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**Jim Moy, AIA**  
Principal/President & CEO

**Andy Swartz, AIA**  
Principal/Vice President

## Architects Supplemental Instruction (ASI)

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<b>Project:</b> West Birch Apartments and Townhomes	<b>ASI #:</b> 05
<b>Owner:</b> West Birch Estates of Princeton	<b>Date of Issuance:</b> 11/04/19
<b>To:</b> Lumber One Avon	<b>Architect's project #:</b> 616-18

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The intent of this ASI is to amend the Project Documents to incorporate information which was previously not included but which is generally inferable from other information included in prior issues.

**SCOPE:**

Revise Civil Site Plans to reflect Architectural Site Plan sidewalk layout.

Revise Architectural Site Plan to more closely reflect Civil Infiltration Basin design.

Project Manual

**APARTMENTS PROJECT MANUAL**

No Changes

Plans & Details

**APARTMENTS DRAWINGS**

C-1 – Revise Sidewalk layout to reflect Architectural Site Plan design

C-3 – Revise Sidewalk layout to reflect Architectural Site Plan design

A101 Architectural Site Plan – Revise layout of Infiltration Basin to more closely align with Civil design.

**Issued By:**

Joel Springer, CSI, CDT, CCCA, LEED-AP

Project Manager

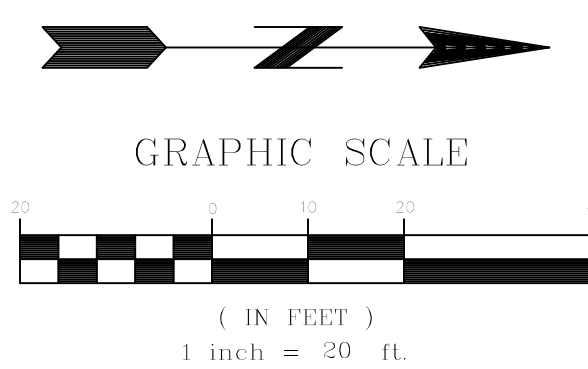
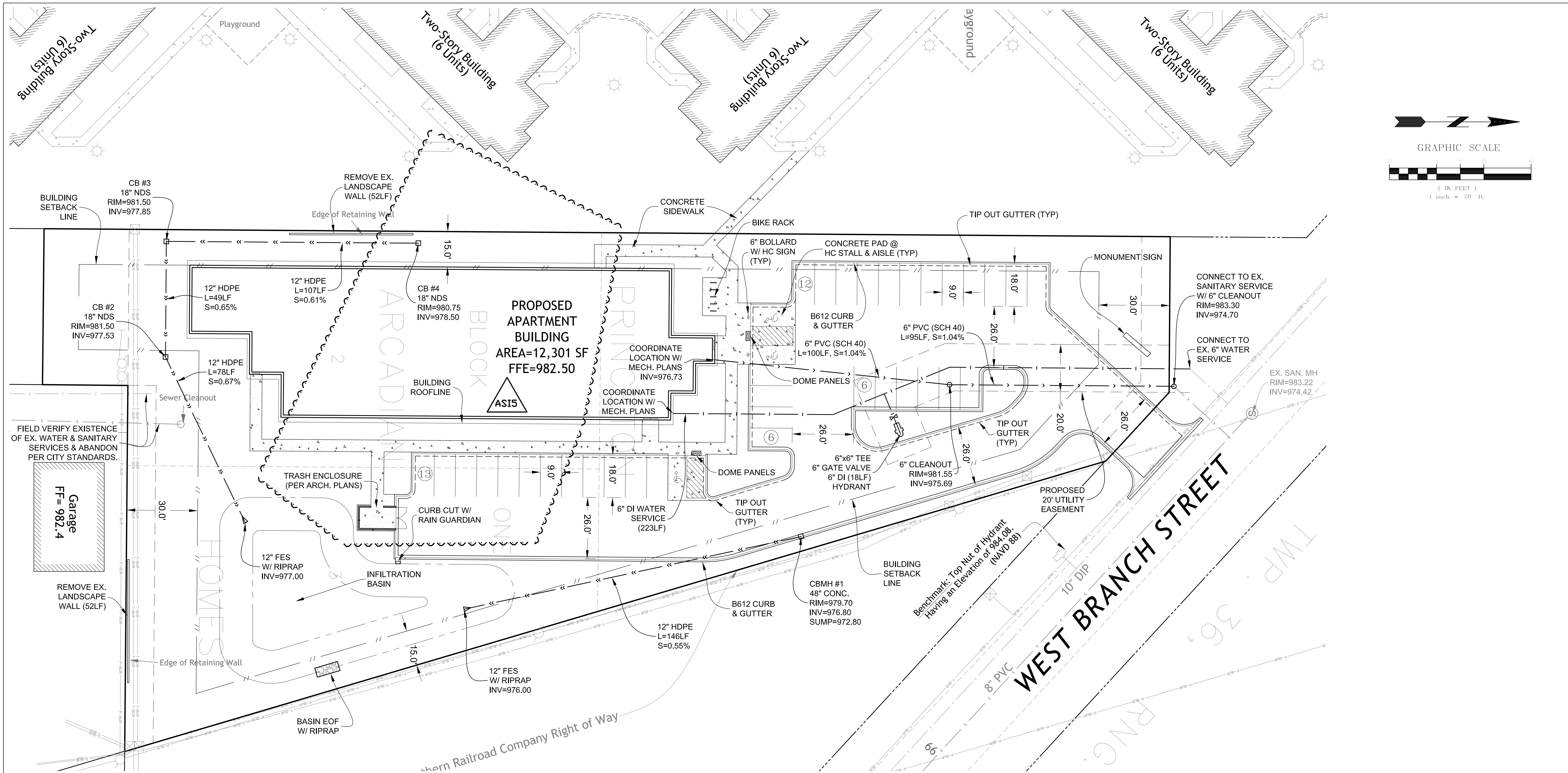
**Blumentals/Architecture**

**ATTACHMENTS:**

C-1

C-3

A101



www.starkengineer.com  
 320-249-2611  
 Sauk Rapids, Minnesota

**STARK ENGINEERING**

I hereby certify that this plan, specification, or report was prepared by me and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: 11/14/19  
 Registration No. 26093

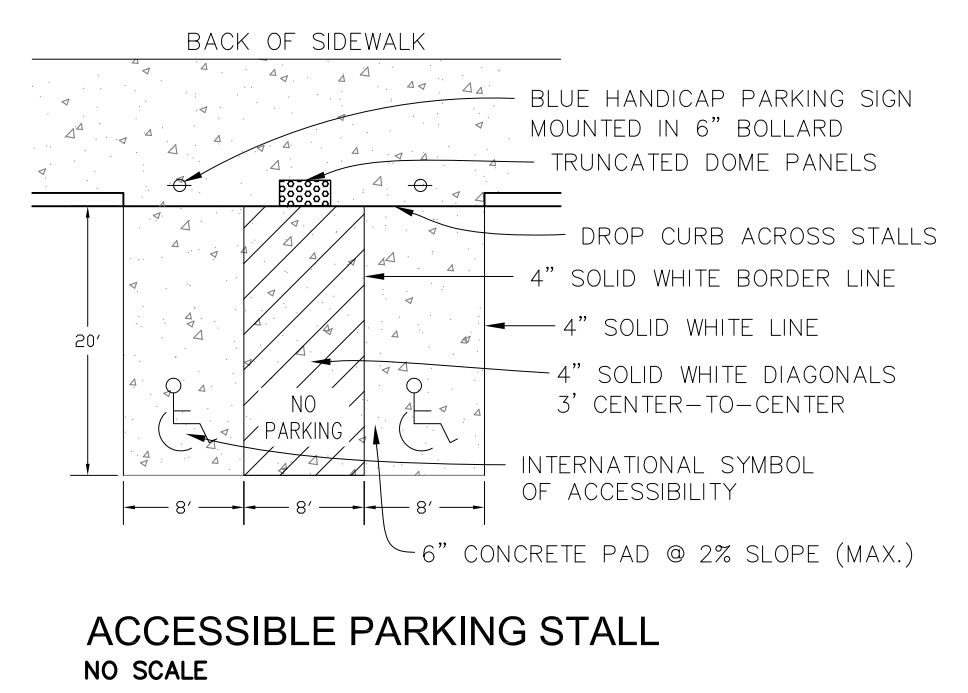
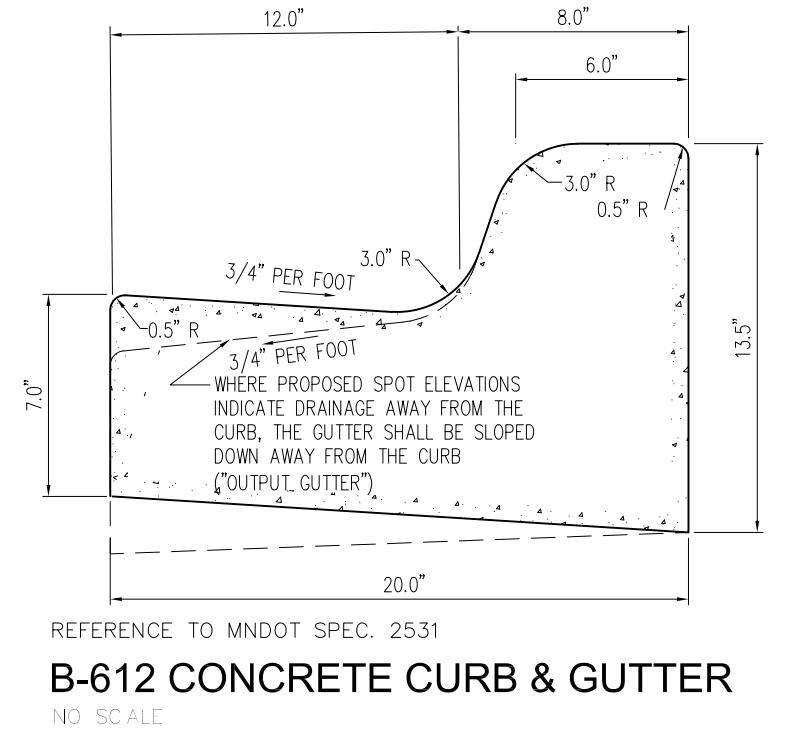
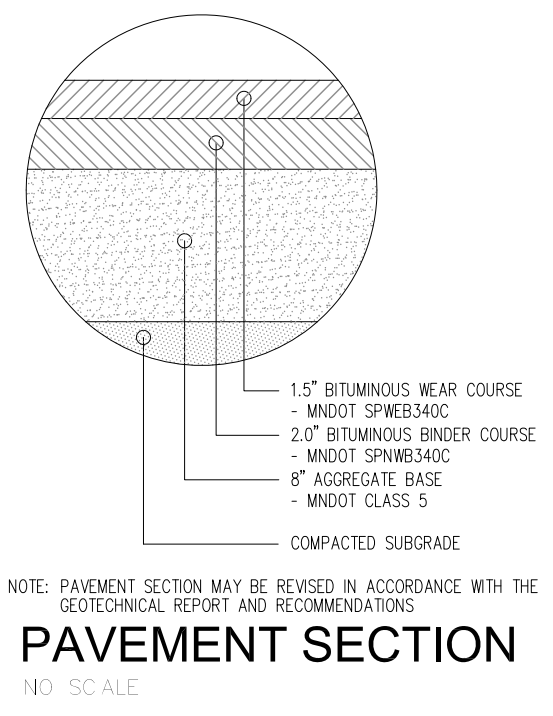
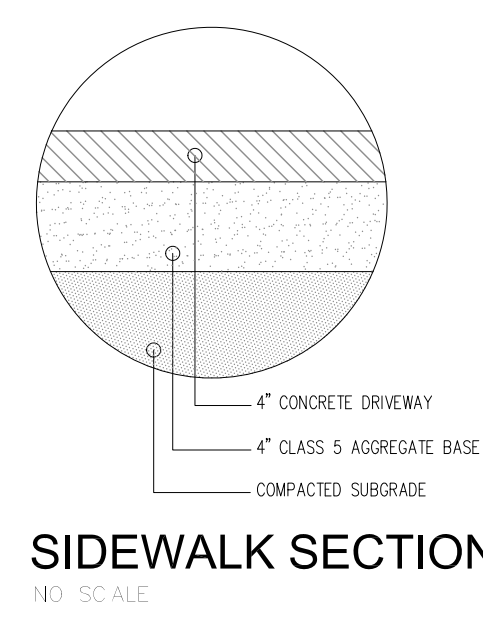
REVISIONS	CITY REVIEW	ADDEND #2
2/5/19	2/21/19	CONST. DOC.
7/11/19	7/11/19	MIN. DOLL. REV.
11/14/19		AS1 #5

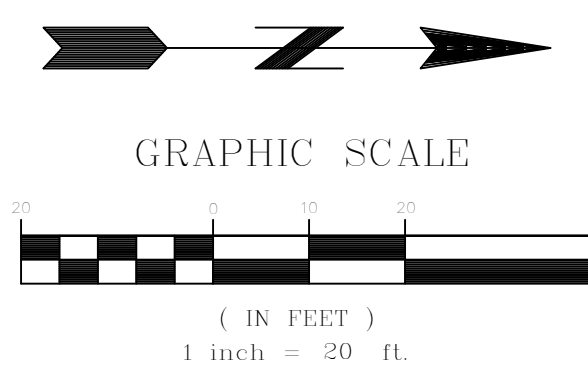
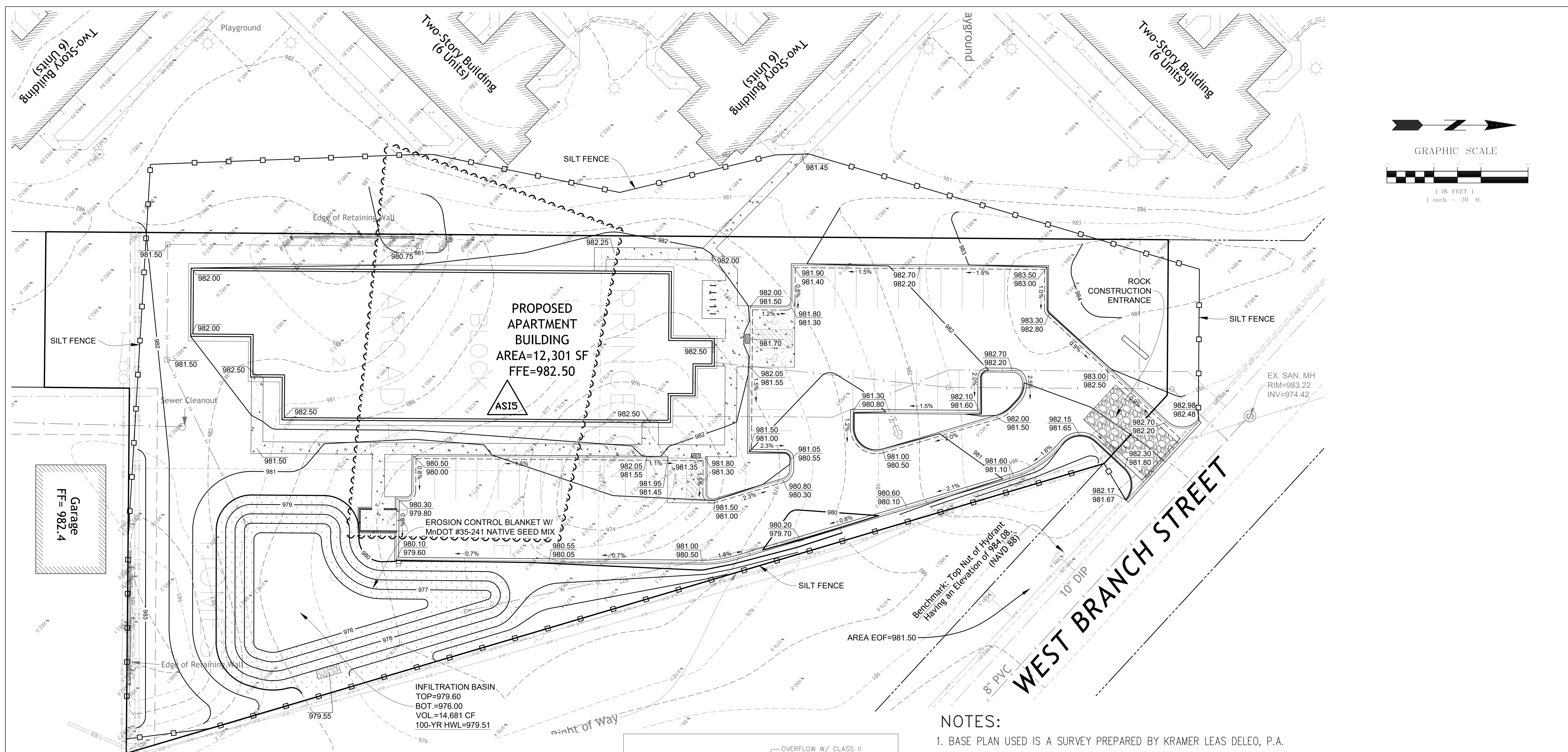
**SITE AND UTILITY PLAN**

WEST BIRCH APARTMENTS  
 PRINCETON, MINNESOTA  
 for: CENTRAL MN HOUSING PARTNERSHIP

**NOTES:**

1. BASE PLAN USED IS A SURVEY PREPARED BY KRAMER LEAS DELEO, P.A.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF PRINCETON AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. TOTAL LOT AREA = 70,072 SF (1.61 ACRES)  
 PROPOSED IMPERVIOUS SURFACE AREA = 34,846 SF (49.7%)
5. 6" DIP WATERMAIN SHALL HAVE A MINIMUM COVER DEPTH OF 8' AND WILL CROSS UNDER THE 6" PVC (SCH 40) SANITARY SERVICE.





www.starkengineering.com  
920-249-2611  
Sauk Rapids, Minnesota

**STARK**  
ENGINEERING

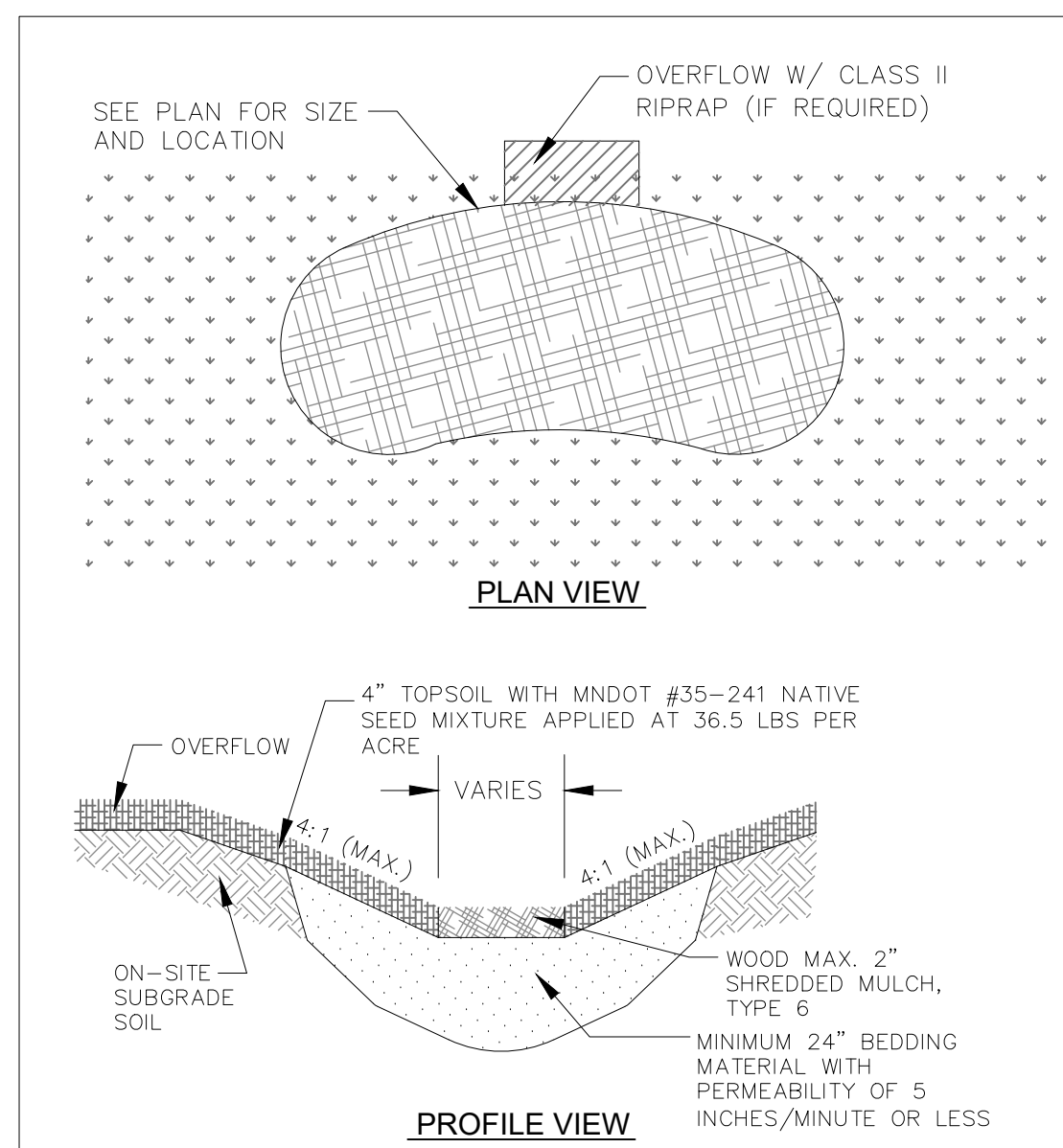
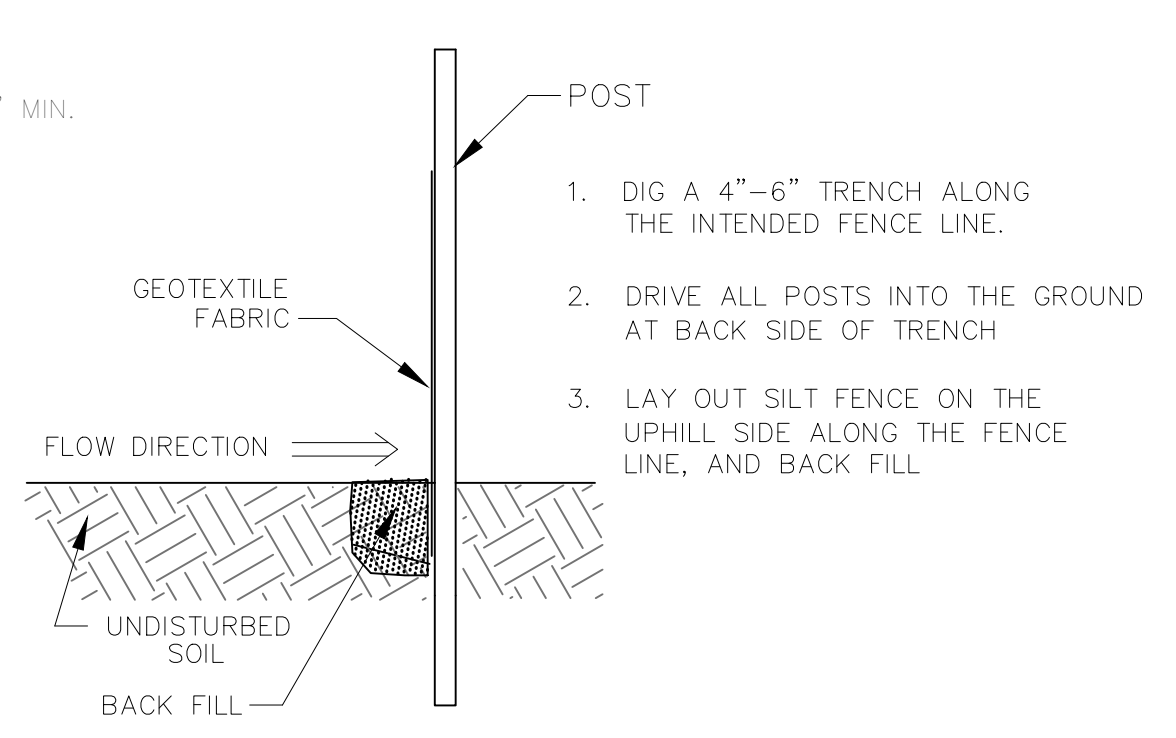
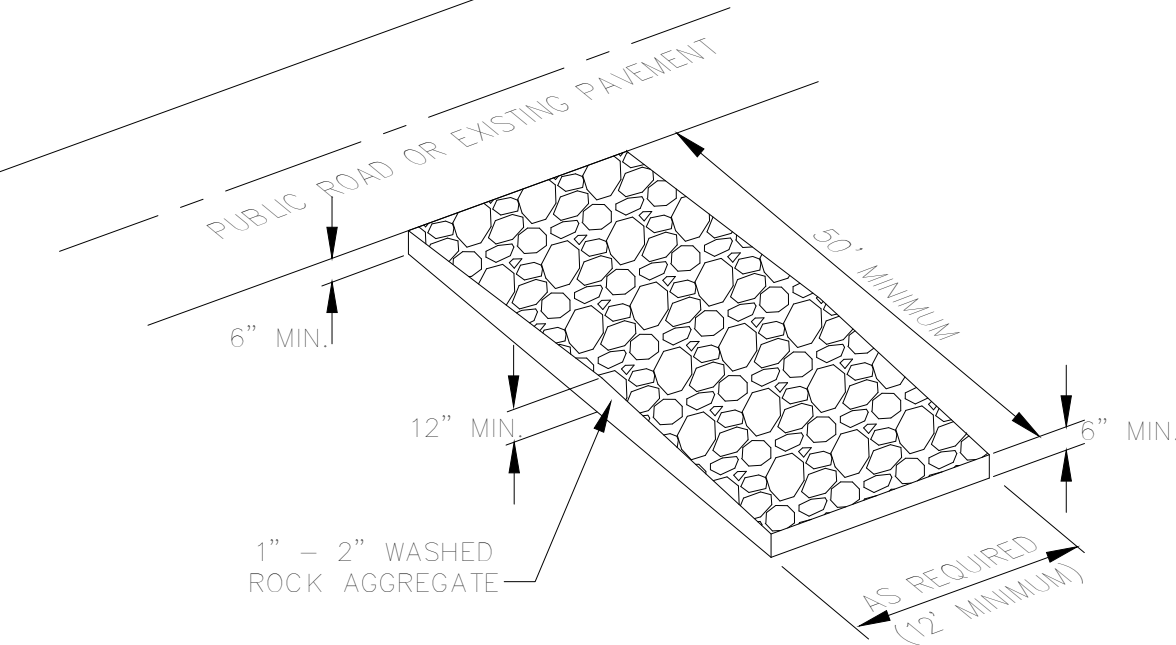
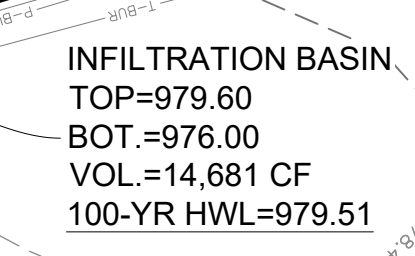
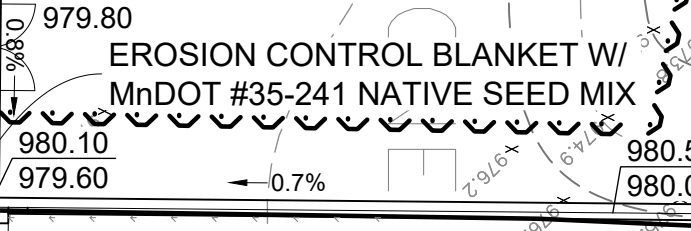
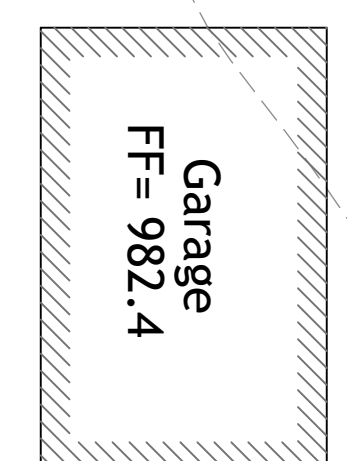
I hereby certify that this plan, specification, or report was prepared by me and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*W. Stark, P.E.* Date: 11/14/19  
Registration No. 26893

REVISIONS	DATE	BY	DESCRIPTION
12/19/18	FOR REVIEW		
2/5/19	CITY REVIEW		
2/21/19	APPEND. #2		
6/7/19	CONST. DOC.		
11/4/19	ASI #5		

**GRADING AND EROSION CONTROL PLAN**

WEST BIRCH APARTMENTS  
PRINCETON, MINNESOTA  
for: CENTRAL MN HOUSING PARTNERSHIP

SHEET  
**C-3**  
OF 3 SHEETS



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3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF PRINCETON AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
  - A. INSTALL PERIMETER CONTROLS (SILT FENCE & ROCK CONSTRUCTION ENTRANCE) AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
  - B. SOIL STOCKPILES OR CONCRETE WASHOUTS ARE NOT ALLOWED ON THE PROJECT SITE.
  - C. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 1/2" OR MORE RAIN EVENT. CLEAN OR MAINTAIN THESE DEVICES AS NEEDED TO BE EFFECTIVE. REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
  - D. REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN IT OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT.
  - E. PERFORM SITE REMOVALS, GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED PAVEMENT AND BUILDING AREAS WITHIN 72 HOURS OF THIS WORK.
  - F. INSTALL BUILDING AND BITUMINOUS PAVEMENT SECTION. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION PER LANDSCAPE PLANS.
  - G. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED WITH AT LEAST 70% COVERAGE.

**ROCK ENTRANCE DETAIL**  
NO SCALE

**TYPICAL SILT FENCE INSTALLATION**  
NO SCALE

**INFILTRATION BASIN**  
NO SCALE



**Blumentals  
Architecture**

1600 Marshall Street NE, Suite 1  
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612/331-2222  
612/331-2224 FAX  
info@blumentals.com

SIGNATURES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of  
MINNESOTA 06/07/19 sign date  
JAMES L. MOY 27036 reg. no.  
6/30/2020 reg. exp. date

PROJECT INFO

Commission No. B/Ac 616-18  
Drawn By: SW, HD  
Issue Date: 06/07/19

SUBMITTALS / REVISIONS

- 02/16/18 MHFA REVIEW - SD
- 04/20/18 50% CD
- 06/21/18 90% CD
- 08/24/18 100% MHFA REVIEW
- 02/05/19 ISSUED FOR CITY REVIEW
- 02/21/19 ADDENDUM #2
- 1 06/07/19 ISSUED FOR CONSTRUCTION
- 10 11/04/19 ASH#05

SCALE  
As indicated

West Birch Apartments

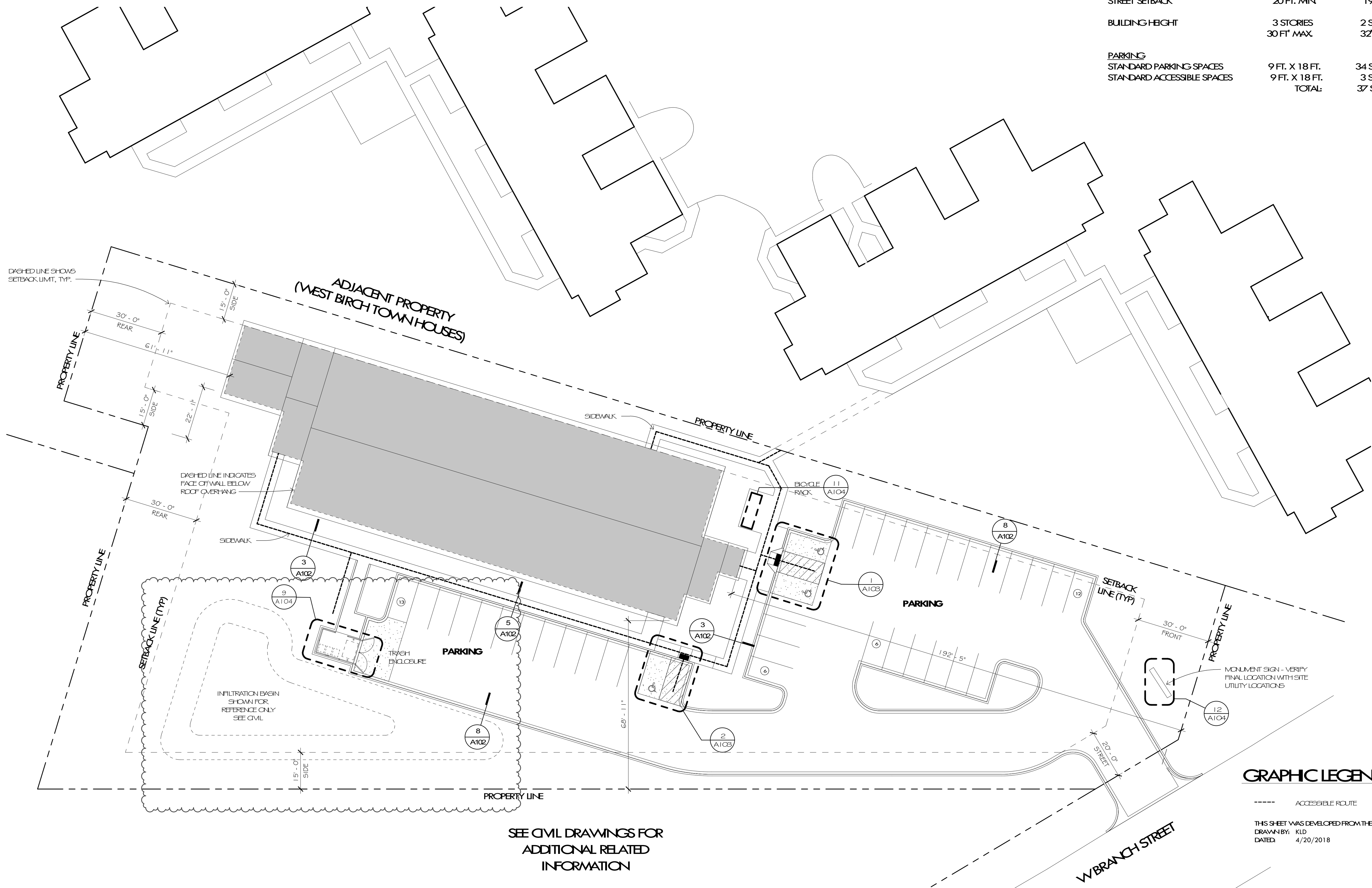
1103 West Branch Street  
Princeton, MN

ARCHITECTURAL SITE PLAN

# A101

### LOT & BUILDING DATA

ITEM	REQUIRED	PROVIDED
LOT AREA	(16 x 2,000) + (22 x 200) = 36,400 SF MIN	67,027 SQ. FT.
LOT WIDTH	100 FT. MIN	+/- 457 FT.
LOT COVERAGE	60% MAX	19%
FRONT YARD SETBACK	30 FT. MIN	183'-6"
SIDE YARD SETBACK	15 FT. MIN	55'-3" / 15'-0"
REAR YARD SETBACK	30 FT. MIN	61'-11"
STREET SETBACK	20 FT. MIN	192'-5"
BUILDING HEIGHT	3 STORIES 30 FT. MAX	2 STORIES 32'-8"
PARKING		
STANDARD PARKING SPACES	9 FT. X 18 FT.	34 STALLS
STANDARD ACCESSIBLE SPACES	9 FT. X 18 FT.	3 STALLS
	TOTAL:	37 STALLS



SEE CIVIL DRAWINGS FOR  
ADDITIONAL RELATED  
INFORMATION

### GRAPHIC LEGEND - SITE PLAN

----- ACCESSIBLE ROUTE

THIS SHEET WAS DEVELOPED FROM THE PLAN PROVIDED BY THE OWNER  
DRAWN BY: KLD  
DATED: 4/20/2018

1 ARCHITECTURAL SITE PLAN  
1" = 20'-0"

