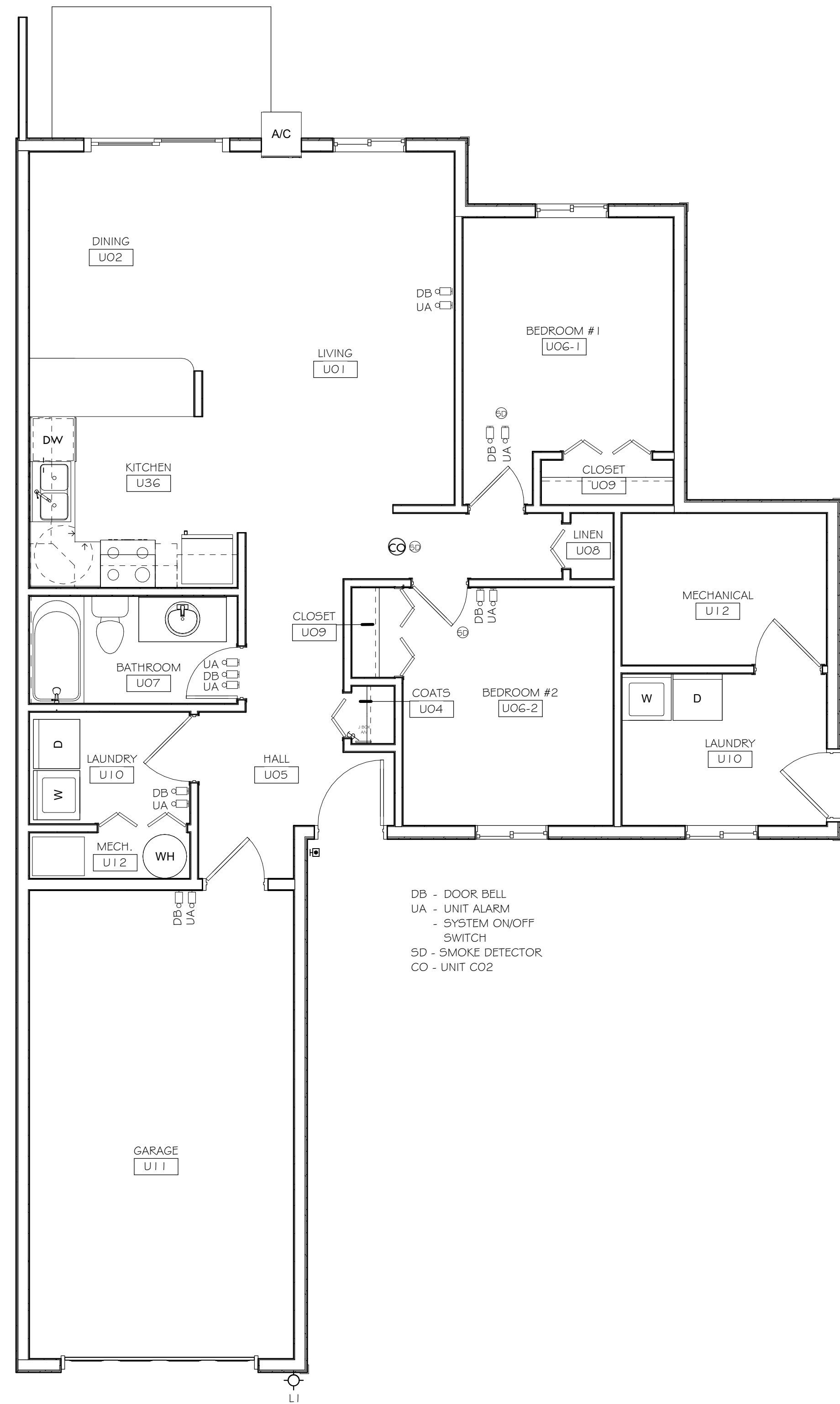
SCALE
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WEST BIRCH TOWNHOME
RENOVATION

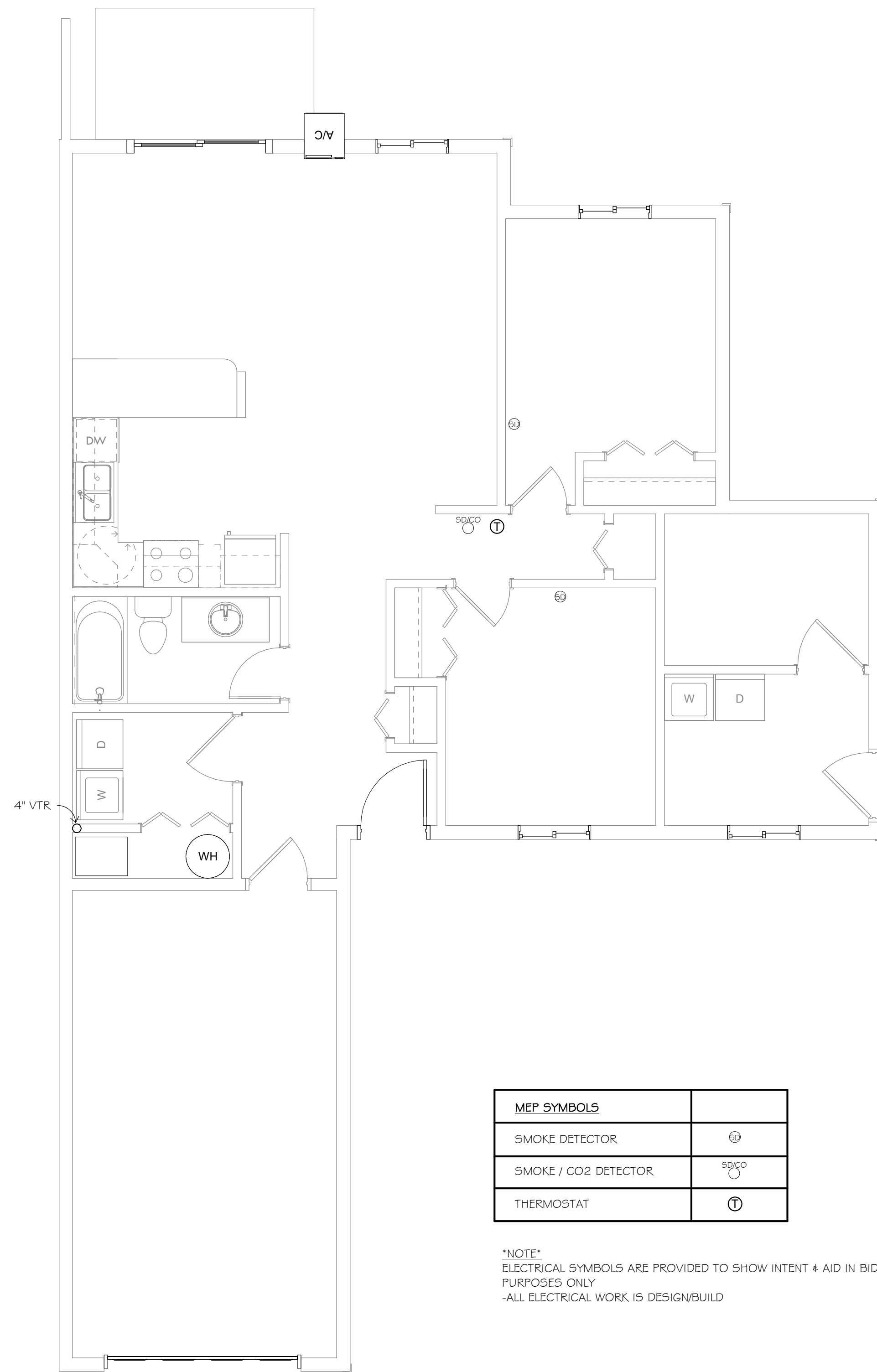
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SUPPLEMENTAL PLANS - TYPE
'A'

A302



DB - DOOR BELL
UA - UNIT ALARM
- SYSTEM ON/OFF SWITCH
SD - SMOKE DETECTOR
CO - UNIT CO2



MEP SYMBOLS	
SMOKE DETECTOR	⊙
SMOKE / CO2 DETECTOR	⊙ SD/CO
THERMOSTAT	Ⓣ

NOTE
ELECTRICAL SYMBOLS ARE PROVIDED TO SHOW INTENT & AID IN BIDDING PURPOSES ONLY
-ALL ELECTRICAL WORK IS DESIGN/BUILD

2 UNIT TYPE 'A' - FIRST FLOOR PLAN - HEARING & VISUAL
1/4" = 1'-0"

1 UNIT TYPE 'A' - FIRST FLOOR PLAN - MECH. & ELECT.
1/4" = 1'-0"



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UNIT PLANS - TYPE 'B' - FIRST
FLOOR PLANS

A303

UNIT KEYNOTES	
418	NEW WINDOWS - REMOVE EXISTING AND INSTALL NEW WINDOW, FRAME, SILL, AND HARDWARE.
419	REPAIR GYPSUM BOARD WALLS AND CEILINGS AS REQUIRED WITH OCCUPANCY SENSOR.
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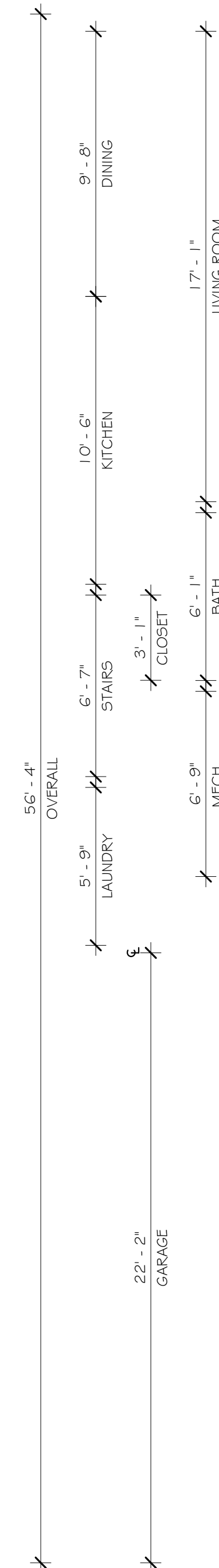
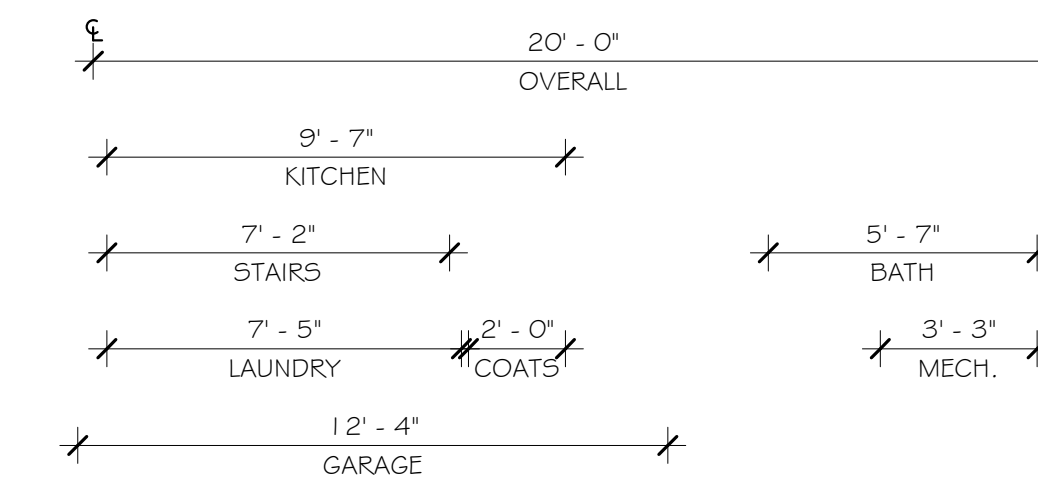
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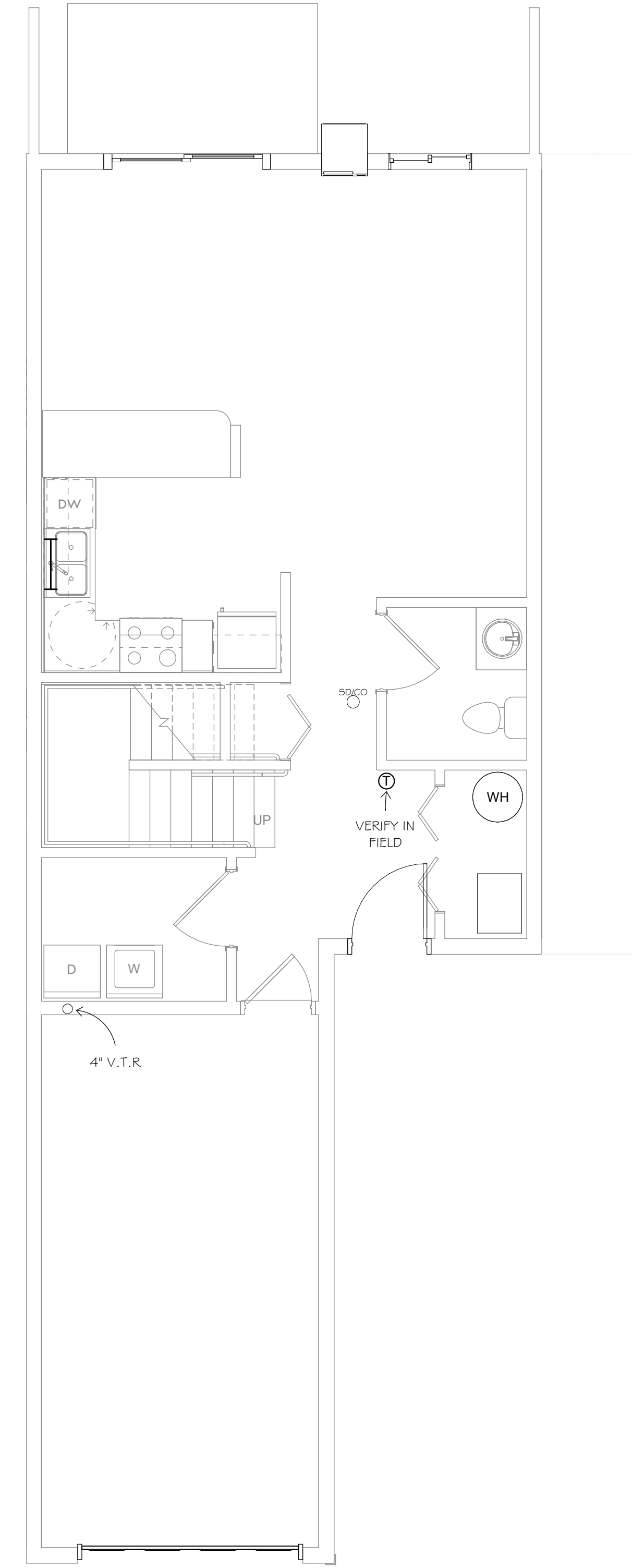
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MEP SYMBOLS	
SMOKE DETECTOR	⊕
SMOKE / CO2 DETECTOR	⊕ ⁵⁹⁶⁰
THERMOSTAT	⊕

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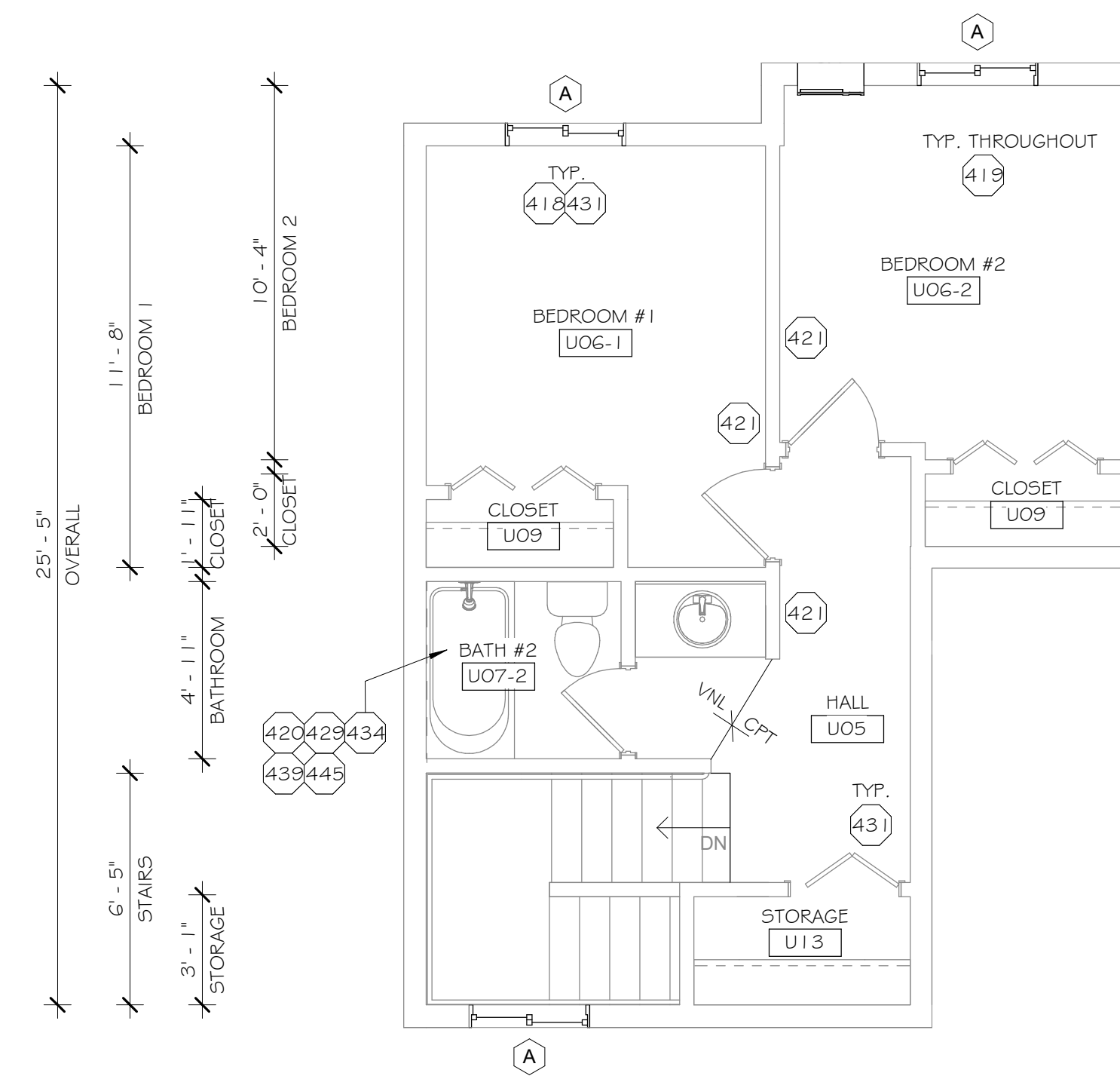
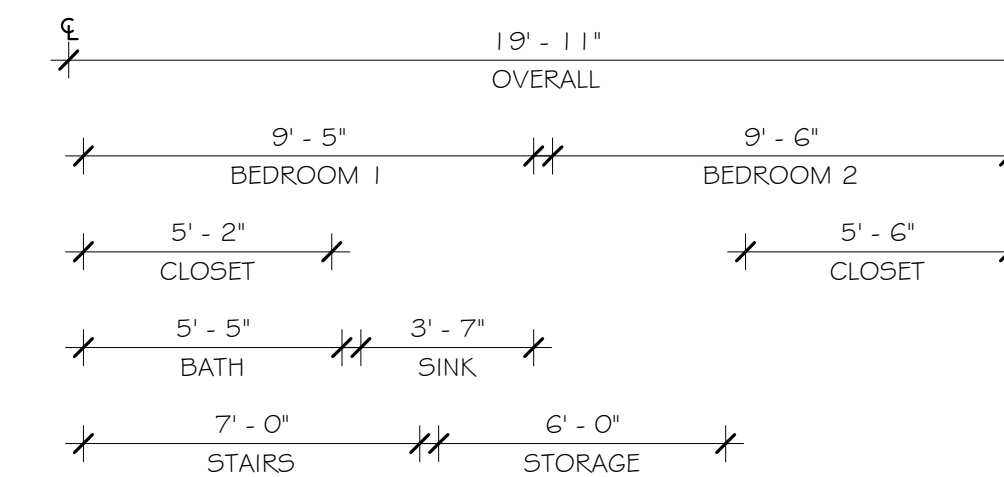
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UNIT PLANS - TYPE 'B' -
SECOND FLOOR PLANS

A304



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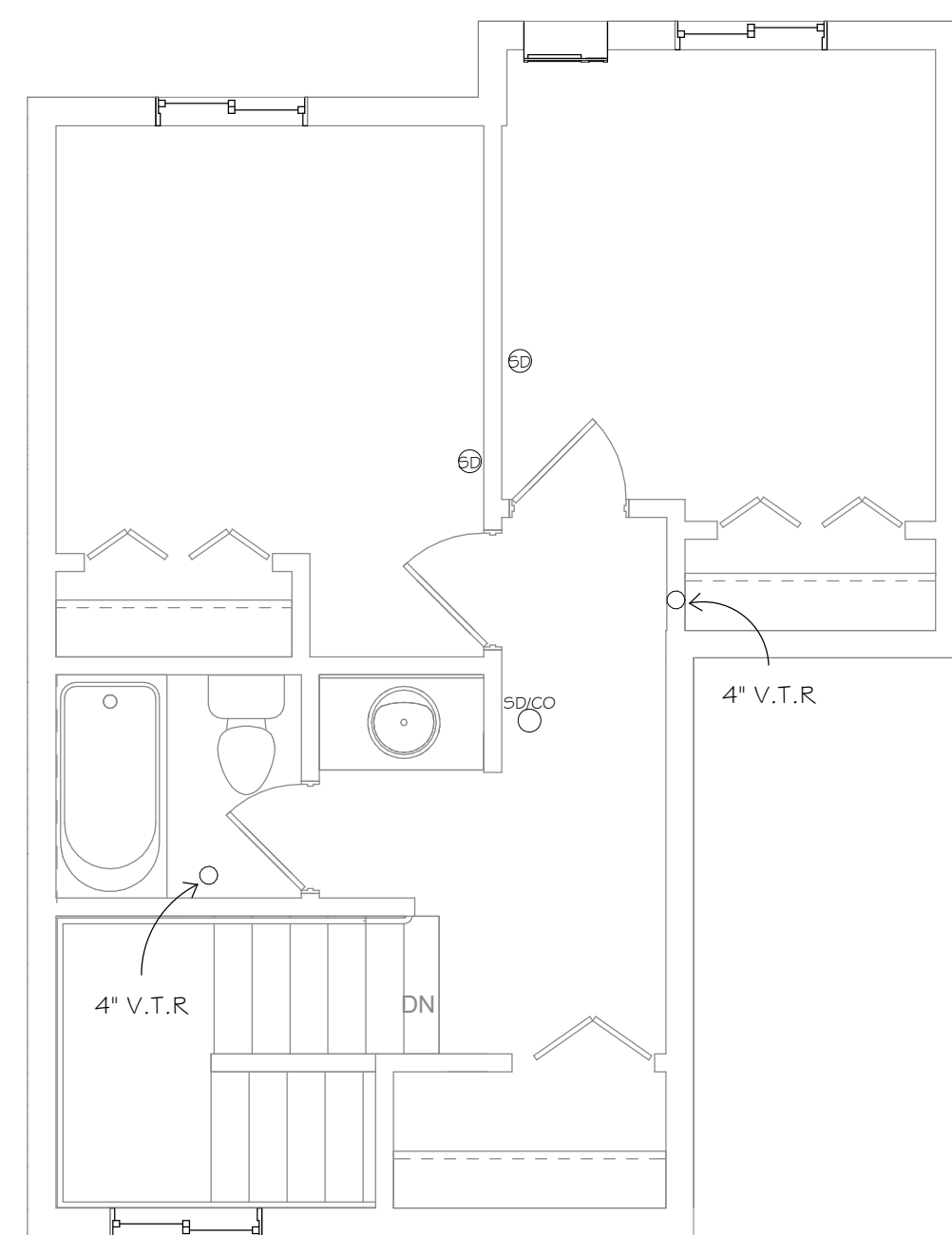
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SMOKE / CO2 DETECTOR	Ⓢ/CO
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reg. exp. date

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

PROJECT INFO

Commission No.
B/A: 616-18
Drawn By:
HD, SW
Issue Date
06/07/19

△ SUBMITTALS / REVISIONS

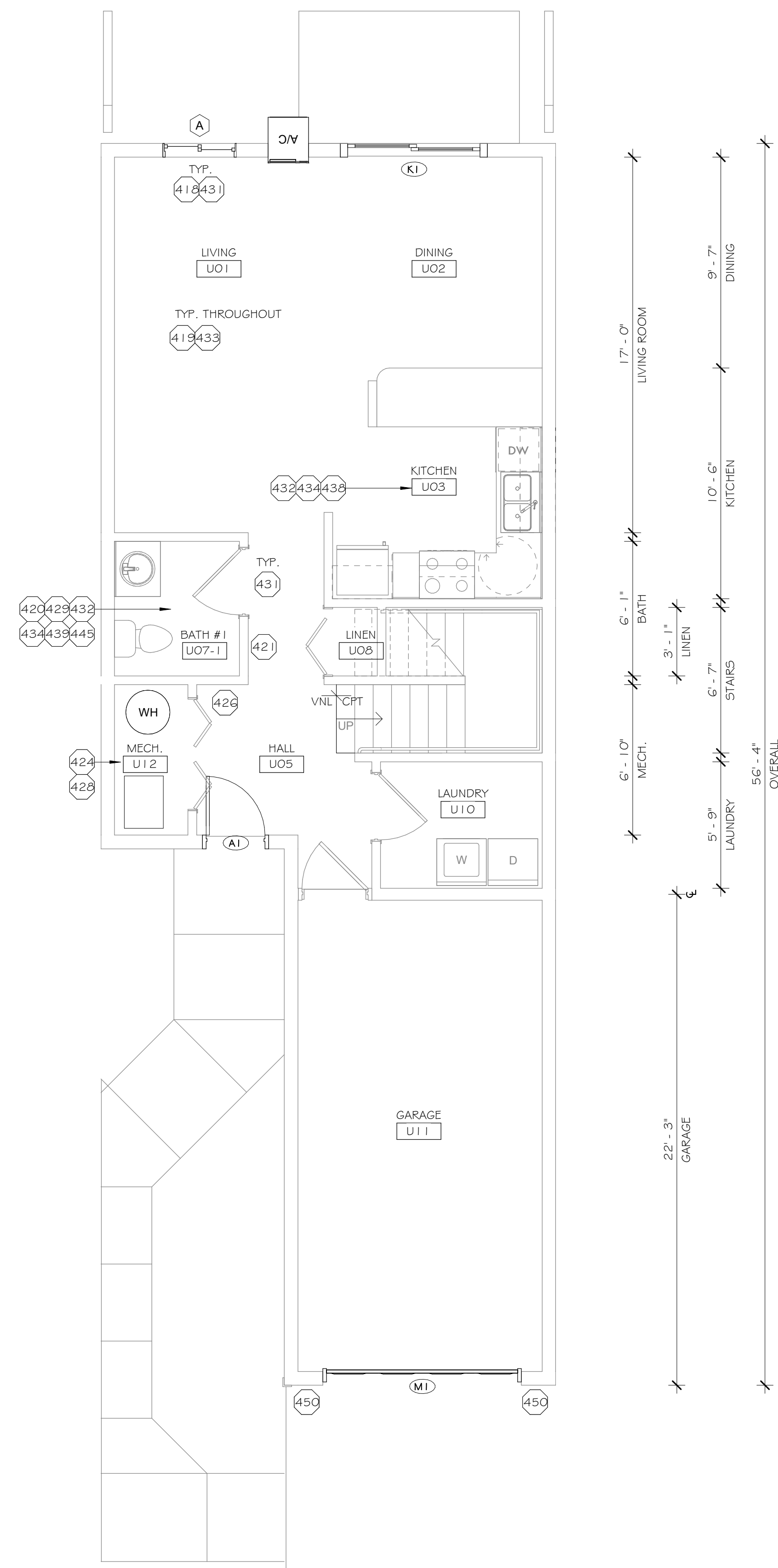
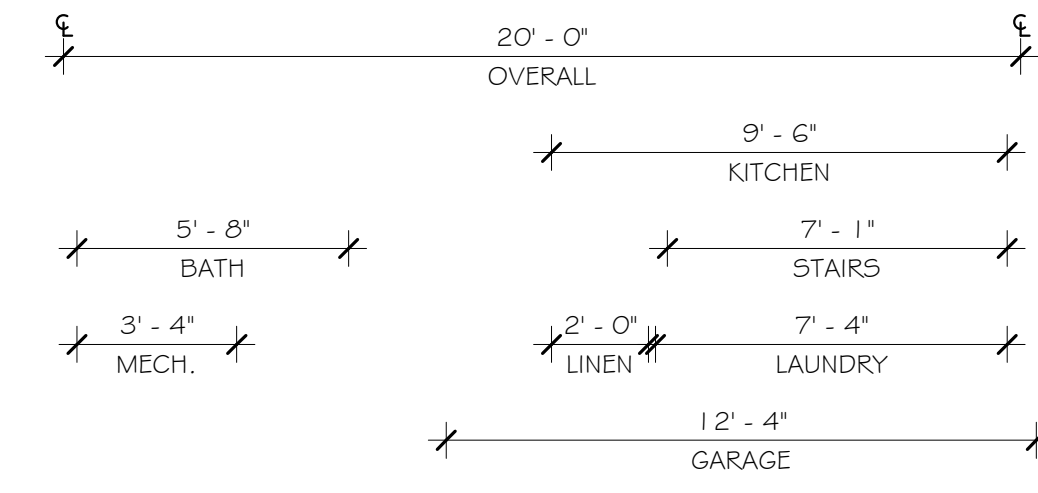
1	8/17/18	90% CD
2	10/03/18	100% MHFA Review
3	06/07/19	Addendum 03
4	06/07/19	ISSUED FOR CONSTRUCTION

SCALE
1/4" = 1'-0"

WEST BIRCH TOWNHOME
RENOVATION

504 13TH AVENUE N.
PRINCETON, MN 55371

UNIT PLANS - TYPE 'C' - FIRST
FLOOR PLANS



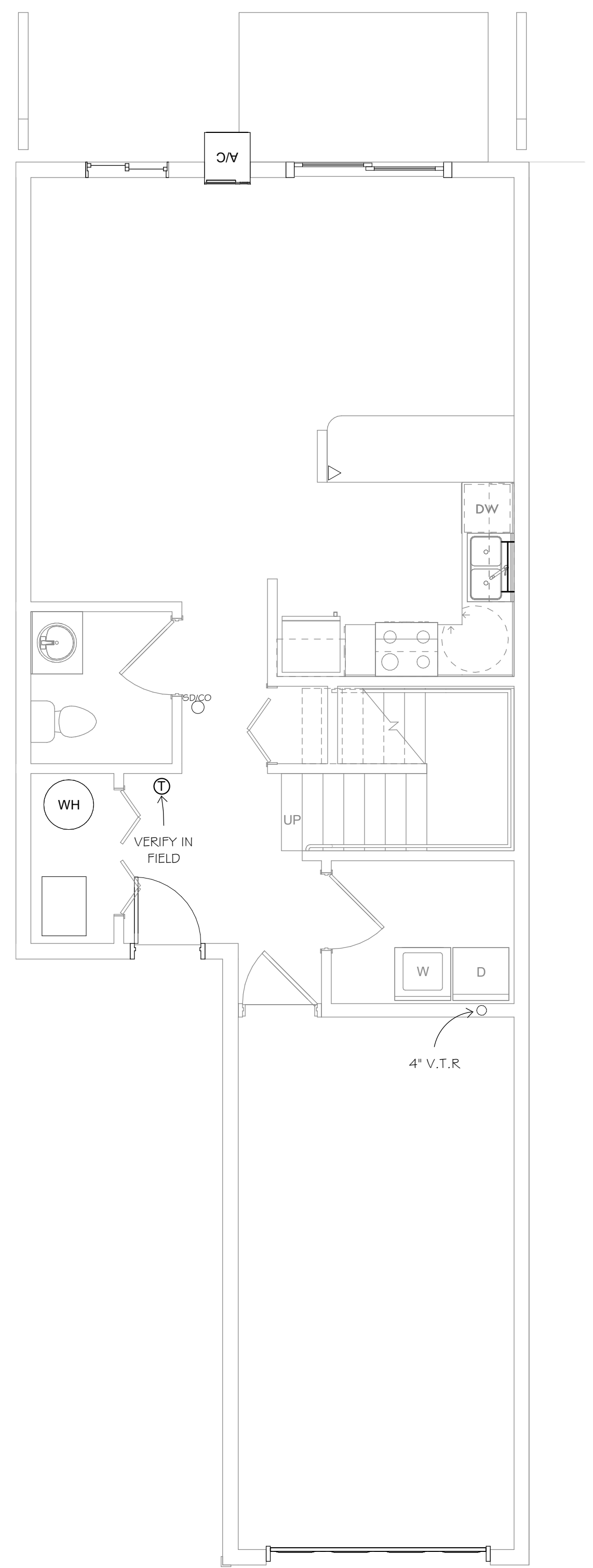
CABINET NOTES:
ALL EXISTING WALL & BASE CABINET BOXES TO REMAIN, WITH MODIFICATIONS AS NOTED BELOW.

- 1 - DRAWERS: REUSE EXISTING DRAWER BOXES AND INSTALL NEW DRAWER GLIDES. REPLACE ALL DRAWER FRONTS (MATCH EXISTING DETAILS), CONCEAL SCREWS. PROVIDE A ROUTERED FINGER PULL ALONG BOTTOM EDGE OF DRAWER FRONT.
- 2 - CABINET DOORS: REPLACE ALL CABINET DOORS AND HINGES (MATCH EXISTING DETAILS). IN LIEU OF HARDWARE PULLS, PROVIDE A ROUTERED FINGER PULL ALONG BOTTOM EDGE OF WALL CABINET DOORS AND ALONG THE TOP EDGE OF BASE CABINET DOORS.
- 3 - ALL HARDWOOD SPECIES & HARDWARE FINISHES TO MATCH EXISTING.

NOTE:
-DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK.

MEP SYMBOLS	
SMOKE DETECTOR	⊕
SMOKE / CO2 DETECTOR	⊕ ^{SD/CO}
THERMOSTAT	Ⓜ

NOTE:
ELECTRICAL SYMBOLS ARE PROVIDED TO SHOW INTENT & AID IN BIDDING PURPOSES ONLY
-ALL ELECTRICAL WORK IS DESIGN/BUILD



2 UNIT TYPE 'C' - FIRST FLOOR PLAN - MECH & ELECT.
1/4" = 1'-0"

1 UNIT TYPE 'C' - FIRST FLOOR PLAN
1/4" = 1'-0"



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SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA 06/07/19
sign date

JAMES L. MOY 27036
reg. no.

6/30/2020
reg. exp. date

EXISTING CONDITIONS

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LH
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SCALE
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WEST BIRCH TOWNHOME
RENOVATION

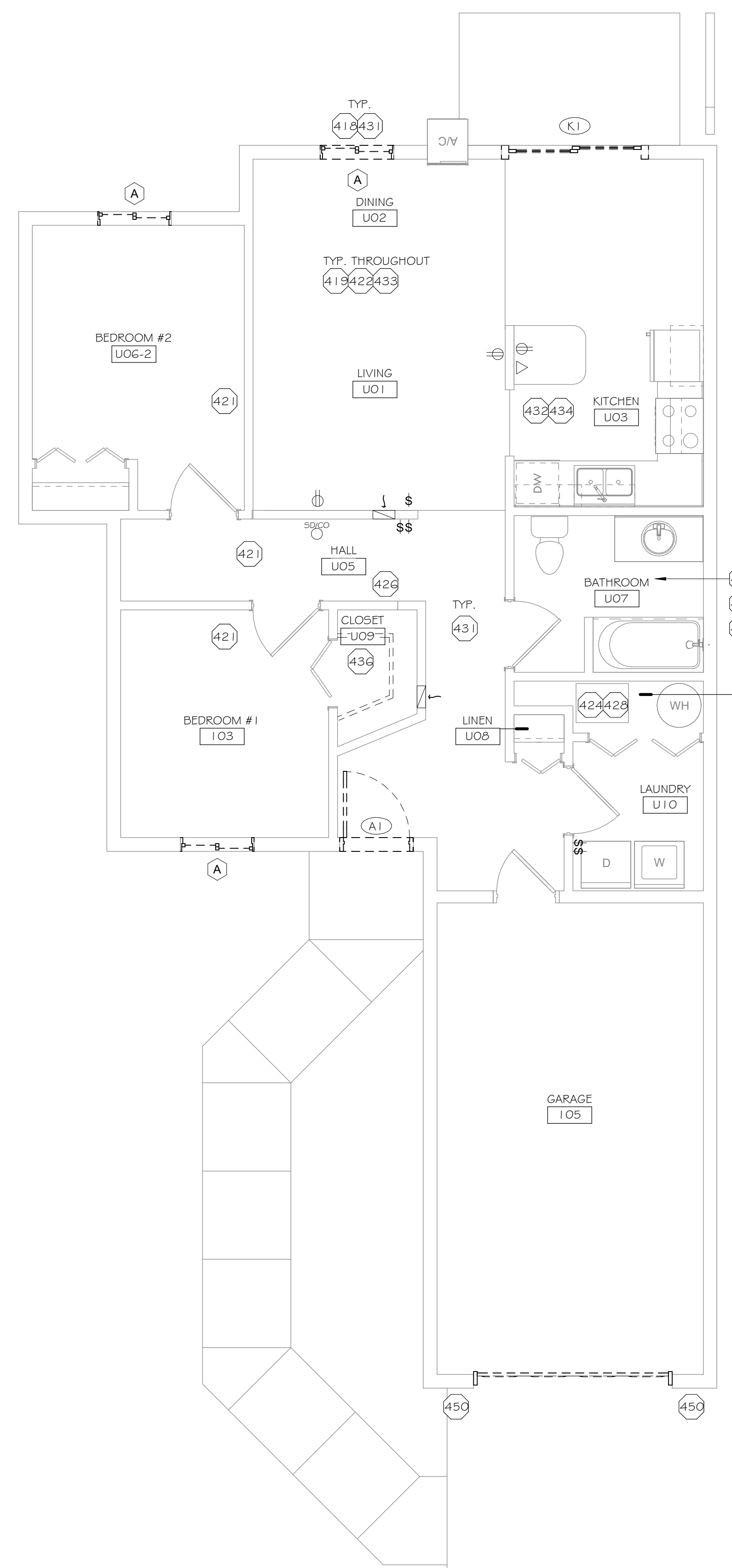
504 13TH AVENUE N.
PRINCETON, MN 55371

UNIT PLANS - TYPE 'D'
(ACCESSIBLE)

A307

ACCESSIBLE UNIT - KEYNOTES	
418	NEW WINDOWS - REMOVE EXISTING AND INSTALL NEW WINDOW, FRAME, SILL, AND HARDWARE.
419	REPAIR GYPSUM BOARD WALLS AND CEILINGS AS REQUIRED WITH OCCUPANCY SENSOR.
420	NEW BATHROOM EXHAUST FAN WITH HUMIDISTAT; SINGLE SWITCH.
421	REMOVE EXISTING SMOKE/CO DETECTORS AND REPLACE WITH NEW.
422	NEW ELECTRICAL WIRING AS NEEDED FOR DEVICE REPLACEMENT.
424	REMOVE EXISTING FURNACE AND REPLACE WITH NEW FURNACE - NOTE THAT THREE (3) EXISTING FURNACES WILL BE SALVAGED FOR OWNERS USE ON ANOTHER SITE.
426	NEW THERMOSTAT(S)
428	REMOVE EXISTING WATER HEATER AND REPLACE WITH NEW WATER HEATER. NOTE THAT FOUR (4) EXISTING WATER HEATERS (MOST RECENTLY REPLACED) WILL BE SALVAGED FOR OWNERS USE ON ANOTHER SITE.
429	EXISTING TUB AND SHOWER SURROUND TO REMAIN. PATCH ANY DEFECTS AND REFINISH BOTH.
431	NEW WOOD CASING AT NEW DOORS AND WINDOWS - MATCH EXIST. PROFILE.
432	NEW SHUT OFF VALVES AT ALL PLUMBING FIXTURES.
433	ADD UNIT SHUT OFF VALVE IF NOT EXISTING CURRENTLY.
434	PATCH AND PAINT KITCHEN AND BATHROOM WALLS AND CEILINGS AS REQUIRED
436	NEW CLOSET SHELVES.
445	REPLACE WATER CLOSET "INNARDS" AND SUPPLY AND SHUT-OFF VALVES.
450	REPLACE BOTTOM DOOR PANEL AT TWELVE (12) O.H. DOORS. PROVIDE NEW CELLULAR PVC BRICK MOLD AT ALL O.H. DOORS.

ELECTRICAL LEGEND	
FAN	☐
SWITCH	\$
DUPLEX RECEPTACLE (CONTRACTOR TO VERIFY GFIC IN-FIELD)	⊕
TELEPHONE OUTLET	▽
SMOKE / CO2 DETECTOR	smco
RETURN AIR VENT	↓



1 UNIT TYPE 'D' - FIRST FLOOR PLAN - DEMO
1/4" = 1'-0"



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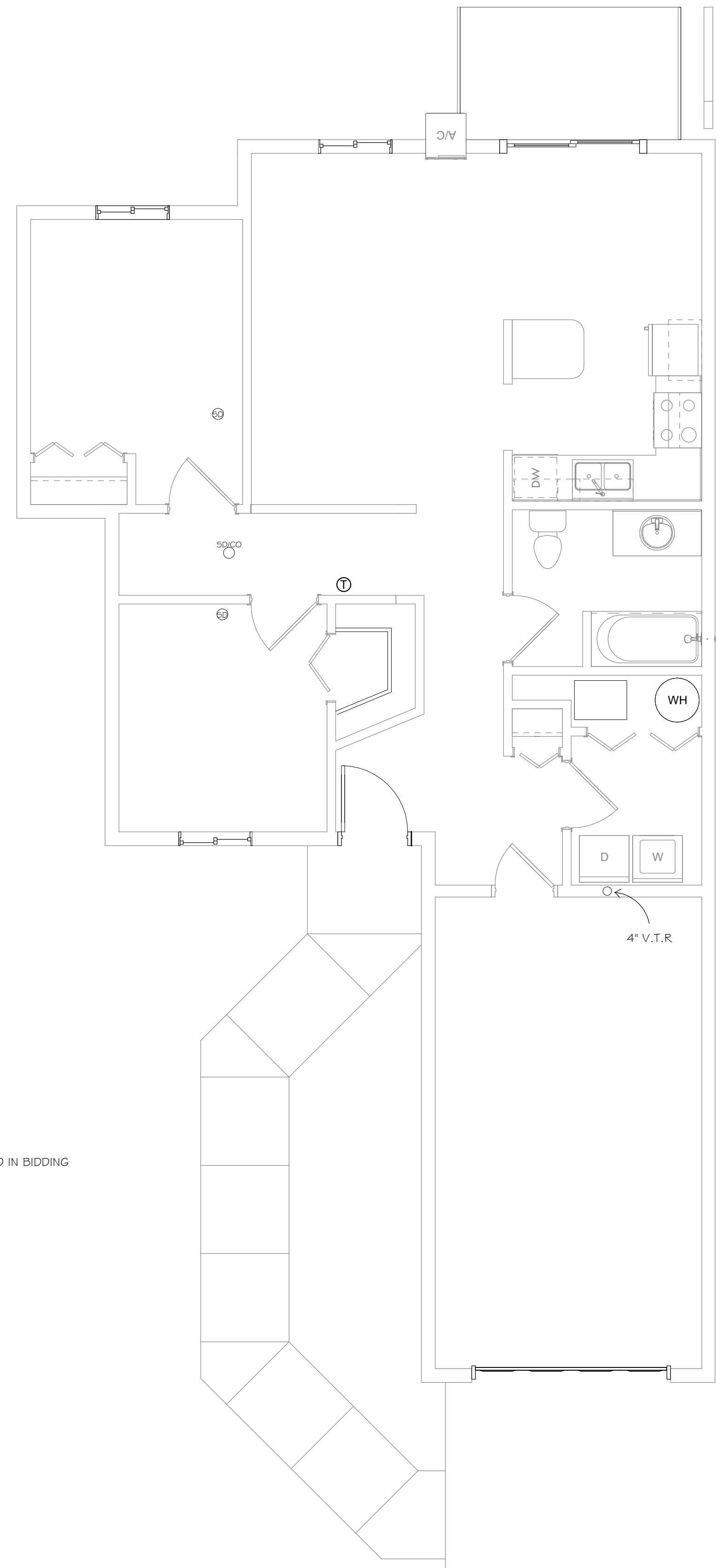
SCALE
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WEST BIRCH TOWNHOME
RENOVATION

504 13TH AVENUE N.
PRINCETON, MN 55371

UNIT PLANS - TYPE 'D'

A308



MEP SYMBOLS	
SMOKE DETECTOR	⊕
SMOKE / CO2 DETECTOR	⊕ ^{SM/CO}
THERMOSTAT	Ⓢ

*NOTE:
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ELEVATION KEYNOTES	
301	NEW WINDOWS.
302	REPLACE BOTTOM DOOR PANEL AT TWELVE (12) O.H. DOORS. PROMDE NEW CELLULAR PVC BRICK MOLD AT ALL O.H. DOORS.
303	NEW UNIT ENTRY DOORS AND FRAMES. REMOVE EXISTING AND REPLACE WITH NEW.
304	REMOVE ALL EXTERIOR BUILDING LIGHT FIXTURES AND REPLACE WITH NEW LED LIGHT FIXTURES.
305	REMOVE AC UNIT AND SLEEVE; INFILL WITH NEW WINDOW; TYP. ALL UNITS.



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SIGNATURES



4 TYPICAL TOWNHOME - ELEVATION 1
1/8" = 1'-0"

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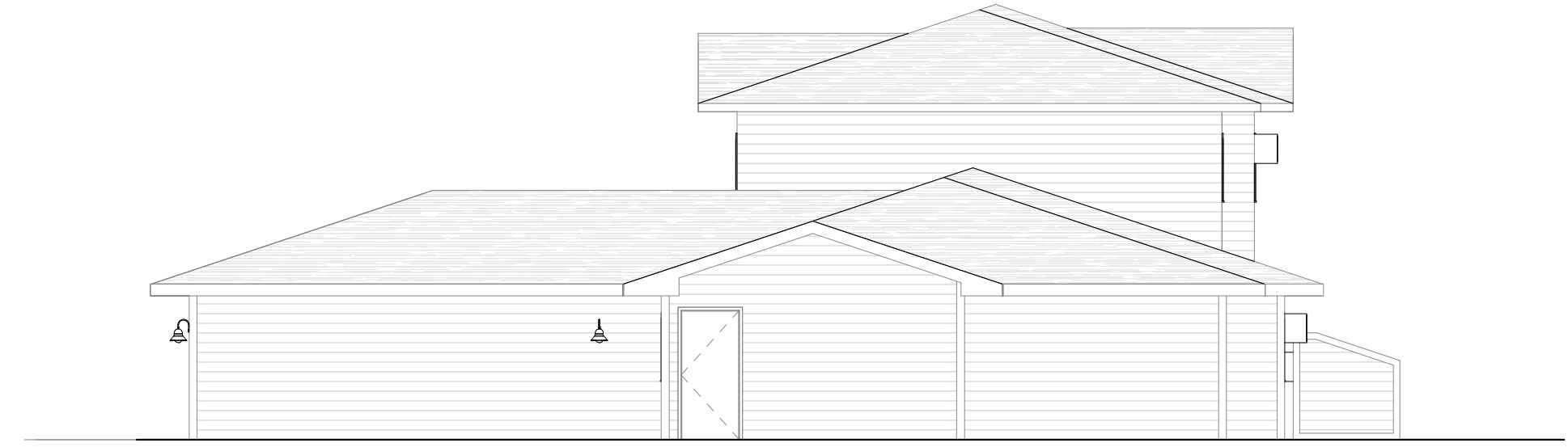
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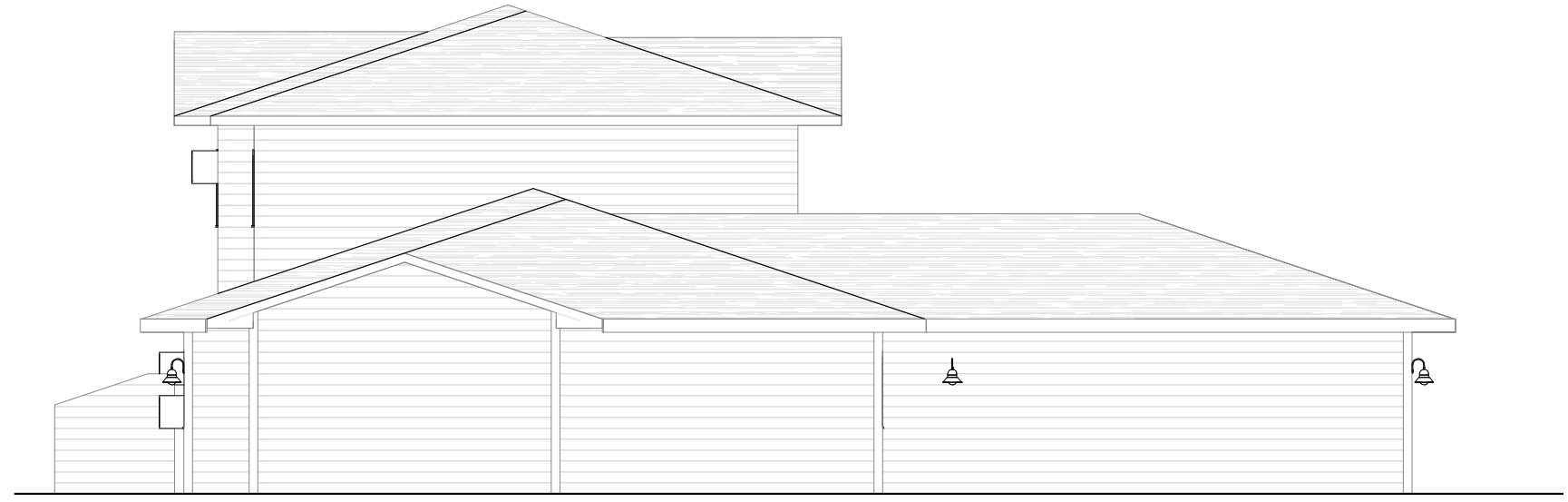
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3 TYPICAL TOWNHOME - ELEVATION 2
1/8" = 1'-0"



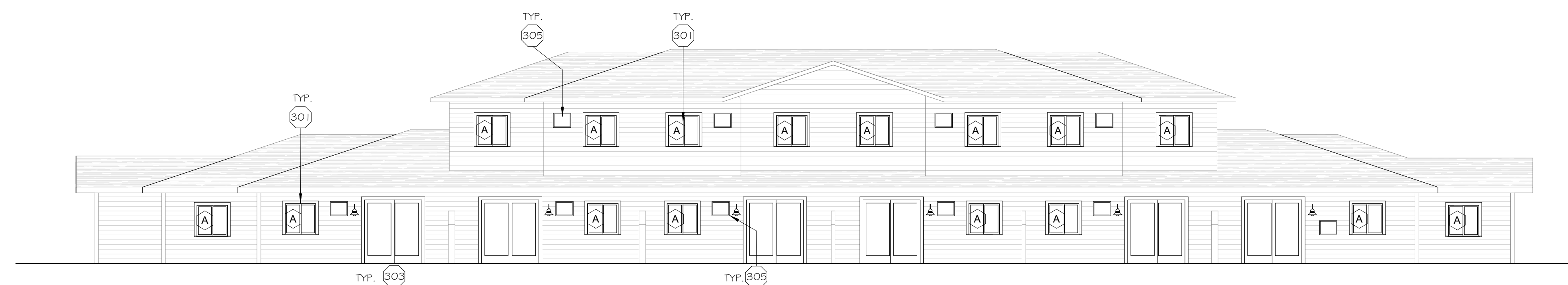
2 TYPICAL TOWNHOME - ELEVATION 3
1/8" = 1'-0"

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1 TYPICAL TOWNHOME - ELEVATION 4
1/8" = 1'-0"

SCALE
1/8" = 1'-0"

WEST BIRCH TOWNHOME
RENOVATION

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TYPICAL TOWNHOME -
BUILDING ELEVATIONS

A401

