

# VILLAS OF RIVERS RIDGE

## 4 UNIT TOWNHOUSE - BUILDING "C"

### RED WING, MN



### CODE SUMMARY

#### I. BUILDING DESCRIPTION:

A NEW 2 STORY 4 UNIT TOWNHOUSE BUILDING WITH ATTACHED GARAGES - TOTAL BLDG. = 8,834 S.F.  
 FIRST FLOOR UNITS = 3,400 SF + GARAGES = 1,800 SF + WATER ROOM = 24 S.F.  
 TOTAL = 5,224 S.F. AND SECOND FLOOR UNITS = 3,410 S.F.

#### 2. BLDG. SUMMARY:

2018 I.B.C., 2020 MINNESOTA STATE BUILDING CODE, AND OTHER RELATED CODES.  
 BUILDING ENERGY CALCULATIONS PROVIDED USING ASHRAE STANDARD 90.1-2010

- A. CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION  
 R-2 OCCUPANCY - TOWN HOUSE - (SECTION 310.3)
- B. CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASE ON USE AND OCCUPANCY
  - WALLS SEPARATING DWELLING UNITS IN R-2 CONSTRUCTED AS ONE HOUR RATED FIRE PARTITIONS (SECTION 420.2)
  - FIRE & SMOKE ALARMS PER 901.2.9 DESIGNED BY OTHERS
  - WALLS SEPARATING GARAGES FROM DWELLING AND ATTIC SPACE SHALL HAVE 1/2" MIN. GYPSUM BOARD (FIRE TAPE ALL SEAMS)
  - CEILINGS SEPARATING GARAGES FROM DWELLING UNIT ABOVE SHALL HAVE 5/8" TYPE "X" MIN. GYPSUM BOARD (FIRE TAPE ALL SEAMS)
  - DOORS BETWEEN GARAGES AND DWELLING UNIT TO BE SELF CLOSING
- C. CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS  
 ALLOWABLE HEIGHT: (TABLES 504.3 & 504.4)  
 R2 OCCUPANCY ALLOWED: 3 STORIES OR 60'-0"  
 R2 OCCUPANCY ACTUAL: 2 STORIES & 19'-9"  
 ALLOWABLE AREA (PER FLOOR): (TABLE 504.2)  
 R2 OCCUPANCY ALLOWED: 1,000 S.F.  
 R2 OCCUPANCY ACTUAL: 5,224 S.F.
- D. CHAPTER 6 - TYPE OF CONSTRUCTION  
 TYPE V-B (NOT RATED 602.5)
- E. CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES  
 108 FIRE PARTITION - 1 HR RATED (SECTION 420.2)  
 PROVIDED AT WALLS SEPARATING DWELLING UNITS.
- F. CHAPTER 8 - INTERIOR FINISHES  
 ALL FINISHES SHALL COMPLY WITH INTERIOR FINISH REQUIREMENTS, FLAME SPREAD RATINGS ETC.
- G. CHAPTER 9 - FIRE PROTECTION SYSTEMS  
 BUILDINGS WITH R2 OCCUPANCIES REQUIRE A FIRE SPRINKLER SYSTEM - PROVIDE PER NFPA-13R (SECTION 903.3.1.2)

#### H. CHAPTER 10 - MEANS OF EGRESS

SECOND FLOOR:  
 R2 OCC. - UNIT "C" 906 S.F./200 S.F. PER OCC. = 5 (1 EXIT REQ'D. TABLE 1006.2.1)  
 R2 OCC. - UNIT "A" 899 S.F./200 S.F. PER OCC. = 5 (1 EXITS REQ'D. TABLE 1006.2.1)  
 REQUIRED STAIRWAY WIDTH = 36" MIN. (SECTION 1011.2)  
 PROVIDED STAIRWAY WIDTH = 36"  
 FIRST FLOOR:  
 R2 OCC. - UNIT "C" 1000 S.F./200 S.F. PER OCC. = 5+5=10 TOTAL (1 EXIT REQ'D. TABLE 1006.2.1)  
 R2 OCC. - UNIT "A" 100 S.F./200 S.F. PER OCC. = 4+4=8 TOTAL (1 EXIT REQ'D. TABLE 1006.2.1)

#### I. CHAPTER 11 - ACCESSIBILITY

ALL EXTERIOR COMMON AREA SPACES SHALL COMPLY REQUIRED UNIT TYPES:  
 2 "C" UNITS ARE PROVIDED AS "TYPE A" UNITS TO SATISFY THE ACCESSIBILITY REQUIREMENTS FOR THE TOTAL SITE. AT 2% A TOTAL OF 2 UNITS WILL FUFILL THE REQUIREMENTS FOR UP TO 100 TOTAL UNITS

#### J. CHAPTER 29 - PLUMBING SYSTEMS

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1):  
 R-2 OCCUPANCY = (1) WATER CLOSET, (1) LAVATORY, (1) BATH TUB OR SHOWER  
 (1) KITCHEN SINK & (1) CLOTHES WASHER CONNECTION PER DWELLING UNIT

#### K. RADON MITIGATION (MINNESOTA HOUSING'S RADON POLICY):

ADD PASSIVE RADON MITIGATION SYSTEM FOR EACH UNIT  
 SEE RADON DETAIL ON SHEET A101

#### L. 2020 MN RESIDENTIAL ENERGY CODE (PRESCRIPTIVE METHOD - TABLE R402.1.1)

CITY OF RED WING, MN - GOODHUE COUNTY (ZONE 6)

CATEGORY	FENESTRATION	CEILING	WOOD FRAME WALL	SLAB & DEPTH
REQUIRED	0.32 U-FACTOR	R-49	R-20 CAVITY	R10/3.5 FT
PROVIDED	0.30 OR LOWER	R-49	R-21 CAVITY	R10/3.5 FT

\*R-VALUES ARE MINIMUMS, U-FACTORS ARE MAXIMUMS

#### K. RECYCLING SPACE (MN ADMIN RULES 1303.1500)

EACH RESIDENT WILL KEEP THEIR INDIVIDUAL REFUSE AND RECYCLING CONTAINERS IN THEIR ATTACHED GARAGE.

### SHEET INDEX

#### ARCHITECTURAL:

- A001C TITLE & CODE INFO
- A101C FLOOR PLANS AND SCHEDULES
- A102C ROOF PLAN AND SCHEDULE
- A301C ACCESSIBILITY DETAILS
- A501C EXTERIOR ELEVATIONS
- A701C BUILDING SECTIONS & DETAILS

#### STRUCTURAL:

- S001 STRUCTURAL NOTES
- S002 -
- S101 -
- S201 -
- S202 -
- S301 -
- S401 -
- S402 -

### REVISION LOG

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**GENERAL NOTES:**

- A) VERIFY ADDITIONAL FINISH REQUIREMENTS w/ PLANS BY INTERIOR DESIGNER I F.F.I E. SUPPLIER
- B) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL. PREFERRED LOCATION IS UNDER KITCHEN SINK.
- C) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- D) PROVIDE TEMPERED/SAFETY GLASS 9 ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- E) ALL DOOR HARDWARE AND PLUMBING CONTROLS TO BE LEVER TYPE.
- F) VERIFY REQUIREMENTS OF ALL SPECIALTY EQUIPMENT w/ OWNER.
- G) ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF OR BELOW CLOTHES DRYERS.
- H) G.C. TO PROVIDE IDENTIFICATION ON ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE PARTITIONS AND SMOKE BARRIERS IN ACCESSIBLE CONCEALED SPACES. MIN. 3" LETTERING AND 3/8" STROKE IN CONTRASTING COLOR. 15" FROM THE END OF WALL AND NO MORE THAN 30" HORIZONTALLY.
- I) REFER TO MECHANICAL & ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- J) PROVIDE TENANT DECK / PATIO LIGHTING. SEE ELECTRICAL PLANS BY OTHERS.
- K) ALL STRUCTURAL STEEL SHALL BE FIRE PROTECTED WITH INTUMESCENT PAINT OR L) PER PROVIDED DETAILS INDEPENDENT OF THE ASSEMBLY THEY ARE WITHIN.
- M) PROVIDE 4" STUD WALLS AT ELECTRICAL PANELS AND PLUMBING WALLS (WHERE REQUIRED).
- N) SEAL ALL MECHANICAL & ELECTRICAL PENETRATIONS OF WALL/CEILING/FLOOR CONSTRUCTION.
- O) GUTTERS AND DOWNSPOUTS SHOWN ON SITE & ROOF PLANS AND EXTERIOR ELEVATIONS.

**FLOOR PLAN NUMBER NOTES**

1. STRUCTURAL POST. SEE STRUCTURAL PLANS FOR SIZE. PROVIDE COLOR CLAD WRAP FINISH.
2. 5'-0"x6'-0" FROST STOOP FOR EXTERIOR DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
3. 5'-0"x4'-0" FROST STOOP FOR EXTERIOR DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
4. BALCONY OR PATIO FLOORING TO BE LAYED AWAY FROM BUILDING. SEE PLAN FOR SIZE.
5. SPRINKLER RISER ROOM. SEE FIRE SUPPRESSION PLANS BY OTHERS. PROVIDE HEAT AND ALARM IN THIS ROOM WITH STROBE ON EXTERIOR TO WARN IF TEMPERATURE DROPS CLOSE TO FREEZING. VERIFY LOCATION. VERIFY LOCATION OF PANEL.
6. CULTURED STONE THIS LOCATION. SEE EXTERIOR ELEVATIONS FOR STYLE AND AMOUNT.
7. POURED CONCRETE APRON AT O.H. DOORS.
8. LINE OF ROOF BELOW.
9. LINE OF ROOF FLOOR OR BALCONY ABOVE. SHOWN DASHED.
10. HAND RAIL MOUNTED AT 34" TO 38" ABOVE NOSING OF STAIR TREADS.
11. CHASE FOR MECHANICAL DUCTS.
12. 42" HIGH HALF WALL WITH WOOD CAP.
13. GYPSUM BOARD BEHIND THIS SURROUND TO MAINTAIN FIRE RATING OF PARTY WALL.
14. BATHTUB WITH FIBERGLASS SURROUND. SEE PLUMBING PLANS.
15. LAVATORY WITH COUNTERTOP AND CABINET BELOW. SEE PLUMBING PLANS.
16. WATER CLOSET. SEE PLUMBING PLANS.
17. CLOSET ROD AND SHELF.
18. ELECTRIC FIREPLACE. VERIFY SIZE AND STYLE. SEE ELECTRICAL PLANS.
19. 12" COUNTERTOP OVERHANG FOR EATING BAR.
20. BLIND CORNER CABINET DOOR THIS SIDE.
21. LINE OF 12" DEEP UPPER CABINETS.
22. 24" DEEP FINISHED END PANEL AT FRIDGE.
23. LINE OF 24" DEEP UPPER CABINET ABOVE FRIDGE.
24. DISHWASHER. SEE MEP PLANS FOR HOOK-UPS.
25. RANGE WITH VENTED HOOD. SEE MEP PLANS FOR HOOK-UPS.
26. REFRIGERATOR. SEE MEP PLANS FOR HOOK-UPS.
27. STAINLESS STEEL DOUBLE BOWL KITCHEN SINK. SEE PLUMBING PLANS.
28. FLOOR DRAIN. SEE PLUMBING PLANS.
29. SEE MEP PLANS FOR EQUIPMENT THIS ROOM.
30. ELECTRIC PANEL. VERIFY LOCATION WITH ELECTRICAL PLANS.
31. 5" ADJUSTABLE LINEN SHELVES.
32. CLOTHES WASHER AND DRYER. SEE MEP PLANS FOR HOOK-UPS.
33. 10" LONG SHELF ABOVE LAUNDRY MACHINES.
34. FURNITURE SHOWN FOR SPACE PLANNING ONLY. (N.I.C.)
35. 22"x30" MIN. LOCKING ATTIC ACCESS.
36. PARTY WALL FIRE PARTITION BUILT TO BOTTOM OF FLOOR/ROOF SHEATHING. THIS SERVES AS REQ'D DRAFTSTOP AT TRUSS SPACE. FIRE BLOCK AS REQ'D. SEE DETS. 314/AT/VE.
37. REMOVABLE CABINET FRONT FOR WORK AREA. SEE 9 I 12A/A30/C.
38. RANGE WITH ACCESSIBLE CONTROLS. SEE 9 I 9A/A30/C.
39. REFRIGERATOR WITH ACCESSIBLE COMPARTMENTS. SEE 8A/A30/C.
40. SINK WITH REMOVABLE CABINET FRONT. SEE 4 I 18A/A30/C.
41. DISHWASHER WITH ACCESSIBLE CONTROLS. SEE 10A/A30/C.
42. CLOTHES WASHER AND DRYER WITH ACCESSIBLE CONTROLS. SEE 13A/A30/C.
43. ACCESSIBLE TURNING SPACE. SEE 14A/A30/C.
44. ACCESSIBLE CLOTHES ROD AND SHELF. SEE 10 I 18A/A30/C.
45. ACCESSIBLE DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 1, 15A I 19A/A30/C.
46. ACCESSIBLE PATIO DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 11A/A30/C.
47. LINEN CABINET.
48. LAVATORY IN VANITY WITH REMOVABLE CABINET FRONT. SEE 4 I 14A/A30/C.
49. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE 1, 2, 3, 4A I 17A/A30/C.
50. ACCESSIBLE BATHTUB. SEE 1 I 14A/A30/C.
51. RETAINING WALL WITH CULTURED STONE VENEER AND 42" HIGH GUARD RAIL ON TOP. SEE CIVIL PLANS FOR LENGTH AND GRADING ARROUND IT.

**DOOR SCHEDULE**

Door #	Door Location (Room Name)	Door Size	Door Material	Door Rating	Doors Type	Frame Type	Hdr. Group	Comments (note: rating of door frame and hardware to match door rating)
<b>EXTERIOR DOORS</b>								
A	UNIT MAIN ENTRY	3'-0"x6'-8"	INSUL. ST.	NONE	1	1	1	-
B	WATER ROOM	3'-0"x6'-8"	INSUL. ST.	NONE	2	1	2	-
C	UNIT GARAGE OHD	14'-0"x8'-0"	INSUL. ST.	NONE	3	2	3	-

Door Letter	Door Location (Room Name)	Door Size	Door Material	Door Rating	Doors Type	Frame Type	Hdr. Group	Comments (note: rating of door frame and hardware to match door rating)
<b>INTERIOR DOORS</b>								
D	MECH. ROOM	3'-0"x6'-8"	INSUL. ST.	20 MIN.	2	1	4	-
E	MUD ROOM	2'-8"x6'-8"	INSUL. ST.	20 MIN.	2	1	5	-
F	KITCHEN	2'-8"x6'-8"	HCUW	NONE	4	4	4	-
G	BATH/POWDER	2'-4"x6'-8"	HCUW	NONE	4	3	1	-
H	CLOSET	2'-4"x6'-8"	HCUW	NONE	4	3	8	-
J	BEDROOM	2'-4"x6'-8"	HCUW	NONE	4	3	1	-
K	CLOSET	1'-4"x6'-8"	HCUW	NONE	4	3	8	-
L	CLOSET	(2) 2'-4"x6'-8"	HCUW	NONE	4	3	9	PAIR OF DOORS
M	CLOSET	3'-0"x6'-8"	HCUW	NONE	4	3	8	-
N	BEDROOM	3'-0"x6'-8"	HCUW	NONE	4	3	1	-
P	BATHROOM	3'-0"x6'-8"	HCUW	NONE	4	3	1	-

DOOR TYPES:		ABBREVIATIONS:	
1	INSULATED STEEL, PRE-FINISHED, FLUSH PANEL, HALF LITE (SAFETY GLAZING).	ALUM. ST.	ALUMINUM STORE FRONT
2	INSULATED STEEL, PRE-FINISHED, FLUSH PANEL.	INSUL. ST.	INSULATED STEEL
3	INSULATED STEEL, PRE-FINISHED, RAISED PANEL O.H.D. w/ STEEL BACKER AND GLAZING.	HCUW	HOLLOW CORE WOOD DOOR
4	1 3/8" WOOD, PRE-FINISHED, FLUSH PANEL.	SCWD	SOLID CORE WOOD DOOR
5			

NOTE: VERIFY LOCATION OF ALL KEY FOR/CARD READERS WITH OWNER AND/OR MANAGEMENT.

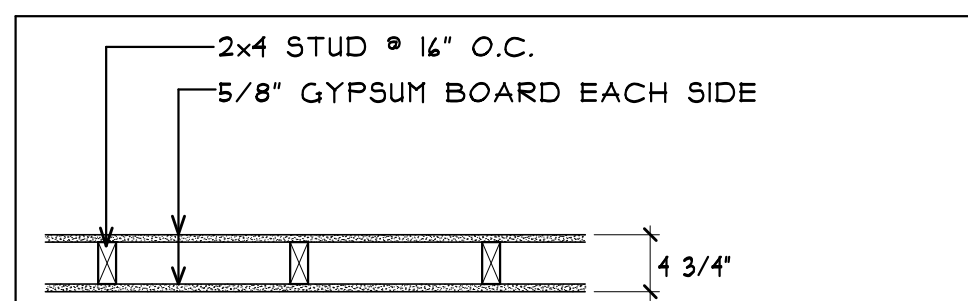
FRAME TYPES:	
1	WOOD FRAME, PRE-FINISHED.
2	NO FRAME AT THIS DOOR.
3	WOOD FRAME, PRE-FINISHED TO MATCH DOOR.
4	POCKET DOOR FRAME.

HARDWARE GROUPS:	
SCHLAGE OR EQUAL "AL" SERIES AT INTERIOR DOORS. "D" SERIES AT EXTERIOR DOORS.	
PROVIDE APPROVED LEVER HANDLES AT ALL DOORS AND BUMPERS WHERE REQUIRED.	
DOOR HARDWARE TO MATCH LABEL OF DOOR AND BE INSTALLED PER NFPA #80.	
1	ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, DEAD BOLT, ACCESSIBLE THRESHOLD, WEATHER STRIP.
2	ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, THRESHOLD, WEATHER STRIP.
3	OVER HEAD DOOR HARDWARE. PROVIDE AUTOMATIC OPENER.
4	ENTRY HARDWARE; 1 1/2 PAIR HINGES, NON-LOCKING LATCH, THRESHOLD, WEATHER STRIP.
5	ENTRY HARDWARE; 1 1/2 PAIR SPRING LOADED HINGES, LOCKING LATCH, ACCESSIBLE THRESHOLD, WEATHER STRIP.
6	POCKET DOOR HARDWARE.
7	PRIVACY HARDWARE; 1 PAIR HINGES, PUSH BUTTON LOCKING LATCH.
8	PASSAGE HARDWARE; 1 PAIR HINGES, NON-LOCKING LATCH.
9	PASSAGE HARDWARE; 2 PAIR HINGES, 2 DUMMY LATCHES, 2 ROLLER CATCHES.
10	

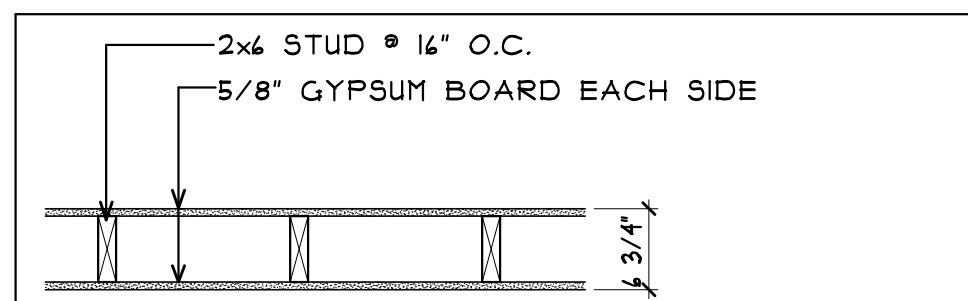
**WINDOW SCHEDULE** WINDOWS LISTED HERE ARE THERMO-TECH "CLASSIC" SERIES HIGH PERFORMANCE L&E 212

LABEL	QTY.	MANUFACTURER	MODEL NO.	DESCRIPTION	NOMINAL SIZE
A	-	THERMO-TECH	CPD4048	PATIO SLIDER	6'-0"x6'-8"
B	-	THERMO-TECH	CPD4048	PATIO SLIDER	6'-0"x6'-8"
C	-	THERMO-TECH	(2) TSH4040E	SINGLE HUNG	(2) 3'-4"x5'-0"
D	-	THERMO-TECH	TS4042E	HORIZ. SLIDER	5'-0"x3'-4"
E	-	THERMO-TECH	TS4304E	SINGLE HUNG	2'-4"x4'-0"
F	-	-	-	-	-
G	-	-	-	-	-

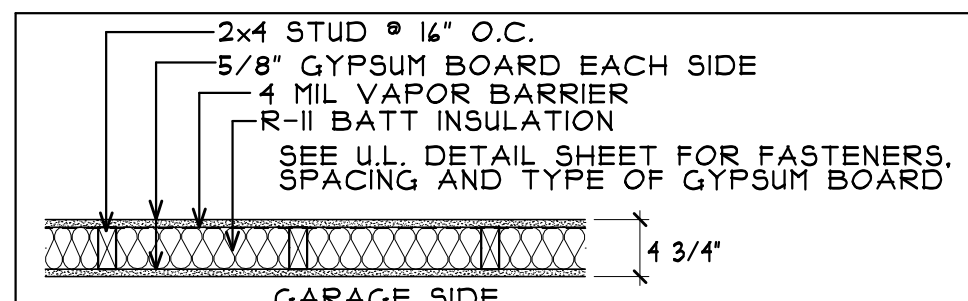
NOTE: ALL OPERABLE WINDOWS MORE THAN 4'-0" ABOVE GRADE TO MAINTAIN A SILL HEIGHT OF 36" MIN. ABOVE FINISHED FLOOR OR PROVIDE LIMITERS PER CODE. MAINTAIN 32" MIN. CLEAR AT PATIO SLIDERS IN UNIT "C".



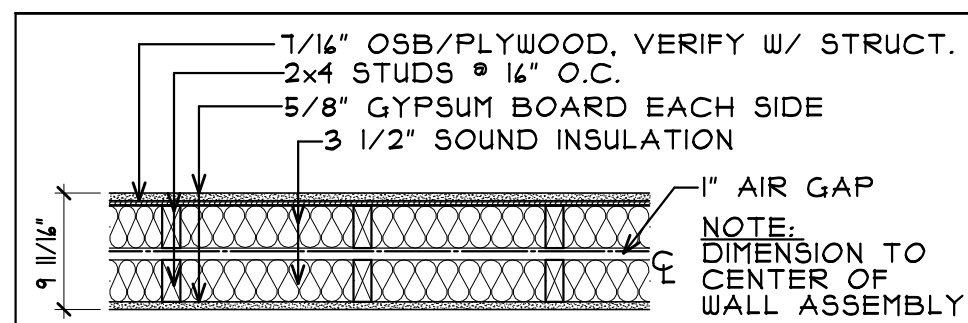
13	WALL TYPE	S.T.C. - 35
	SCALE: 3/4"=1'-0"	RATING - NONE (LOAD BEARING)
		U.L. DESIGN NO.



14	WALL TYPE	S.T.C. - 35
	SCALE: 3/4"=1'-0"	RATING - NONE (LOAD BEARING)
		U.L. DESIGN NO.

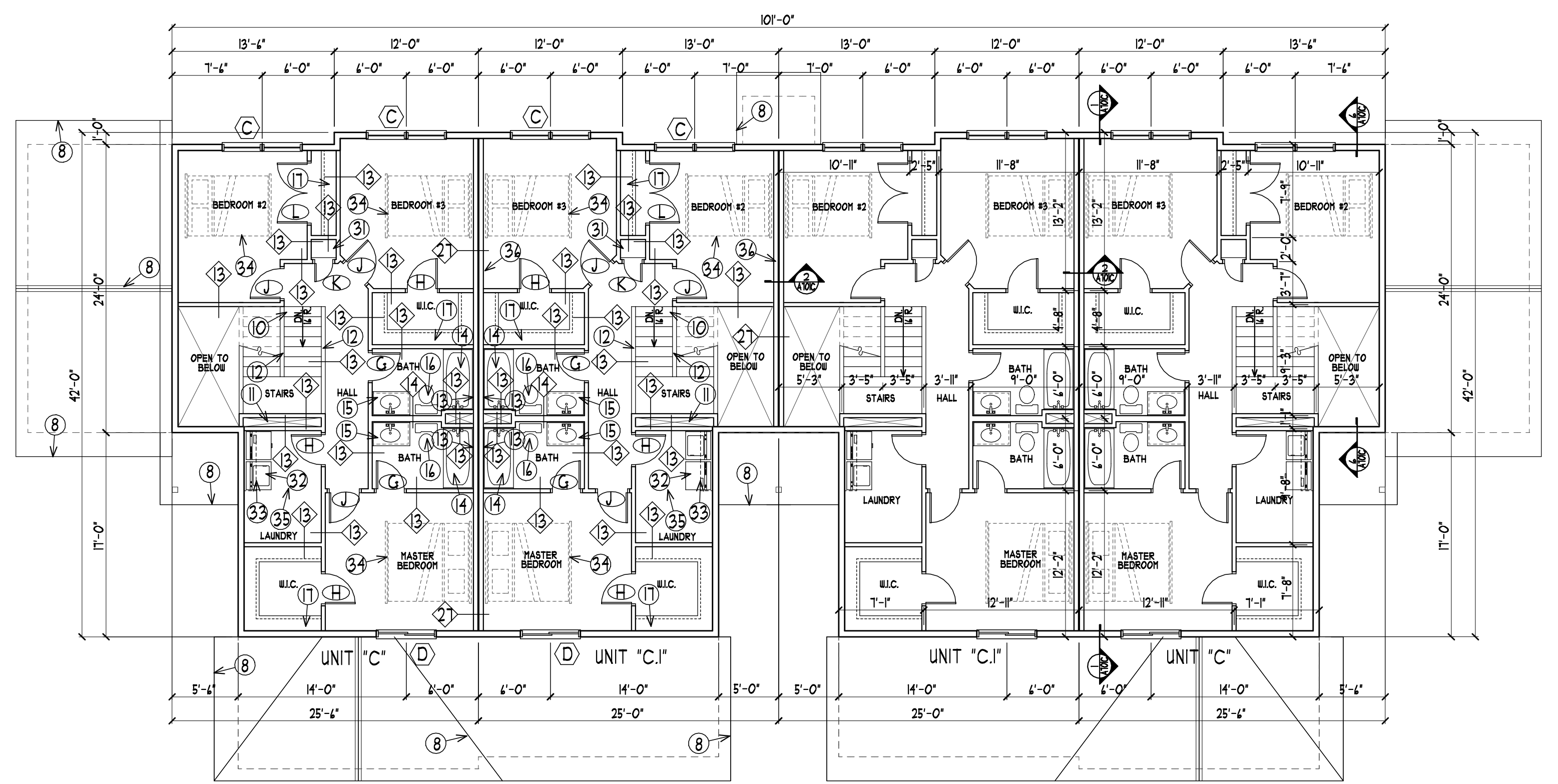
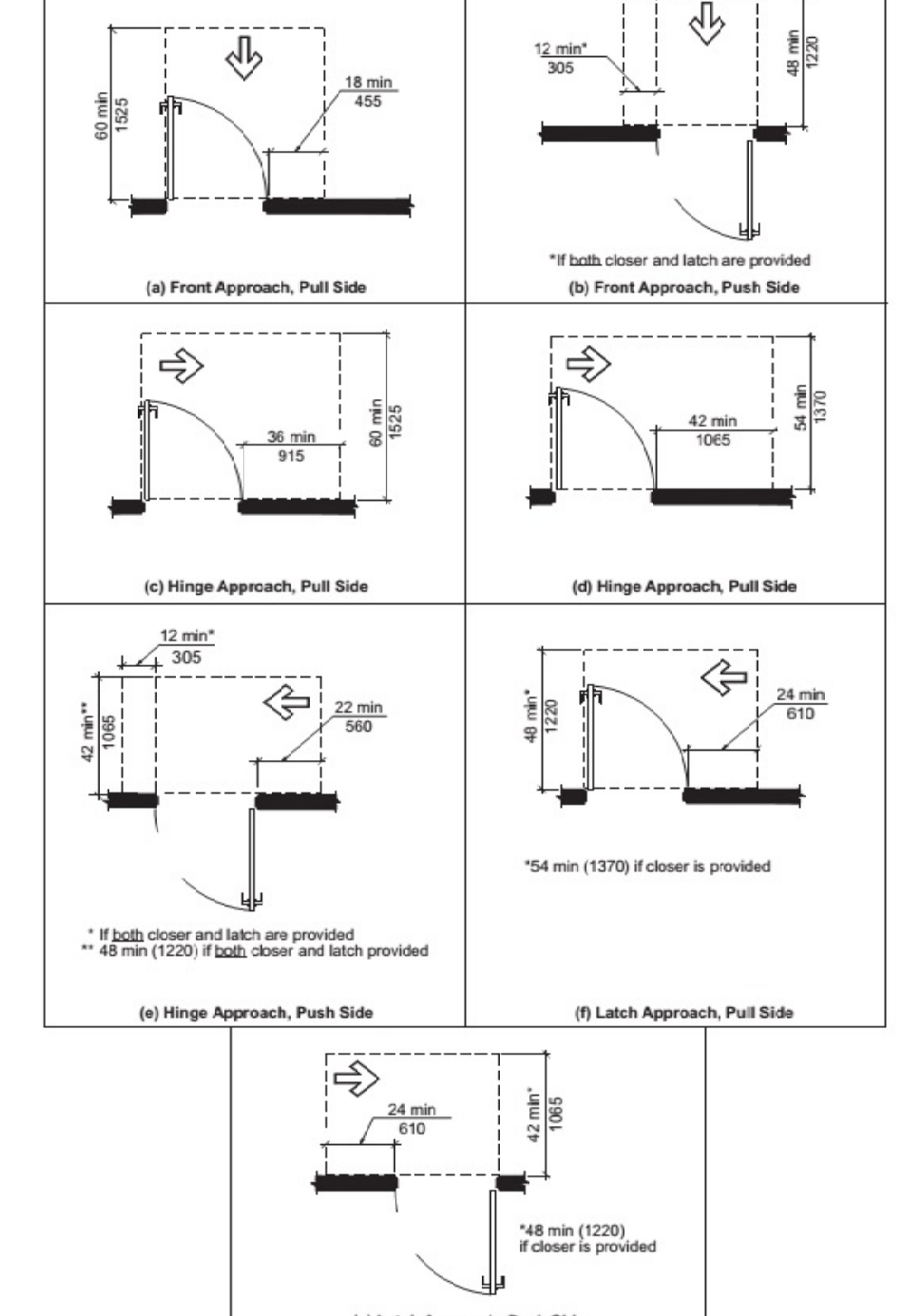


19	WALL TYPE	S.T.C. 40 PER MATERIALS USED
	SCALE: 3/4"=1'-0"	-
		-



27	WALL TYPE	S.T.C. MIN. 50
	SCALE: 3/4"=1'-0"	RATING - 1 HOUR (LOAD BEARING)
		U.L. DESIGN NO. U341

**DOOR CLEARANCE DIMENSIONS**

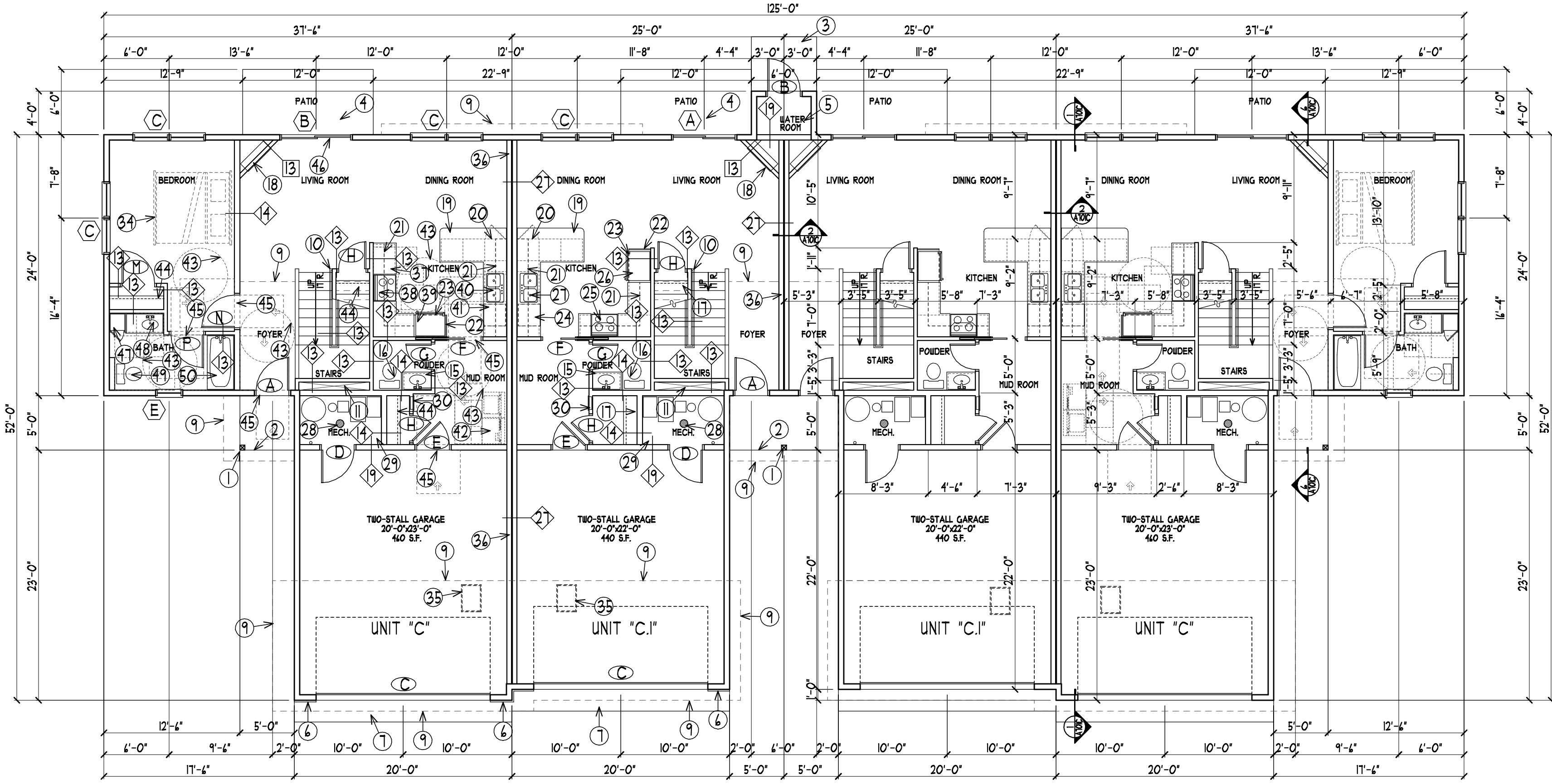


NOTES PLAN

DIMENSIONS PLAN

4 BED (3 1/2 BATHS)	3 BED (2 1/2 BATHS)	3 BED (2 1/2 BATHS)	4 BED (3 1/2 BATHS)
1000 SF. MAIN + GARAGE 901 SF. UPPER 1901 SF. TOTAL + GARAGE	100 SF. MAIN + GARAGE 811 SF. UPPER 1911 SF. TOTAL + GARAGE	100 SF. MAIN + GARAGE 811 SF. UPPER 1911 SF. TOTAL + GARAGE	1000 SF. MAIN + GARAGE 901 SF. UPPER 1901 SF. TOTAL + GARAGE

SECOND FLOOR PLAN - BLDG. "C"  
SCALE: 1/8" = 1'-0" (4) PLEX 3,410 SF.



TYPE "A" ACCESSIBLE UNIT - SEE A30C	4 BED (3 1/2 BATHS)
1000 SF. MAIN + GARAGE 901 SF. UPPER 1901 SF. TOTAL + GARAGE	

3 BED (2 1/2 BATHS)
100 SF. MAIN + GARAGE 811 SF. UPPER 1911 SF. TOTAL + GARAGE

3 BED (2 1/2 BATHS)
100 SF. MAIN + GARAGE 811 SF. UPPER 1911 SF. TOTAL + GARAGE

TYPE "A" ACCESSIBLE UNIT - SEE A30C	4 BED (3 1/2 BATHS)
1000 SF. MAIN + GARAGE 901 SF. UPPER 1901 SF. TOTAL + GARAGE	

FIRST FLOOR PLAN - BLDG. "C"  
SCALE: 1/8" = 1'-0" (4) PLEX 5,224 SF.

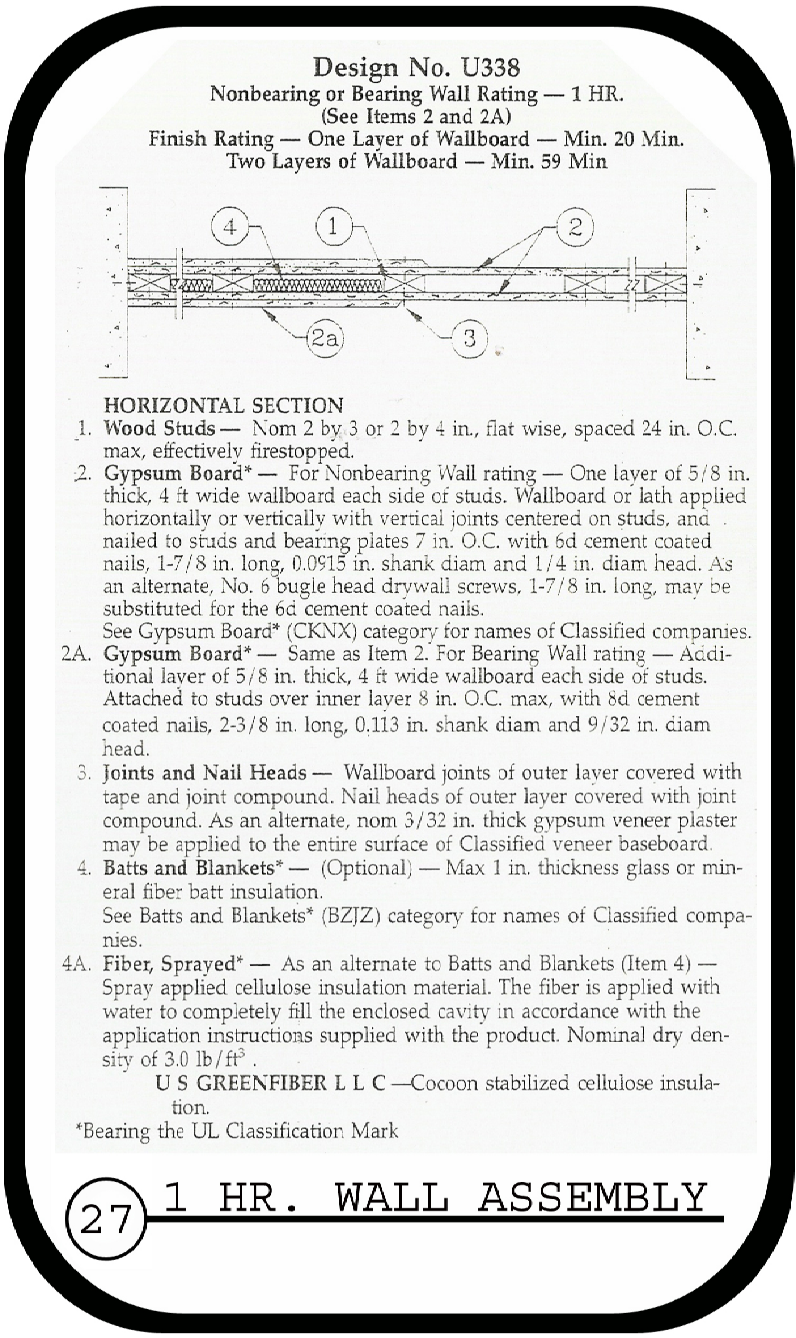
**COLE GROUP ARCHITECTS LLC**  
 211 Park Avenue South  
 Suite 102  
 Saint Cloud, MN 56301  
 www.colegrouparchitects.com

**DEVELOPER:**  
**KB KELLER/BAARTMAN**  
 ARCHITECTS  
 1100 W. WING, MN  
 (651) 388-0000

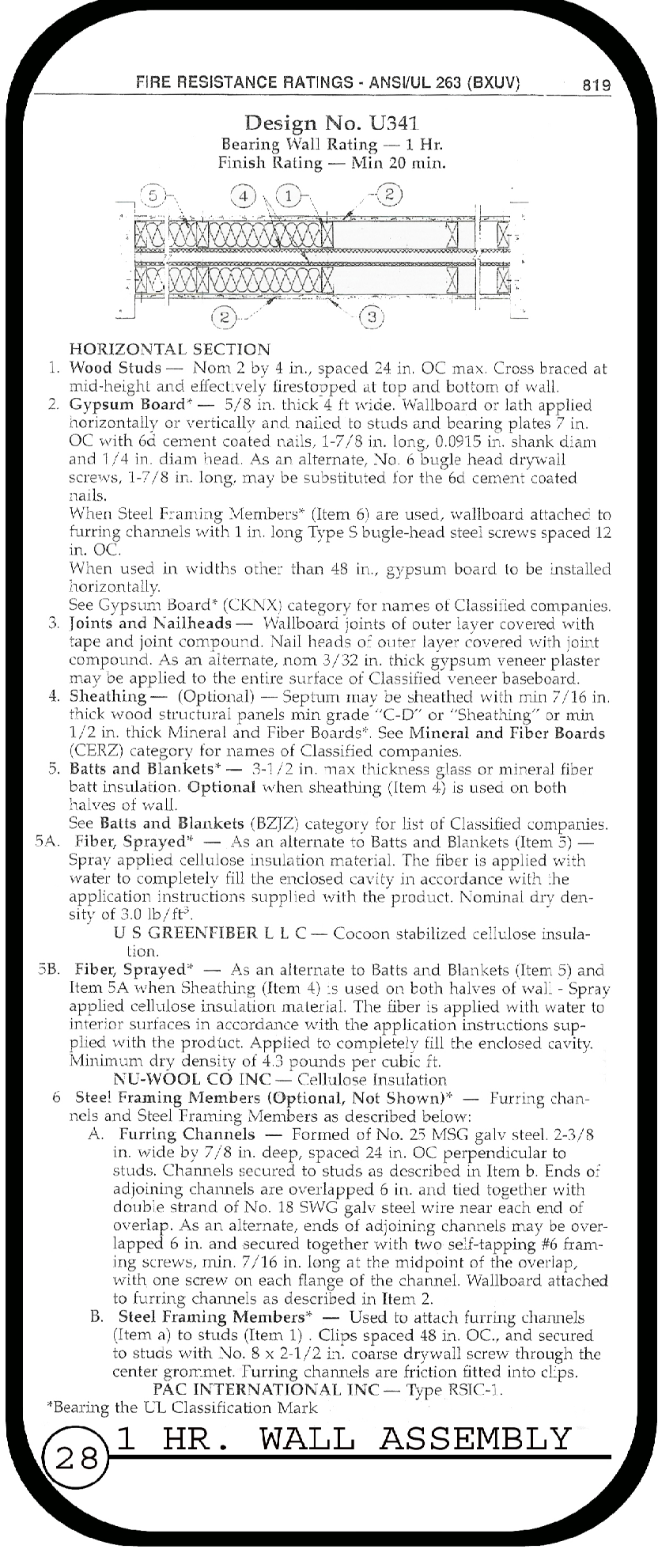
**REVISIONS COMMENTS**

Project No. 20020  
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 Document Set: PRELIMINARY  
**A101C**

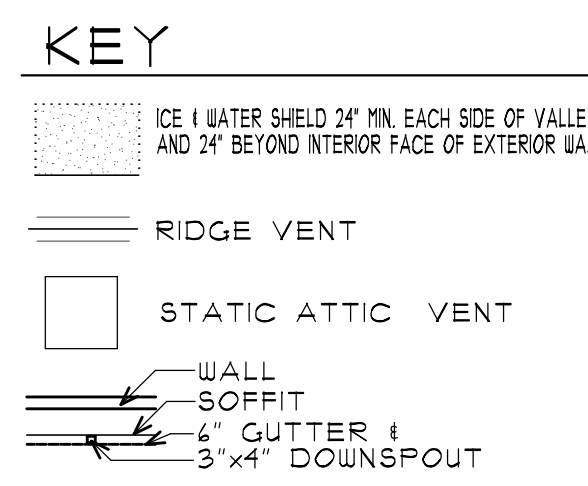
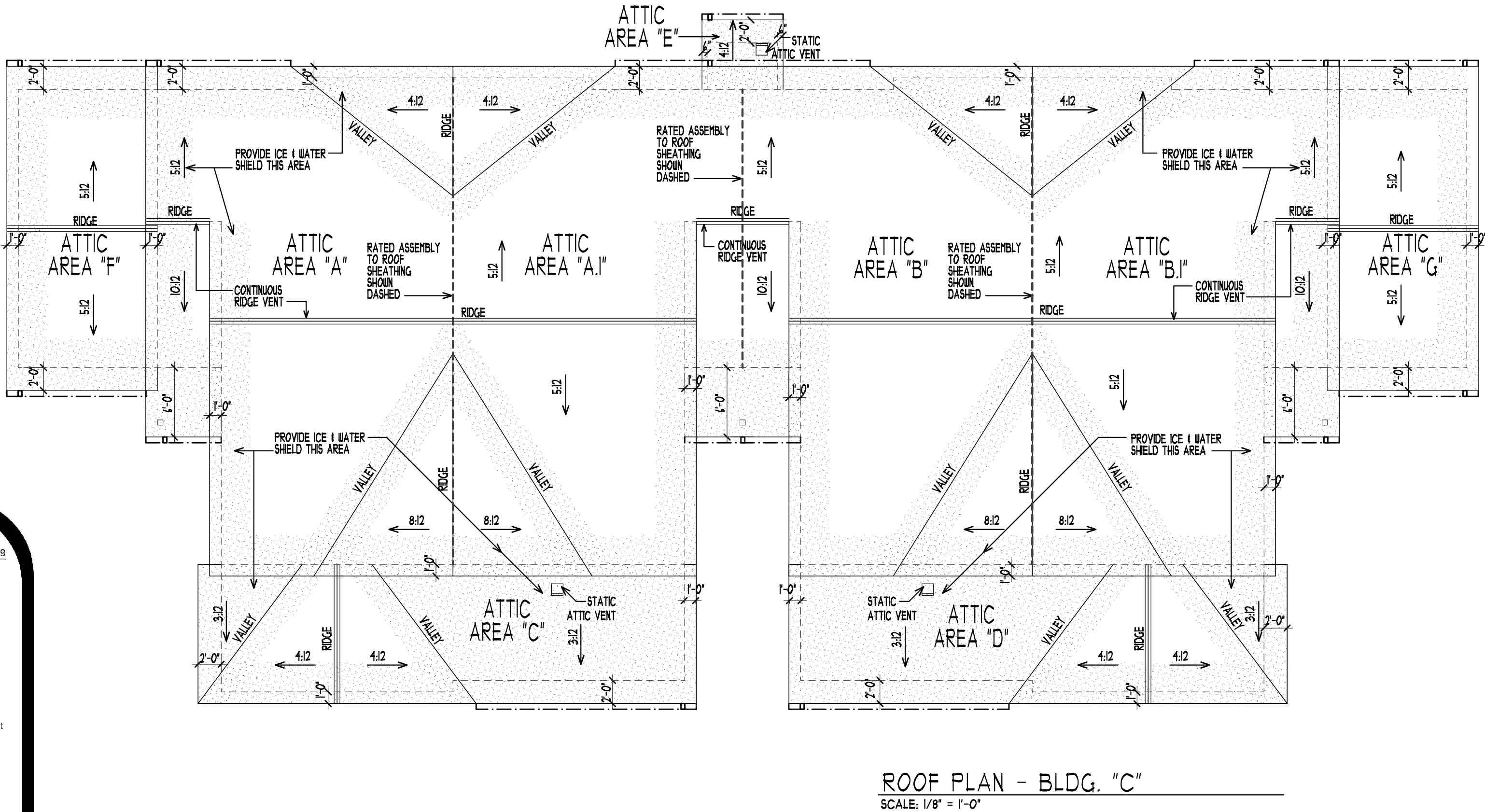
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27 1 HR. WALL ASSEMBLY

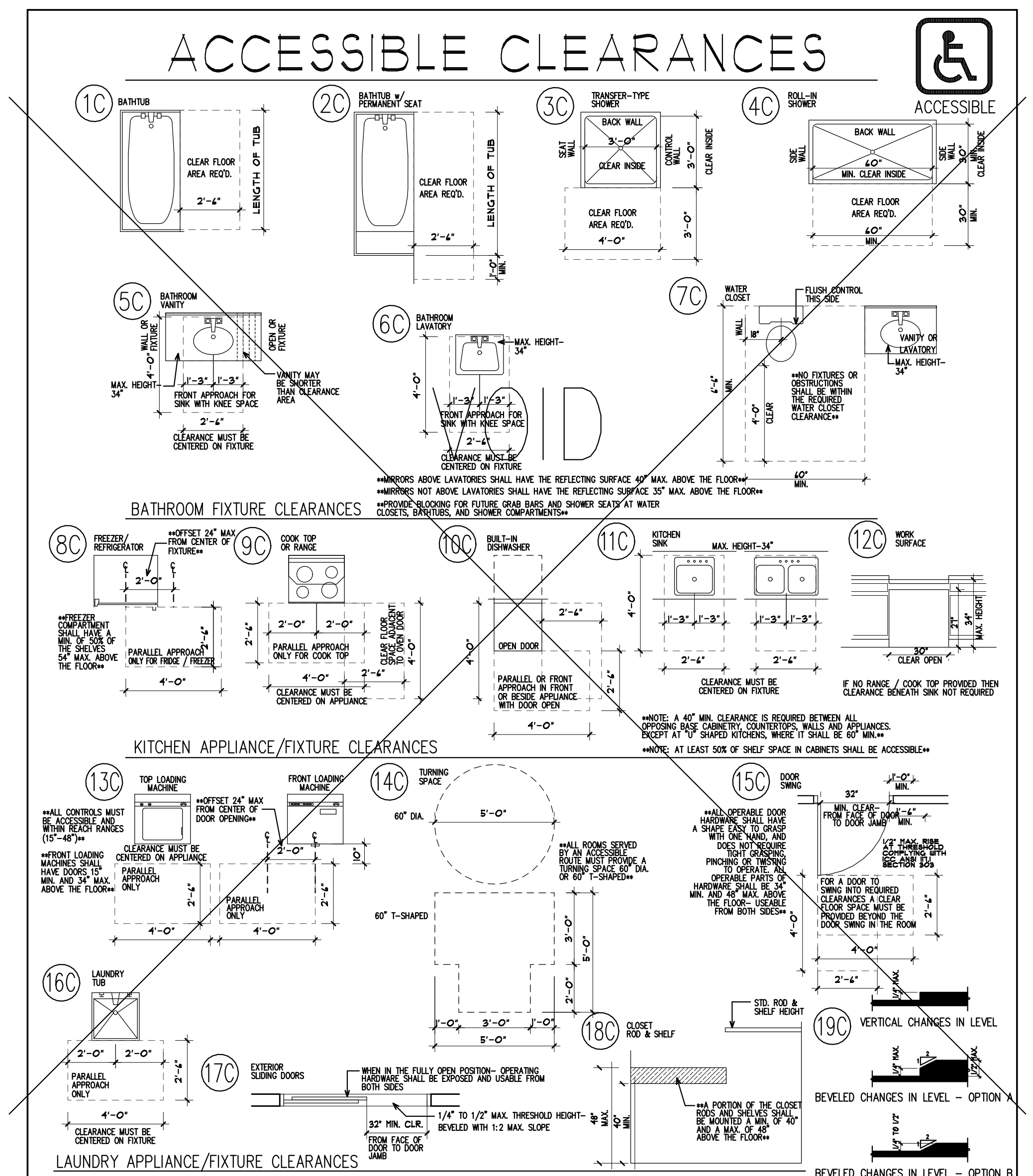
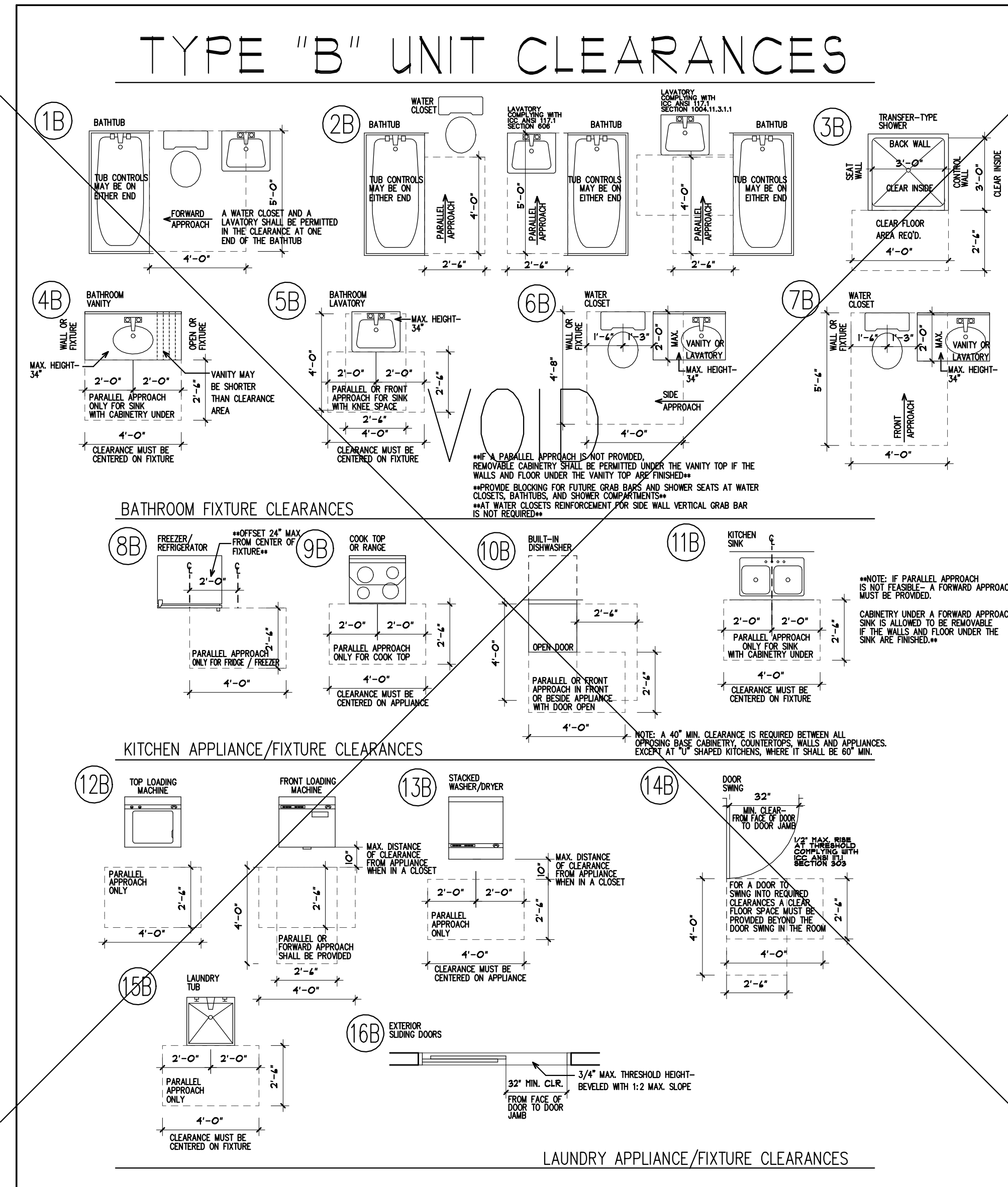
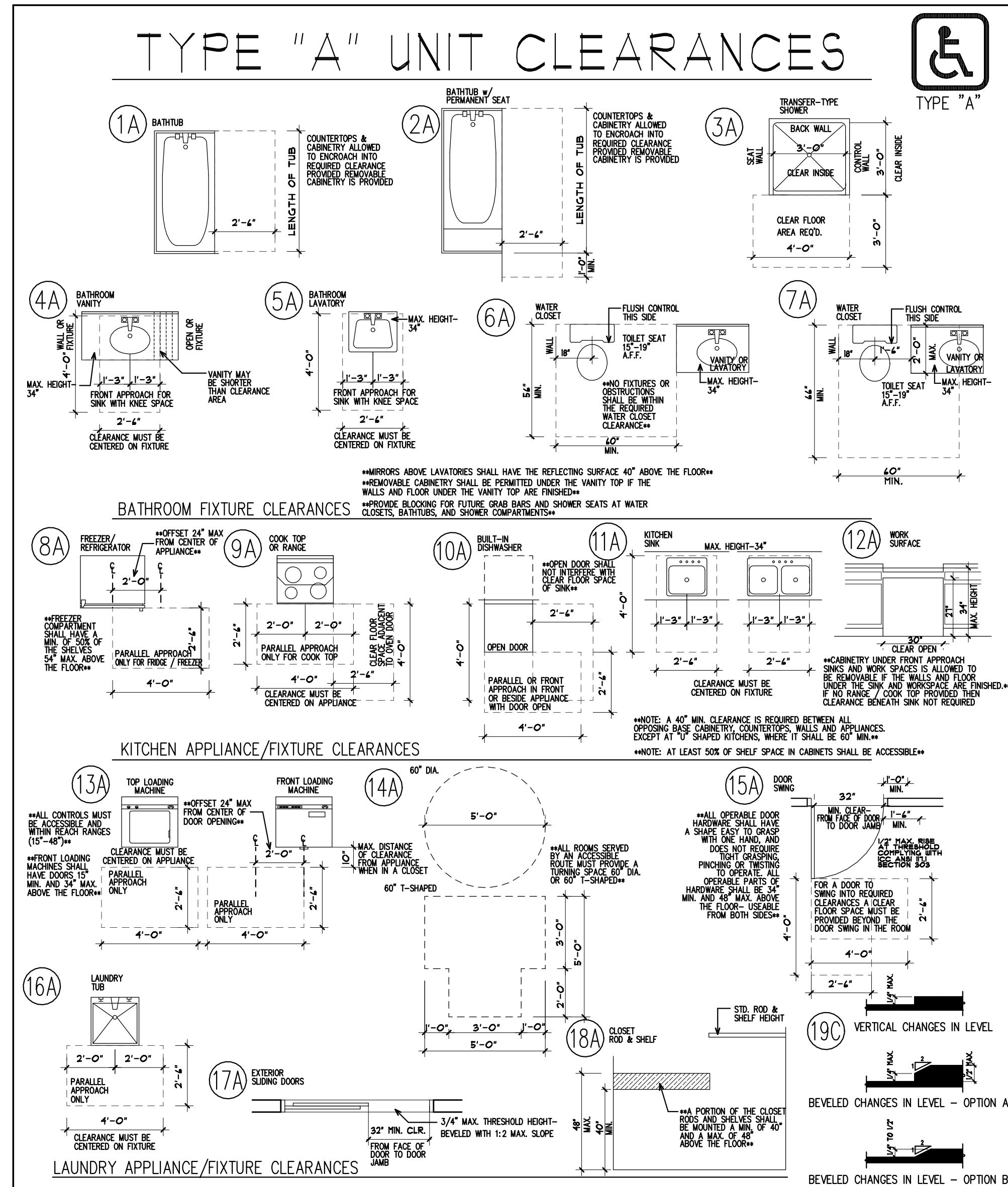
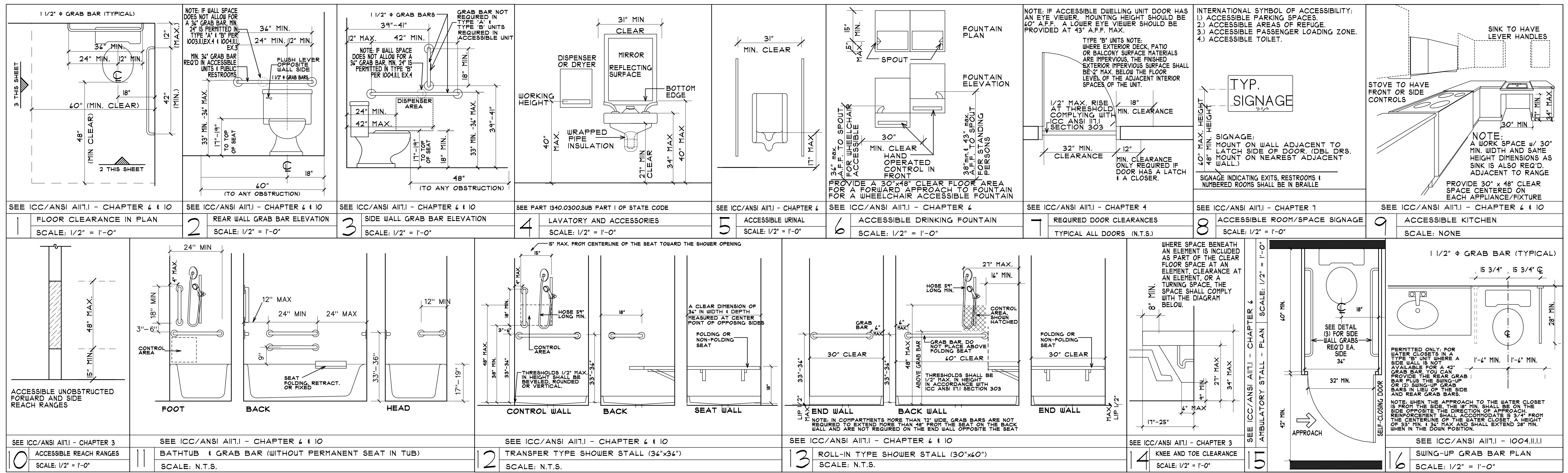


28 1 HR. WALL ASSEMBLY



- ROOF NOTES:**
- PROVIDE ATTIC DRAFT STOPS IN LINE WITH UNIT PARTY WALLS EVERY 2 UNITS OR 3,000 S.F. MAX.
  - NOTE: SEE MECHANICAL PLANS FOR ROOF TOP HVAC UNIT LOCATIONS AND CURB DETAILS.
  - NOTE: LOCATE DOWNSPOUTS AS CLOSE TO INSIDE BENDS AS POSSIBLE.
  - PAINT ALL ROOF TOP EQUIPMENT, VENT STACKS, EXHAUST FANS AND FLUES, ETC. TO MATCH ROOFING COLOR.
  - NOTE: SEE PLUMBING PLANS FOR ROOF TOP PENETRATION LOCATIONS AND FLASHING DETAILS.
  - PROVIDE ICE & WATER SHIELD AT ALL ROOF EDGES (SEE BLDG. SECTION) AND 2'-0" EACH SIDE OF VALLEYS.
  - PROVIDE PRE-CAST CONCRETE SPLASH BLOCK AT ALL DOWNSPOUT LOCATIONS.
  - SEAL ALL MECHANICAL, ELECTRICAL, PLUMBING PENETRATIONS AIR TIGHT. UTILIZE ASTM APPROVED ASSEMBLIES APPROPRIATE FOR WHERE FIRE RATED CONSTRUCTION IS INDICATED. SEE REP PLANS FOR LOCATIONS.
  - INSTALL ALL VENT STACKS ON THE REAR SIDE OF THE ROOF

GENERAL NOTES:		ATTIC VENTILATION CALCS.			
UPPER AND LOWER VENTING AREAS PROVIDED SHALL BE EQUAL	UPPER VENT AREA TO EQUAL 1/600 OR 50% OF THE REQUIRED OPENING AREA.	SOFFIT VENT TO EQUAL 1/600 OR 50% OF THE REQUIRED OPENING AREA.			
RIDGE, ATTIC AND SOFFIT VENTS TO BE DISTRIBUTED EVENLY THROUGHOUT ATTIC AREA	FULL SOFFIT VENT: 25.92 S.I./L.F. OF SOFFIT (24" DEEP SOFFIT)	RIDGE VENT: 18 S.I./L.F.		STATIC ATTIC VENT: 144 S.I.	
ALL CALCULATED AREAS ARE MINIMUMS MORE MAY BE PROVIDED (EQUALLY)		MINIMUM PROVIDED VENTILATION			
ALL VENTING AREAS ARE ASSUMED SEE PRODUCT SPECS. FOR ACTUAL NUMBERS		ATTIC ZONE	ATTIC AREA	REQ'D ATTIC VENTILATION	
ALL RIDGE VENTING TO BE FILTERED TO PREVENT SNOW INFILTRATION		A1 A1 UPPER LEFT UNIT ROOF	452 S.F.	1.59 S.F. (224 S.I.) IN SOFFIT AND UPPER EACH	8.9 L.F. SOFFIT VENT 12.8 L.F. RIDGE VENT OR 2 STATIC ATTIC VENTS
		B1 B1 UPPER RIGHT UNIT ROOF	452 S.F.	1.59 S.F. (224 S.I.) IN SOFFIT AND UPPER EACH	8.9 L.F. SOFFIT VENT 12.8 L.F. RIDGE VENT OR 2 STATIC ATTIC VENTS
		C LOWER LEFT GARAGE ROOF	420 S.F.	0.70 S.F. (101 S.I.) IN SOFFIT AND UPPER EACH	3.9 L.F. SOFFIT VENT 5.4 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT
		D LOWER RIGHT GARAGE ROOF	420 S.F.	0.70 S.F. (101 S.I.) IN SOFFIT AND UPPER EACH	3.9 L.F. SOFFIT VENT 5.4 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT
		E WATER ROOM ROOF	24 S.F.	0.04 S.F. (4 S.I.) IN SOFFIT AND UPPER EACH	0.3 L.F. SOFFIT VENT NO RIDGE VENT 1 STATIC ATTIC VENT
		F FLOWER LEFT UNIT ROOF	288 S.F.	0.48 S.F. (41 S.I.) IN SOFFIT AND UPPER EACH	2.1 L.F. SOFFIT VENT 3.9 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT
		G FLOWER RIGHT UNIT ROOF	288 S.F.	0.48 S.F. (41 S.I.) IN SOFFIT AND UPPER EACH	2.1 L.F. SOFFIT VENT 3.9 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT



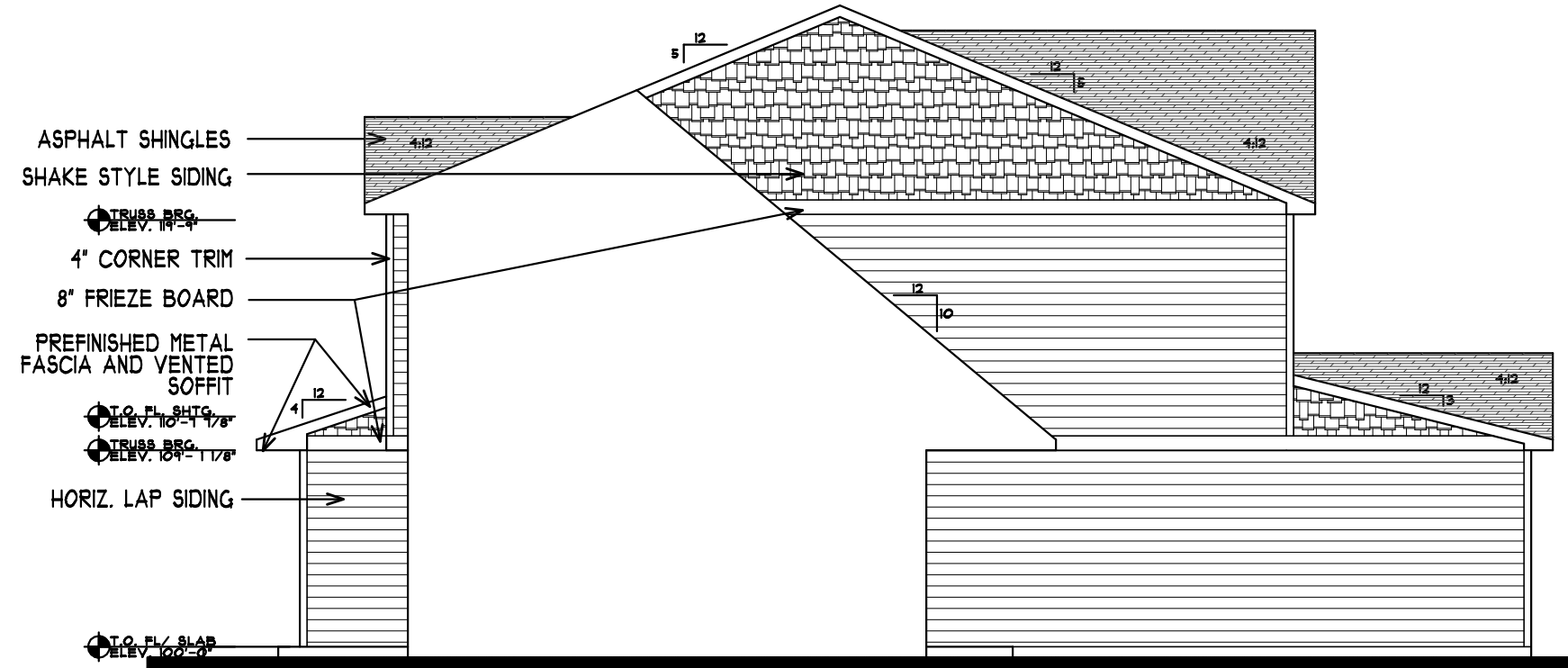
DEVELOPER: **KB KELLER/BAARTMAN** ARCHITECTS  
 PROJECT: **VILLAS OF RIVERS RIDGE**  
 ADDRESS: **RED WING, MN**  
 CONTACT: **RED WING, MN (651) 388-0000**  
 PROJECT NO: **20020**  
 ISSUE DATE: **PRELIMINARY**  
 DOCUMENT SET: **A301C**  
 PLOTTED: 05-29-20 FILE: 20020A04.COM: 3 UPDATE: 03/17/20

**GENERAL NOTES:**

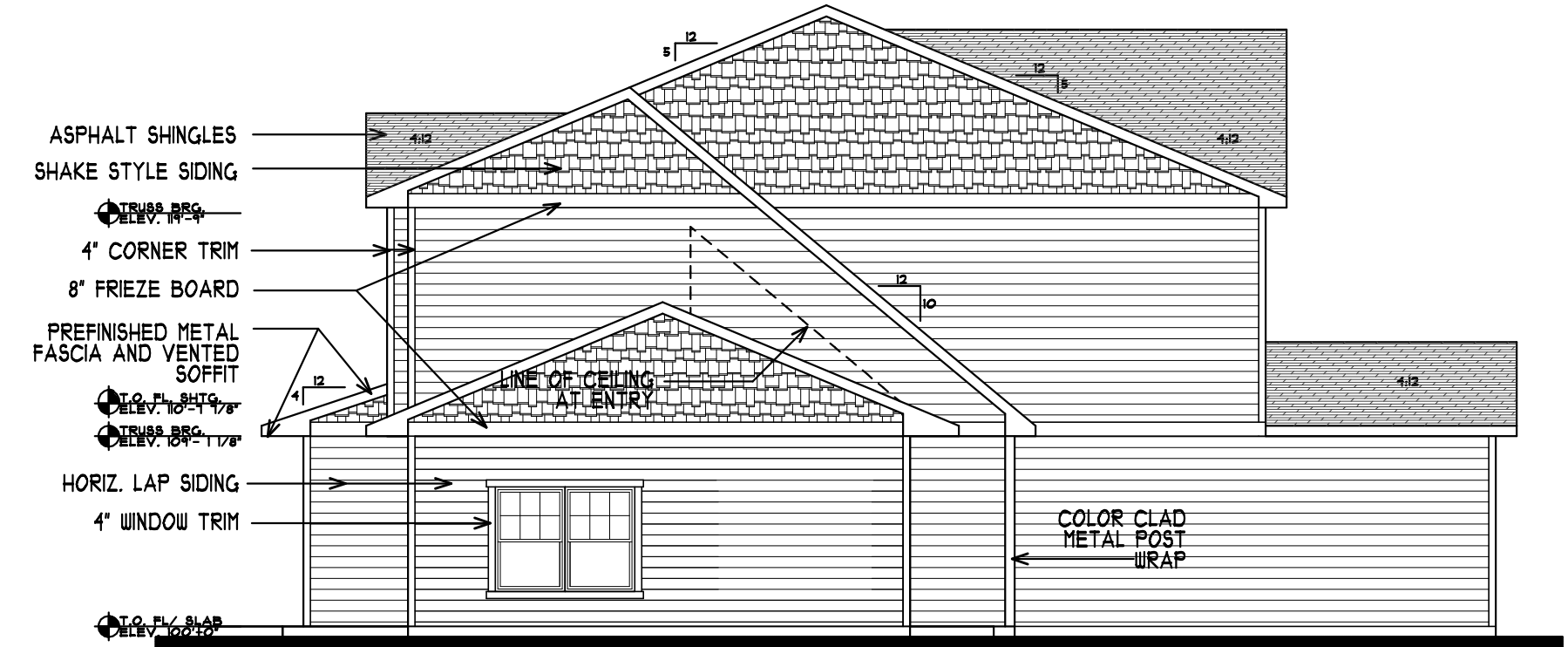
- A.) ALL OVERHEAD GARAGE DOORS TO HAVE SOFFIT LIGHTS (2 LTS @ DOUBLE & 1 LT @ SINGLE DOOR)
- B.) ALL LOWER ROOFS TO HAVE PRE-FIN. GUTTERS & DOWNSPOUTS
- C.) ALL PATIO DOORS TO HAVE EXTERIOR WALL LIGHTS



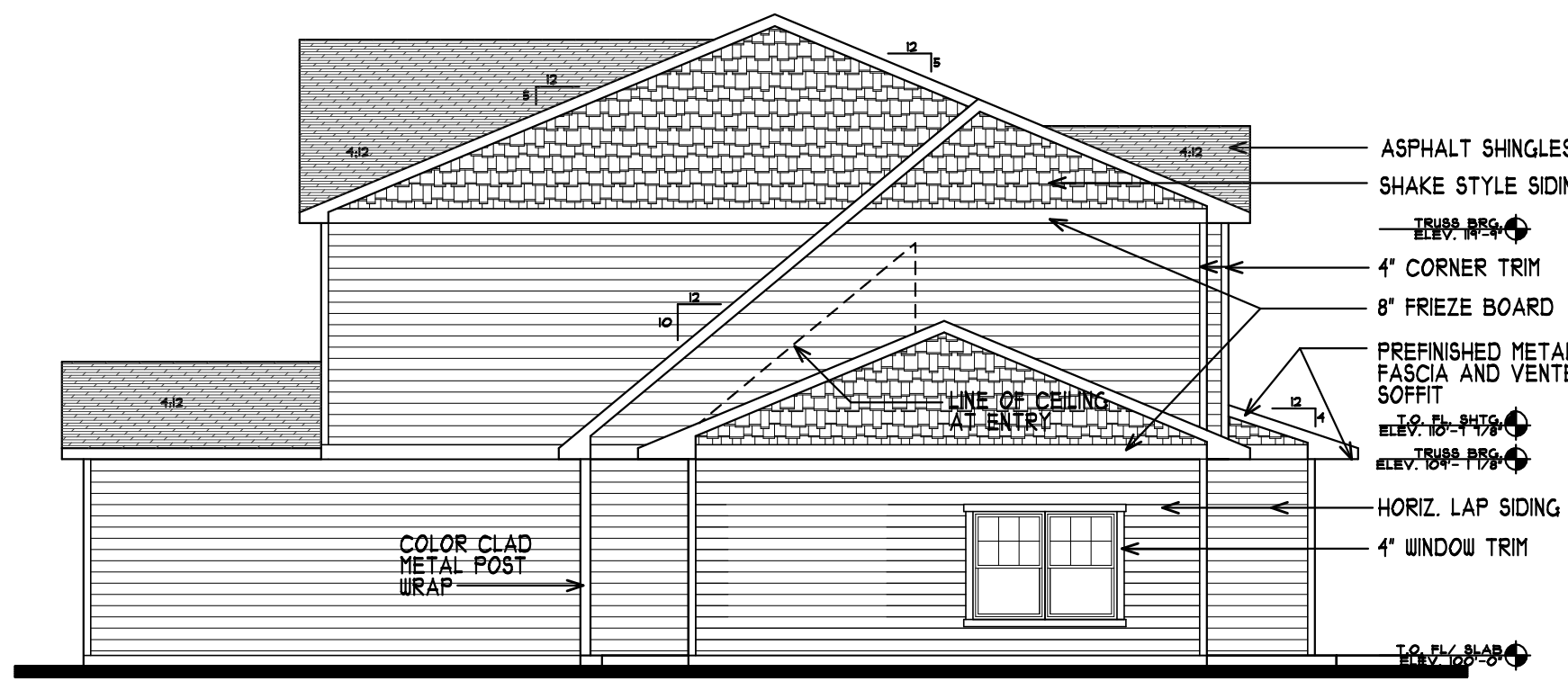
FRONT ELEVATION - BLDG. "C"  
SCALE: 1/8" = 1'-0"



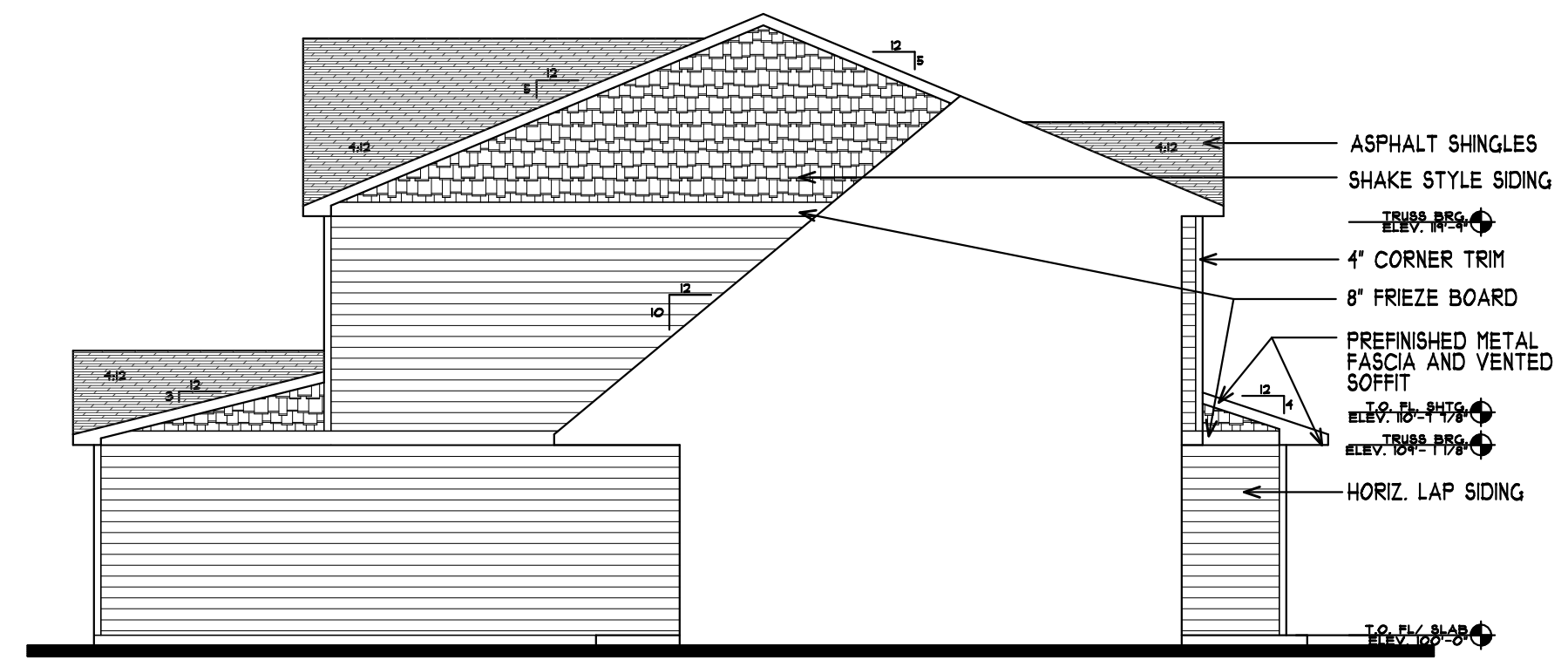
RIGHT INT. ELEV. - BLDG. "C"  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION - BLDG. "C"  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION - BLDG. "C"  
SCALE: 1/8" = 1'-0"



LEFT INT. ELEV. - BLDG. "C"  
SCALE: 1/8" = 1'-0"



REAR ELEVATION - BLDG. "C"  
SCALE: 1/8" = 1'-0"

COLE GROUP ARCHITECTS LLC  
 214 Park Avenue South  
 Suite 100  
 Minneapolis, MN 55401  
 (612) 338-4510  
 www.colegrouparchitects.com

DEVELOPER:  
**KB KELLER/BAARIMAN**  
 PROPERTIES  
 RED WING, MN  
 RIVERS RIDGE  
 RED WING, MN  
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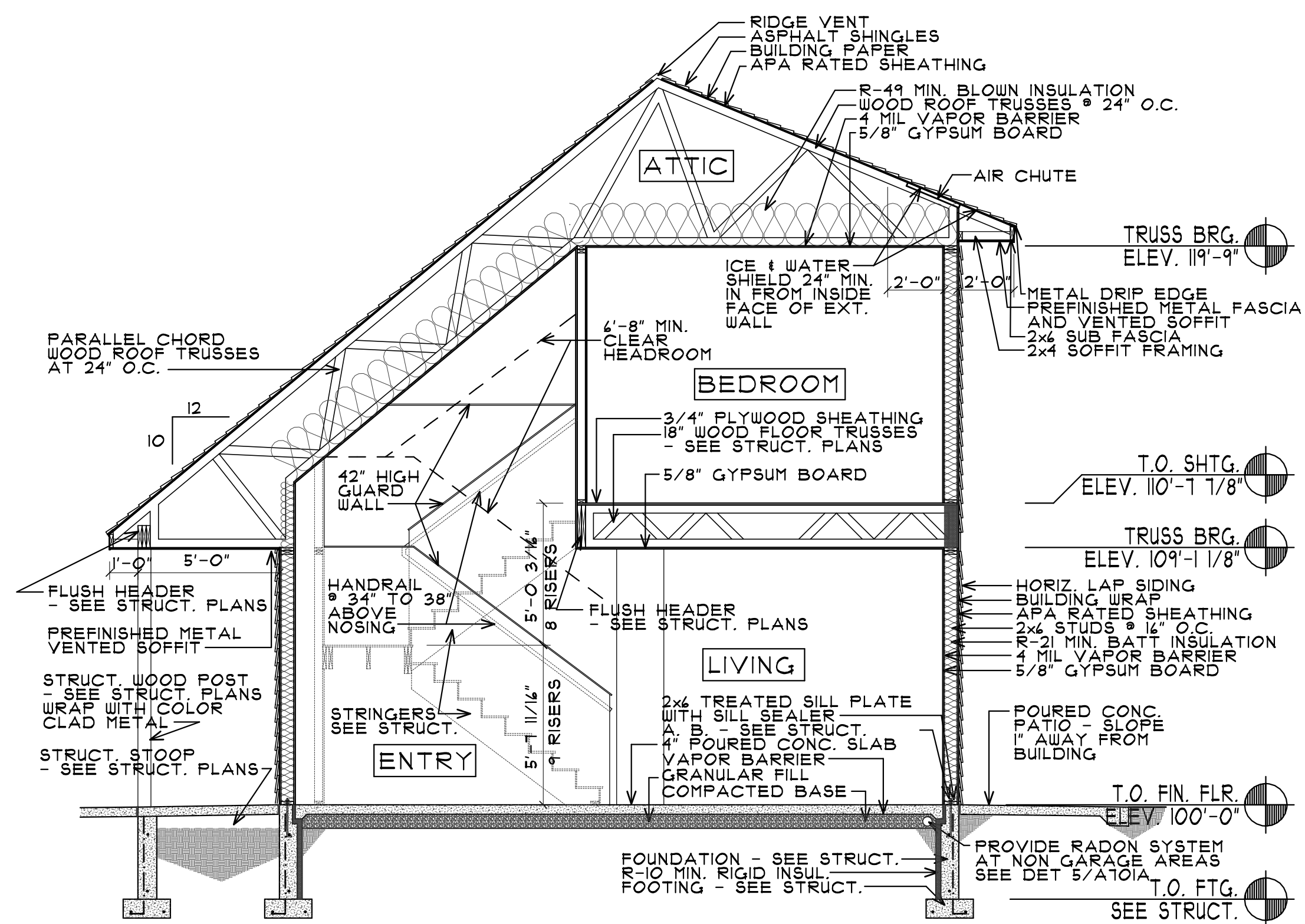
4 UNIT TOWNHOME FOR:

Project No.  
 20020  
 Issue Date:  
 Document Set:  
 PRELIMINARY

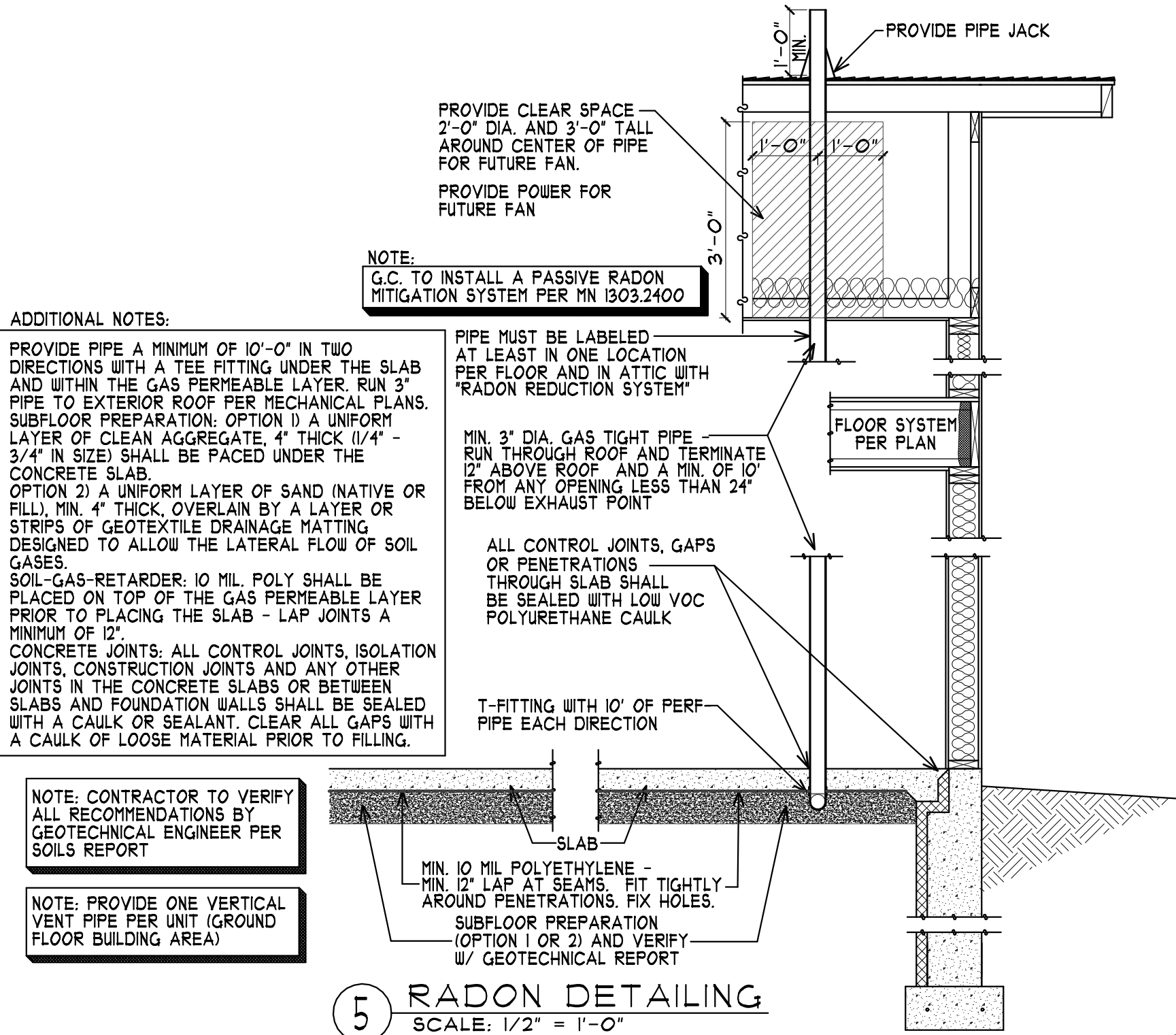
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PLOTTED: 05-29-20 FILE: 20020E COM: 3

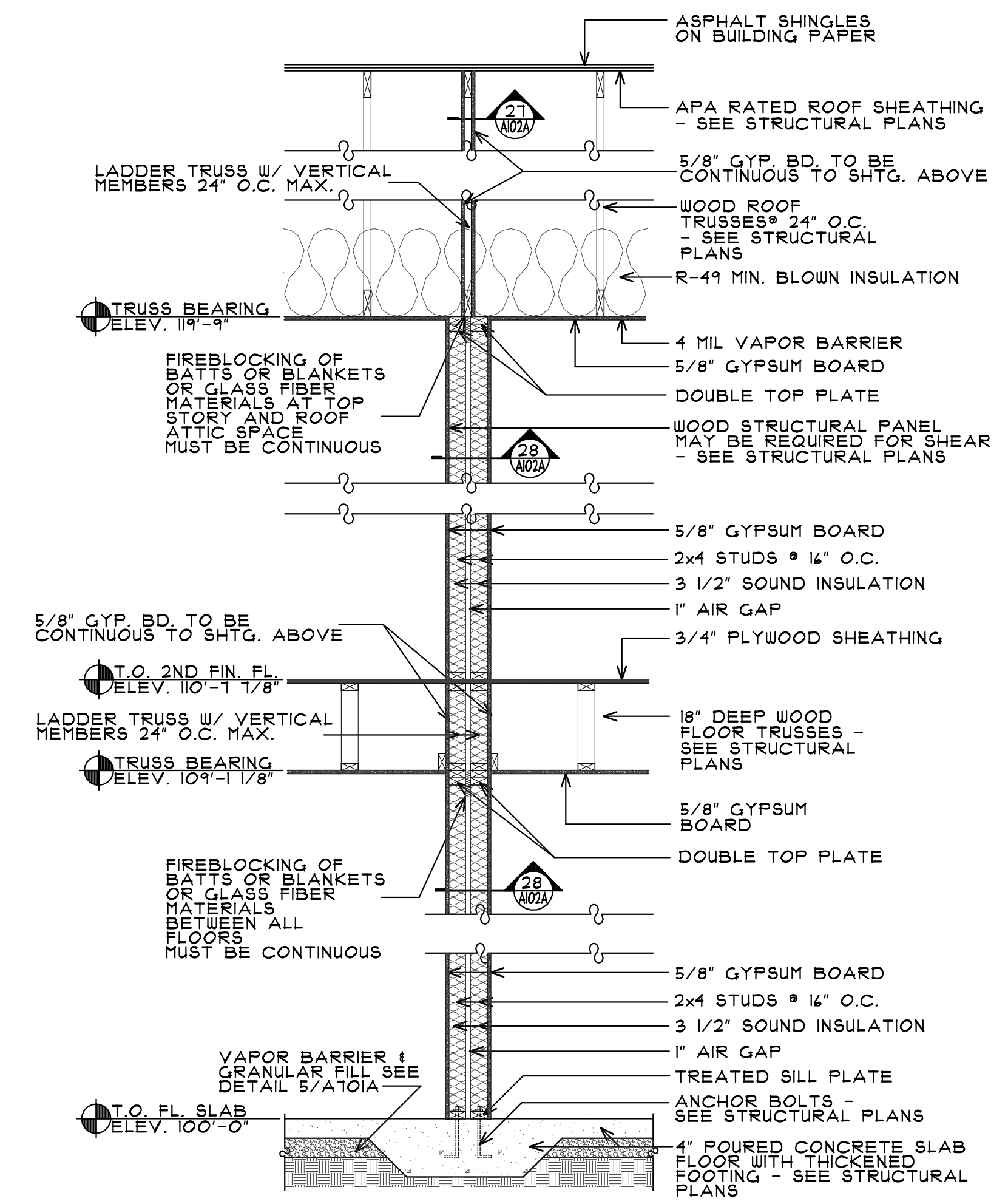
These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid.  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA  
 Name: NORMAN E. COLE



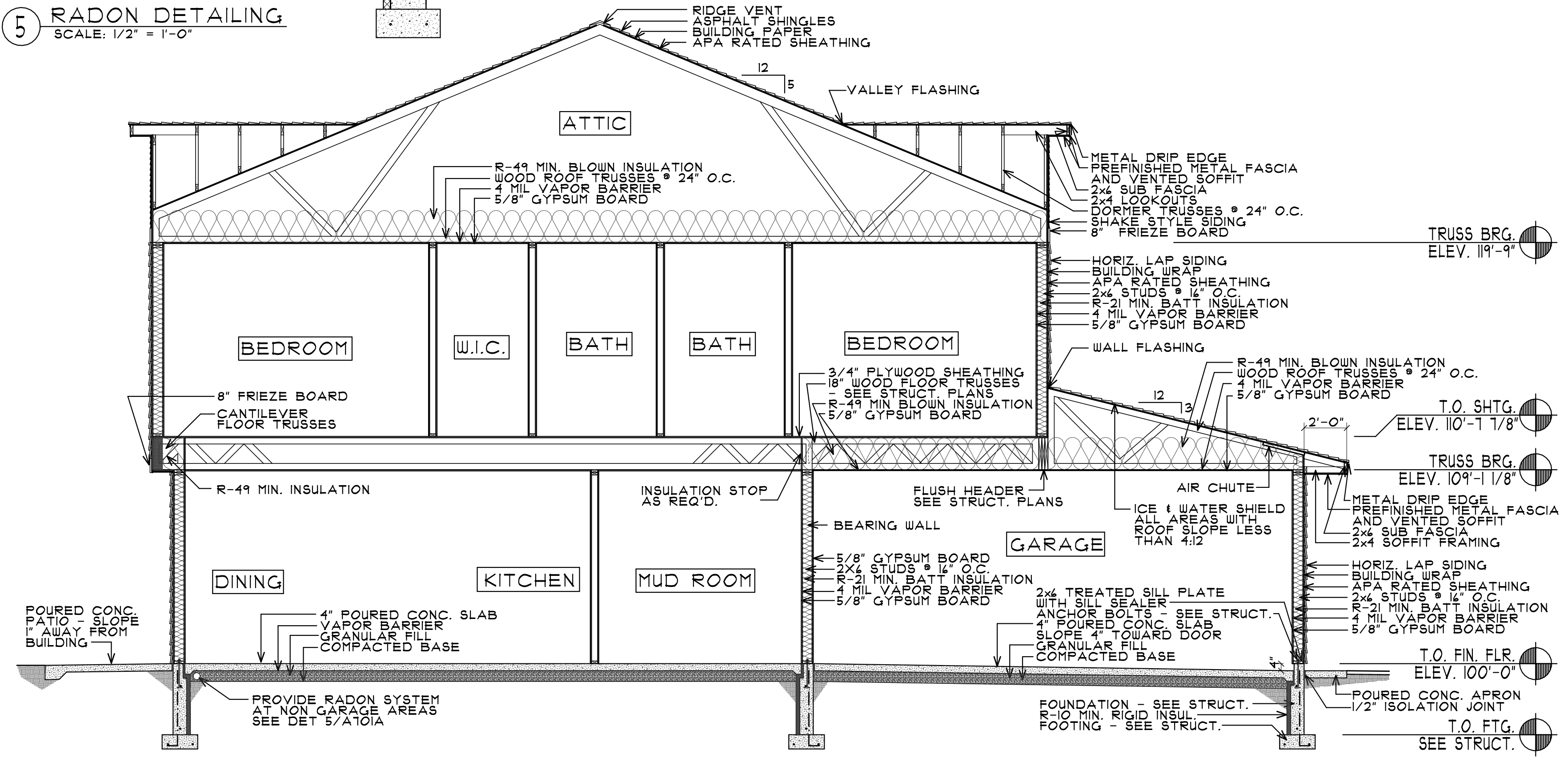
**6 ENTRY SECTION**  
SCALE: 1/4" = 1'-0"



**5 RADON DETAILING**  
SCALE: 1/2" = 1'-0"



**2 COMMON WALL SECTION**  
SCALE: 1/2" = 1'-0"



**1 GARAGE SECTION**  
SCALE: 1/4" = 1'-0"

COLE GROUP ARCHITECTS LLC  
 216 Park Avenue South  
 Suite 102  
 Saint Cloud, MN 56301  
 (507) 451-4570  
 www.colegrouparchitects.com

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Project No. 20020  
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 A701C

PLOTTED: 05-29-20 FILE: 20020.D COM: 3