

LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
 OWATONNA, MN



ABOVE IMAGE FOR GRAPHIC ILLUSTRATION ONLY, NOT TO BE INTERPRETED FOR CONTRACTUAL OBLIGATION

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LIST OF ABBREVIATIONS

Key Name	LIST OF ABBREVIATIONS DESCRIPTION
A/E	ARCHITECT/ENGINEER
AC	ALTERNATING CURRENT
ACI	AMERICAN CONCRETE INSTITUTE
ACM	ASBESTOS CONTAINING MATERIAL
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
AFJ	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
AISI	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT	ALTERNATE
ALUM	ALUMINIUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ARCH	ARCHITECT
ASI	ARCHITECTURAL SUPPLEMENTAL INSTRUCTION
AWI	AMERICAN WOODWORKING INSTITUTE
B	BOARD
BD	BOARD
BLDG	BUILDING
BM	BEAM
BT	TREATED
BS	BEARING
BTU	BRITISH THERMAL UNITS
BUET	BUILT UP ROOFING
CB	CABINET
CB	CATCH BASIN
CG	CORNER GUARD
CAST IRON	CAST IRON
CP	CAST IN PLACE
CL	CONTROL JOINT
CLJ	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CONC	CONCRETE
CPT	CARPET
CSMT	CASEMENT
CSWK	CASEWORK
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
CWT	CERAMIC WALL TILE
DEMO	DEMOLITION
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIAM	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DOC	DOCUMENT
DR	DOOR
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EACH	EACH
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRIC
ELEV	ELEVATION/ELEVATION
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EW	ELECTRIC WATER COOLER
EXIST	EXISTING
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FEE	FURNITURE, FIXTURE, AND EQUIPMENT
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FND	FOUNDATION
FTG	FOOTING
FWC	FABRIC WALL COVERING
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS OR GLAZING
GWB	GYPSPUM WALL BOARD
HB	HOSE BIB
HCP	HANDICAP
HDW	HARDWARE
HDWD	HARDWOOD
HML	HOLLOW METAL
HORIZ	HORIZONTAL
HT	HEIGHT
IBC	INTERNATIONAL BUILDING CODE
INSUL	INSULATION
JAN	JANITOR
LAM	LAMINATE
LAV	LAVATORY
MAS	MASONRY
MB	MARREROBOARD
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MH	MANHOLE
ML	MATCHLINE
MTL	METAL
MTL STD	METAL STUD
NC	NON COMBUSTIBLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFIO	OWNER FURNISHED OWNER INSTALLED
OH	OVERHEAD
OSB	ORIENTED STRAND BOARD
PB	PARTICLE BOARD
PC	PRECAST
PLAM	PLASTIC LAMINATE
PLAST	PLASTER
PLYWD	PLYWOOD
PREV	PREVIOUS
PRF	PAPER TOWEL DISPENSER
PTD	PAPER TOWEL DISPENSER
RAD	RADIUS
REIN	REINFORCEMENT

LIST OF ABBREVIATIONS

Key Name	LIST OF ABBREVIATIONS DESCRIPTION
REQ'D	REQUIRED
REV	REVERSE
RM	ROOM
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SD	SMOKE DETECTOR
SECT	SECTION
SHT	SHEET
SM	SIMILAR
SPEC	SPECIFICATIONS
SPD	SOAP DISPENSER
SUSP	SUSPEND
TEMP	TEMPORARY/TEMPERATURE
TO	TOP OF
TP	TOILET PARTITIONS
TRD	TOILET PAPER DISPENSER
TRETD	TREATED
TS	TRANSITION STRIP
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
W/	WITH
WD	WOOD
WDDW	WINDOW

PROJECT MATERIAL ID LIST

MATERIAL ID	SPEC. SECTION & DESCRIPTION
06 1000	ROUGH CARPENTRY
ACT-1	09 5100 - ACOUSTICAL CEILING TILE SYSTEM
AIR BAR-1	07 2200 - AIR BARRIERS, MECHANICALLY FASTENED
ALUM STOR-1	08 2000 - ALUMINUM FRAMED STOREFRONT
BRICK TIE	04 2000 - BRICK TIE
BRICK-1	04 2000 - FACE BRICK
CAST UNDMNT-1	03 5400 - GYPSUM BASED UNDERLAYMENT
CAST UNDMNT-11	03 5400 - GYPSUM BASED UNDERLAYMENT W/ SOUND CONTROL MEMBRANE
CMU-1	04 2000 - NORMAL WEIGHT CMU
CONR GRD-1	10 2501 - FLUSH MOUNTED EXTRUDED ALUMINIUM CORNER GUARD
CPT-1	09 6800 - CARPET, BROADLOOM
CPT-2	09 6800 - CARPET, BROADLOOM
CPT-3	09 6800 - CARPET, BROADLOOM
CPT-4	09 6800 - CARPET, BROADLOOM
CPT-5	09 6800 - CARPET, BROADLOOM
CPT-6	09 6800 - CARPET, BROADLOOM
CRTN ROD-1	10 2800 - SHOWER CURTAIN ROD, STRAIGHT
DISHWASHER-1	11 3100 - DISHWASHER
DRAIN BRD-1	07 1000 - DRAINAGE BOARD
DRYER-1	11 3100 - CLOTHES DRYER
EPDM-2	07 5300 - FULLY ADHESIVE EPDM ROOFING SYSTEM
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET
FR STOP	07 8400 - THROUGH PENETRATION FIRESTOPPING
FRIDGE-1	11 3100 - REFRIGERATOR
GRAB BAR-1B	10 2800 - STAINLESS STEEL GRAB BAR, 18"
GRAB BAR-36	10 2800 - STAINLESS STEEL GRAB BAR, 36"
GRAB BAR-42	10 2800 - STAINLESS STEEL GRAB BAR, 42"
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE "X" GYPSUM BOARD
GYP BD-4	09 2116 - 5/8" FIRE-RATED TYPE "C" GYPSUM BOARD
GYP BD-5	09 2116 - 1/2" FIRE-RATED TYPE "X" MOLD-RESISTANT GYPSUM BOARD
GYP BD-20	09 2116 - 1" FIRE-RATED TYPE "X" GYPSUM SHAFT LINER
INSUL GL-1	08 8000 - 1" CLEAR INSULATED GLASS
INSUL GL-1	08 8000 - 1" CLEAR INSULATED TEMPERED GLASS
INSUL-1	07 2100 - EXTRUDED POLYSTYRENE INSULATION W/ DRAINAGE CHANNELS
INSUL-2	07 2100 - EXTRUDED POLYSTYRENE INSULATION
INSUL-15	07 2100 - POLYISOCYANURATE INSULATION, FOL FACED
INSUL-20	07 2100 - POLYISOCYANURATE BOARD INSULATION
INSUL-23	07 2100 - ROCK WOOL EXTERIOR CAVITY BOARD INSULATION
INSUL-33	07 2126 - BULK CELLULOSE FIBER INSULATION FOR PNEUMATIC PLACEMENT
INSUL-34	07 2126 - BULK FIBERGLASS INSULATION FOR PNEUMATIC PLACEMENT
INSUL-36	07 2119 - CLOSED CELL SPRAY FOAM INSULATION
INSUL-40	07 2100 - POLYISOCYANURATE WALL-BASE INSULATION
INSUL-45	07 2100 - POLYISOCYANURATE BOARD INSULATION
INSUL-50	07 5300 - FLAT POLYISOCYANURATE ROOF INSULATION
INSUL-51	07 5300 - TAPERED POLYISO OVER FLAT POLYISO ROOF INSULATION
INSUL-80	09 2116 - ACOUSTICAL BATT INSULATION
MAS ACC-2	04 2000 - POLYMER PORTLAND CEMENT MORTAR
MAS ACC-5	04 2000 - CAVITY MORTAR CONTROL MESH
MED CAB-1	02 5000 - MEDICINE CABINET, SURFACE MOUNTED
MET FAB-1	05 5000 - STEEL BOLLARD, WITH CONCRETE FILL
MET FAB-10	05 5000 - WIRE MESH
MET FAB-50	05 5913 - METAL BALCONIES
MET FURG-4	09 2116 - RESILIENT FURRING CHANNELS
MET STUD-2	09 2116 - NON-LOAD BEARING STEEL STUDS, 20 GA.
MET STUD-5	09 2116 - C SHAPED WALL STUDS
MICROWAVE-1	11 3100 - MICROWAVE W/ RANGE HOOD
MICROWAVE-2	11 3100 - MICROWAVE
MIRROR-50	10 2800 - FRAMELESS MIRROR
MT-1	09 3000 - METAL TRIM
MT-2	09 3000 - METAL TRIM
NPKN DISP-1	10 2800 - SANITARY NAPKIN DISPOSAL UNIT
PAVER-1	07 5300 - CONCRETE ROOF PAVER
PLAM CTOP-1	12 3600 - PLASTIC LAMINATE COUNTERTOP
PLAM CTOP-2	12 3600 - PLASTIC LAMINATE COUNTERTOP
PLAM CTOP-3	12 3600 - PLASTIC LAMINATE COUNTERTOP
PT-1	09 9123 - PAINT
PT-2	09 9123 - PAINT
PT-3	09 9123 - PAINT
PT-4	09 9123 - PAINT
PT-5	09 9123 - PAINT
PT-6	09 9123 - PAINT
RANGE HD-3	11 3100 - RANGE HOOD
RANGE-1	11 3100 - RANGE
RF UNDMNT-3	07 2500 - SYNTHETIC ROOFING UNDERLAYMENT
RF UNDMNT-5	07 2500 - SELF-ADHERING ICE/WATER SHIELD
RF VENT-1	07 3113 - SHINGLE-OVER RIDGE VENT
RF VENT-2	07 3113 - SCIFFY/FASE STRIP VENT
ROBE HOOK-1	10 2800 - ROBE HOOK
RST-1	09 6500 - RUBBER STAIR TREADS, RISERS, AND LANDINGS
SEALANT-1	07 9200 - JOINT SEALANT OR CAULKING
SEALANT-2	07 9200 - JOINT SEALANT OR CAULKING WITH BACKER ROD
SHINGLE-1	07 3113 - LAMINATED FIBERGLASS SHINGLES
SIDING-10	07 4646 - FIBER CEMENT LAP SIDING
SIDING-11	07 4646 - FIBER CEMENT SHINGLE SIDING
SIDING-15	07 4646 - FIBER CEMENT PANEL
SIDING-20	07 4646 - MANUFACTURED WOOD TRIM OR FIBER CEMENT BOARD TRIM
SIDING-70	07 4623 - FIBER CEMENT LAP SIDING - ALTERNATE #11, SEE SPEC.
SIDING-71	07 4623 - FIBER CEMENT SHINGLE SIDING - ALTERNATE #11, SEE SPEC.
SMF-2	07 6200 - PREFINISHED ALUMINIUM FLASHING
SOAP DISP-1	10 2800 - SOAP DISPENSER, WALL MOUNTED
SOLID SURF-20	12 3600 - 1/2" SOLID SURFACING
SSM-1	12 3600 - 3/8" SOLID SURFACE COUNTERTOP
T-1	09 3000 - CERAMIC TILE
T-2	09 3000 - CERAMIC TILE
T-3	09 3000 - CERAMIC TILE
TB-1	09 3000 - CERAMIC TILE BASE
TEMP GL-1	08 8000 - CLEAR TEMPERED GLASS, 1/4" THICK
TOWEL BAR-1	10 2800 - TOWEL BAR, 1" DIAMETER, STAINLESS STEEL
TP DISP-1	10 2800 - TOILET PAPER DISPENSER, SINGLE ROLL, SURFACE MOUNT
TWF-1	04 2000 - 40 MIL SELF-ADHERING MEMBRANE W/ STAINLESS STEEL DRIP
VPR RET-1	07 2500 - 6 MIL POLY VAPOR RETARDER SHEET
VPR RET-4	03 3000 - 15 MIL UNDERSLAB VAPOR RETARDER
VPR RET-5	07 2500 - VAPOR RETARDER
VPR RET-10	07 2500 - VAPOR RETARDER, SELF-ADHERED OR LIQUID APPLIED
WALL COV-1	09 7200 - WALL COVERINGS
WASH DRY-1	11 3100 - STACKED WASHER AND DRYER
WASHER-1	11 3100 - WASHING MACHINE
WD BASE-1	06 2000 - WOOD BASE
WD BLKG	06 1000 - WOOD BLOCKING
WD CASE-1	06 4100 - WOOD CASEWORK
WD CASE-2	06 4100 - WOOD CASEWORK
WD SHTG-1	06 1000 - FLOOR SHEATHING, 3/4" STURD-I-FLOOR, EXPOSURE 1, 18G
WD SHTG-10	06 1000 - 19/32" PLYWOOD ROOF SHEATHING
WD SHTG-14	06 1000 - 5/8" PLYWOOD ROOF SHEATHING
WD SHTG-20	06 1000 - 15/32" PLYWOOD WALL SHEATHING
WD SHTG-26	06 1000 - 3/4" PLYWOOD WALL SHEATHING
WD SHTG-30	06 1000 - 1/2" PLYWOOD, GRADE C-C
WD SHTG-34	06 1000 - 3/4" PLYWOOD, GRADE C-C
WTR PRF-2	07 1300 - SELF-ADHERING RUBBERIZED ASPHALT SHEETS
WTR PRF-7	07 1300 - PRE-APPLIED SHEET WATERPROOFING

DESIGN TEAM

Architect	Civil Engineer	Structural Engineer	Mechanical Engineer	Electrical Engineer	Landscape Architect
JLG Architects 322 N 1st Ave. #600 Minneapolis, MN 55401 P: 612.746.4260 Contact: Jesse Hadley	Design Tree Engineering 3339 West St. Germain, Suite 250 St. Cloud, MN 56301 P: 320.217.5557 Contact: Dan Folsom	Raigstad Engineers 192 West 9th Street St. Paul, MN 55102 P: 651.292.1123 Contact: Jared Raigstad	Design Tree Engineering 21308 John Millers Drive, Suite 104 Rogers, MN 55374 P: 320.227.0213 Contact: Robert Schuster	Design Tree Engineering 21308 John Millers Drive, Suite 104 Rogers, MN 55374 P: 320.227.0213 Contact: Aaron Mueller	Calxy Design Group 475 Cleveland Ave. North, Suite 101A St Paul, MN 55114 P: 651.788.9018 Ben Hartberg

PROJECT GENERAL NOTES

- A. FIRST LEVEL ELEVATION OF 100'-0" NOTED ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION OF 144'-0" NOTED ON CIVIL DRAWINGS.
- B. THE OWNER'S NORMAL OPERATIONS WILL BE CONTINUED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOT INTERFERE WITH THESE OPERATIONS IN ANY WAY WITHOUT THE OWNER'S EXPRESSED CONSENT.
- C. IT SHALL BE EACH TRADE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE AND FAMILIARIZE HIMSELF/HIMSELF WITH ALL EXISTING CONDITIONS. EACH CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL REPORTING THE SAME TO THE ARCHITECT AND THE OWNER REPRESENTATIVE FOR CLARIFICATION AND/OR CORRECTION.
- D. DIMENSIONS FOLLOWED BY +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- E. ALL EXISTING CONSTRUCTION AND SURFACES WHICH ARE TO REMAIN BUT ARE AFFECTED BY THE WORK UNDER THIS CONTRACT SHALL BE RESTORED AND REFINISHED TO MATCH THE CONSTRUCTION, FINISH AND ALIGNMENT OF THE EXISTING ADJACENT CONSTRUCTION AND FINISHES.
- F. VERIFY QUANTITY, SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL OPENINGS FOR MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR COMPLETION OF WORK. COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH APPROPRIATE TRADES. COORDINATE SIZE & LOCATION OF ALL HOUSE KEEPING PADS AND/OR EQUIPMENT SUPPORTS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- G. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION. PROVIDE FIRE WATCH DURING FIELD CUTTING AND WELDING OPERATIONS. MEET OWNERS REQUIREMENTS.
- H. PROVIDE FIRE RETARDANT WOOD BLOCKING AND/OR 18 GA METAL PLATES BETWEEN STUDS AT ALL LOCATIONS REQUIRING BLOCKING IN WALL. THESE LOCATIONS INCLUDE BUT ARE NOT LIMITED TO GRAB BARS, CRASH RAILS, CABINETS, WALL HUNG SHELVES, ARTWORK, ETC.
- I. THE EXTENT OF HATCHING ON DRAWINGS IS ONLY SUFFICIENT TO INDICATE THE NATURE OF THE CONSTRUCTION OR MATERIALS. TERMINATION OF THE HATCHING SHALL NOT BE CONSTRUED TO REPRESENT A CHANGE OR TERMINATION OF MATERIAL.
- J. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN WORK AREAS PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES SHALL BE DOCUMENTED AND FORWARDED TO ARCHITECT AND OWNERS REPRESENTATIVE FOR ACTION.
- K. IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE FIELD CONDITIONS AND PROVIDE AS NEEDED TEMPORARY SUPPORTS, SHORING AND/OR PROTECTION OF EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING EXECUTION OF WORK.
- L. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE LOCAL AND STATE CODES.
- M. RELEVANT DIMENSIONS AND ELEVATIONS FOR EQUIPMENT INSTALLATIONS SHALL BE VERIFIED AGAINST MANUFACTURERS CERTIFIED EQUIPMENT DRAWINGS.
- N. CONTRACTOR SHALL PROVIDE TEMPORARY DUST PROOF PARTITIONS AS REQUIRED, OR WHERE REQUESTED BY OWNERS REPRESENTATIVE. PARTITIONS SHALL BE FIRE RATED WHERE REQUIRED BY CODE HAVING JURISDICTION. ALL TEMPORARY PARTITIONS SHALL BE CONSTRUCTED IN A MANNER AND OF MATERIALS OFFERING ADEQUATE PROTECTION TO OWNERS EQUIPMENT AND PERSONNEL.
- O. DO NOT SCALE DRAWINGS TO DETERMINE SIZES AND DIMENSIONS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING AND FROM CENTER OF STUD UNLESS NOTED OTHERWISE.
- P. ALL PENETRATIONS TO FLOORS, CEILING AND WALLS SHALL BE SEALED AND FIRE STOPPED TO A FIRE RATING EQUAL TO THE CONSTRUCTION BEING PENETRATED.
- Q. NEW WORK SHALL ALIGN WITH AND MATCH EXISTING WORK UNLESS NOTED OTHERWISE.



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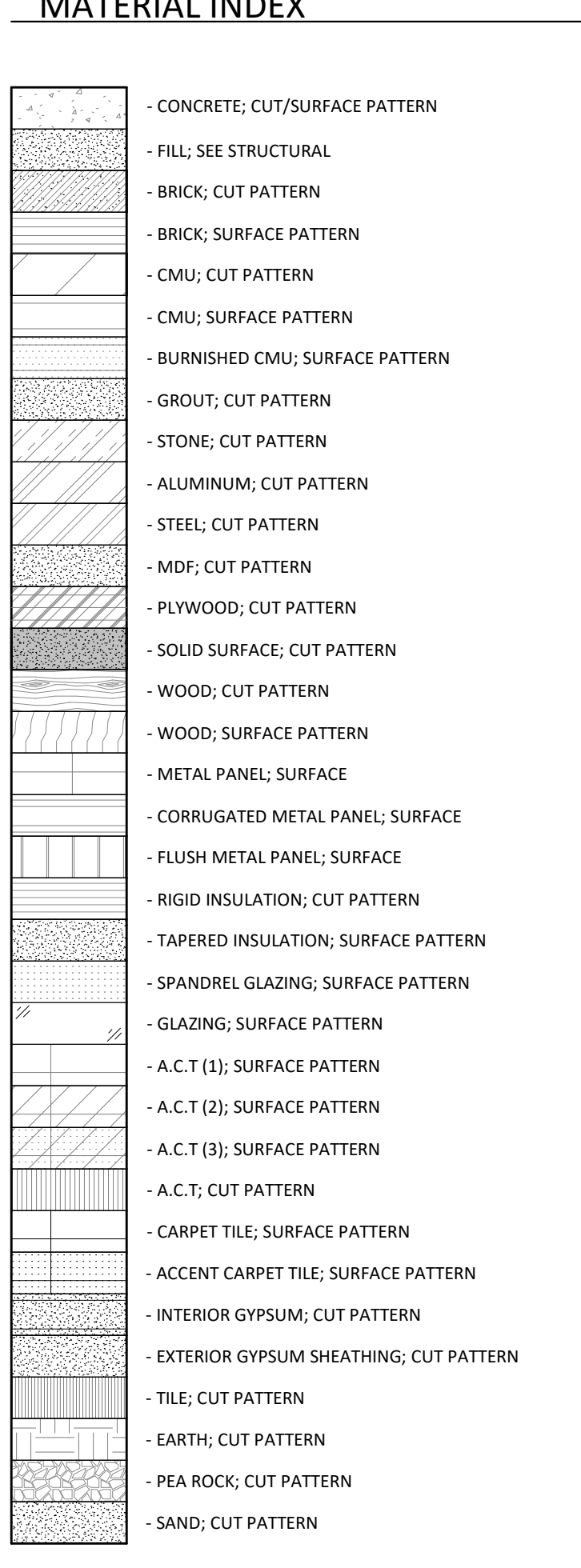
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

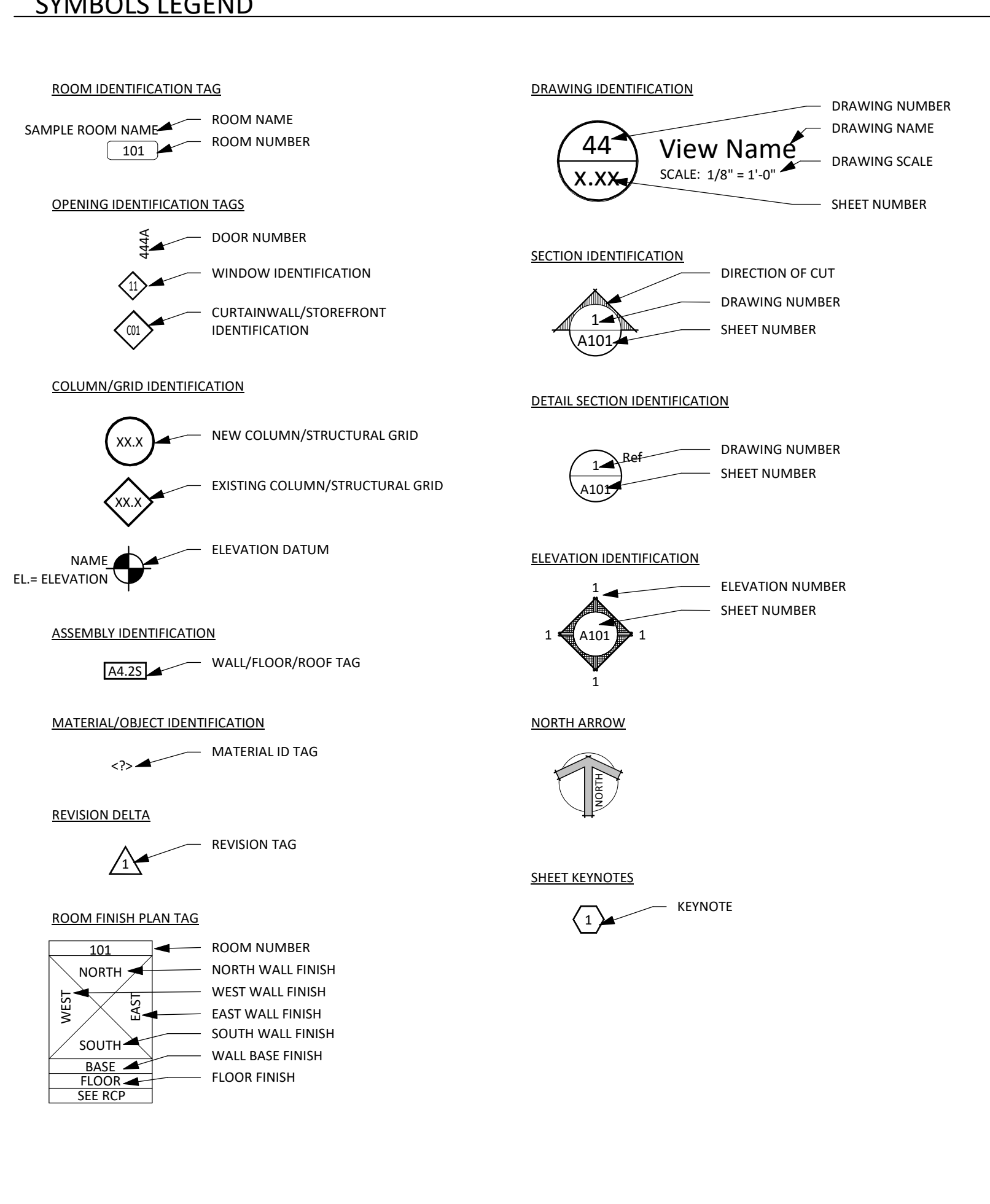
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

REG. NO. 46546
JUNE 19, 2020
DATE
NICOLE WASHBURN, AIA

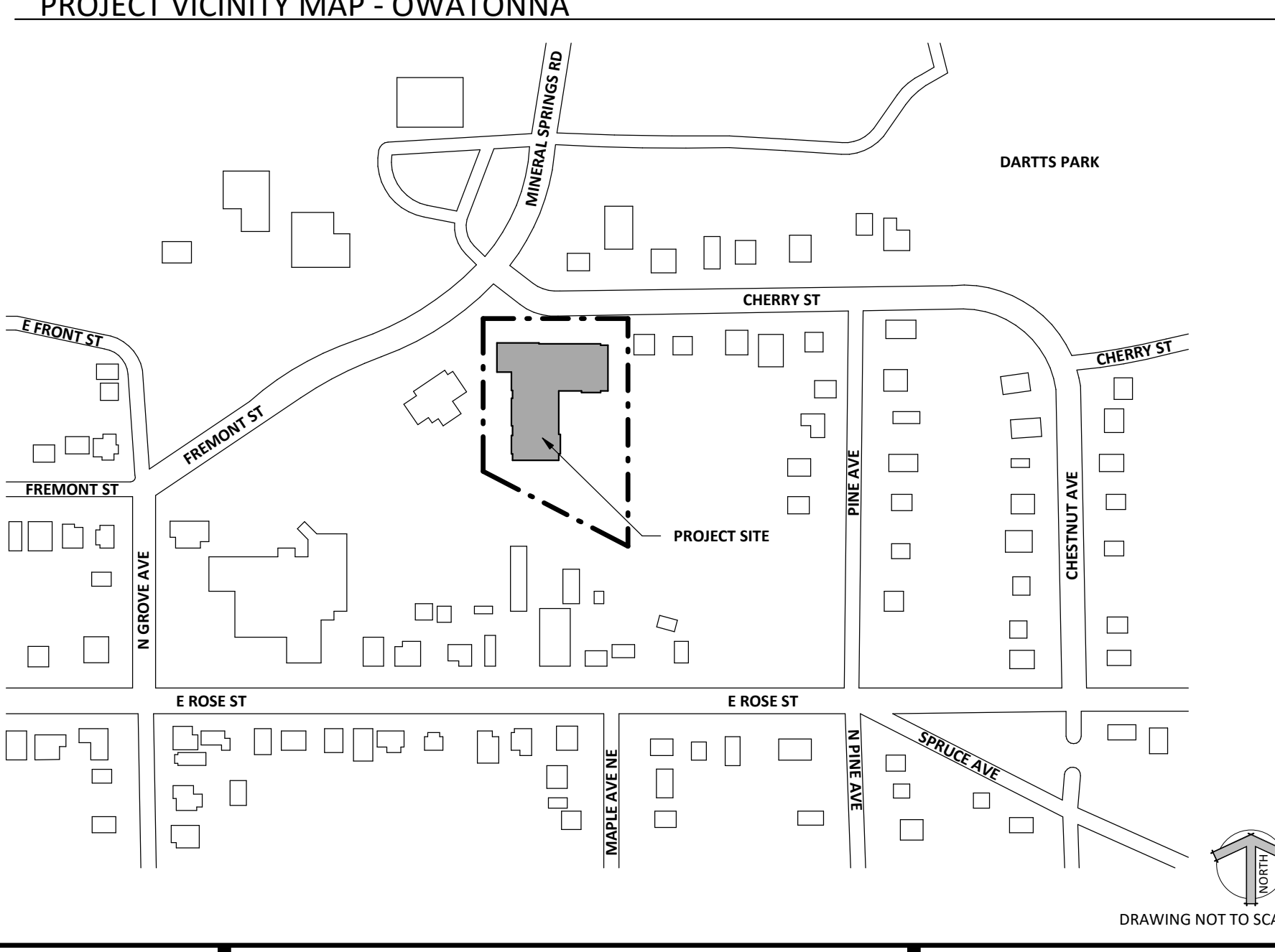
MATERIAL INDEX



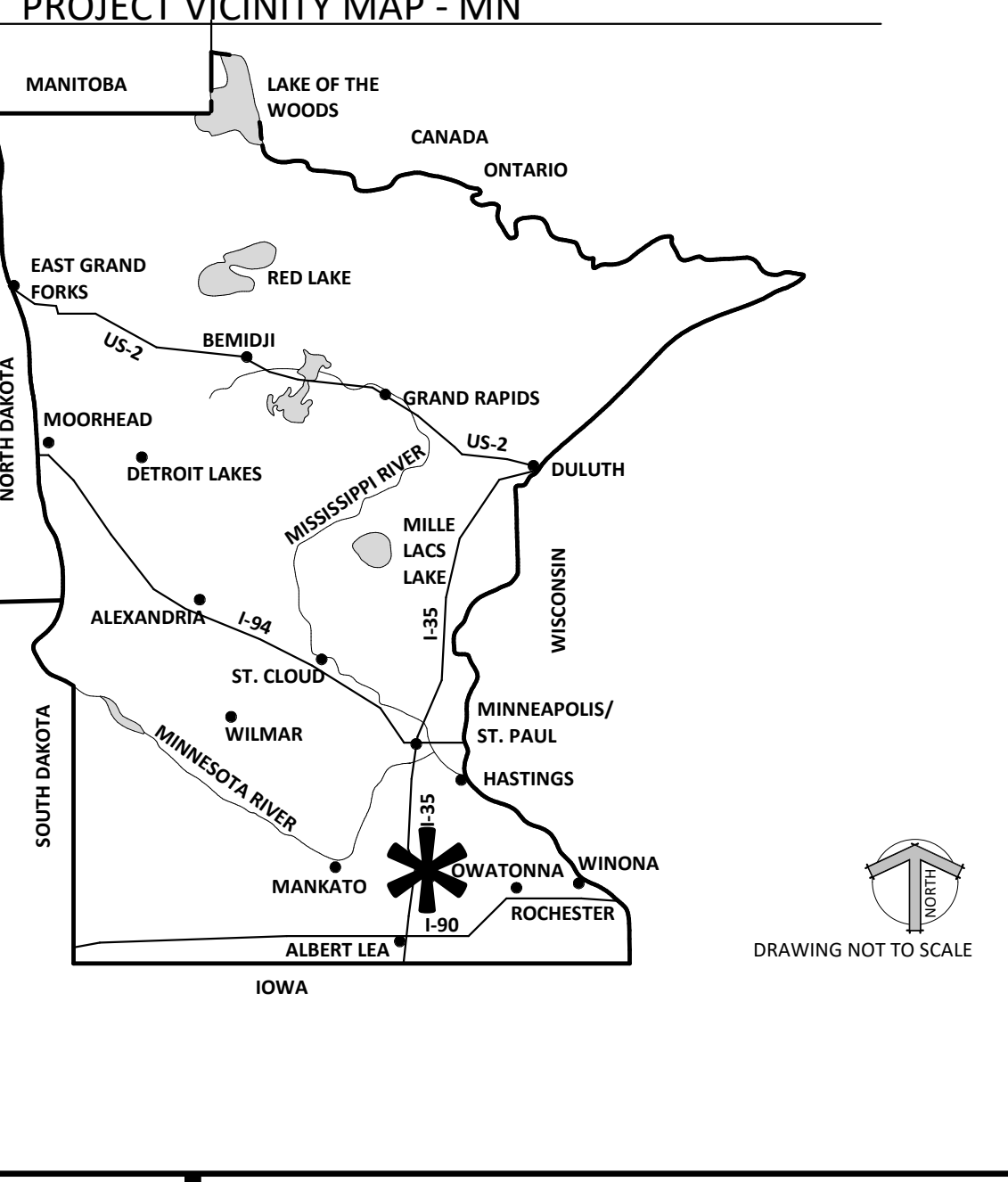
SYMBOLS LEGEND



PROJECT VICINITY MAP - OWATONNA



PROJECT VICINITY MAP - MN



LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
OWATONNA, MN

DATE: 06/01/2020
PHASE: CONSTRUCTION DOCUMENTS
PROJECT: 181226
SHEET: G101
TITLE SHEET

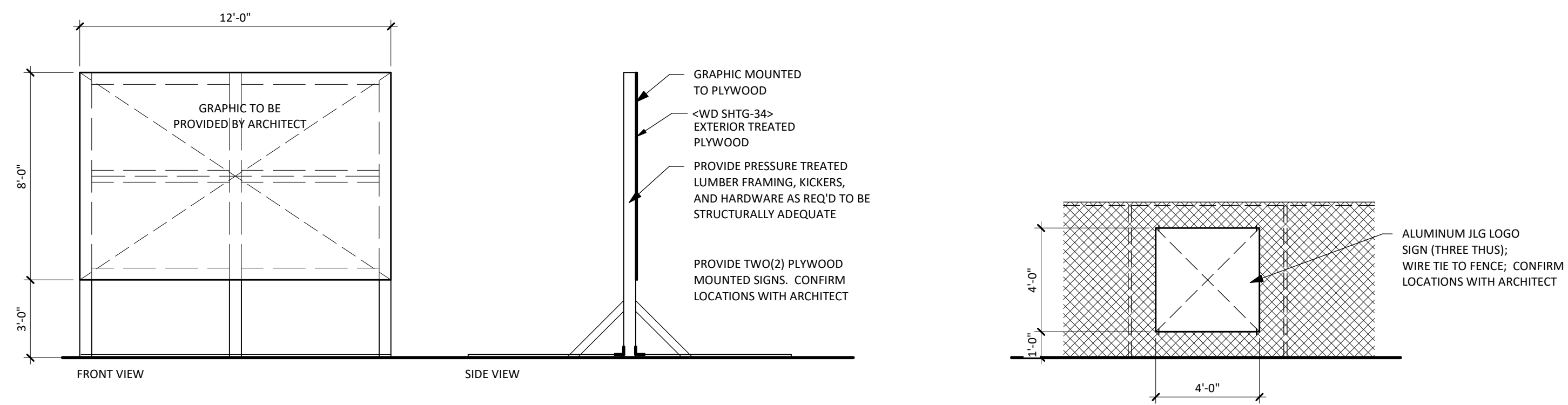
DRAWING NOT TO SCALE

SHEET MATERIAL ID LIST

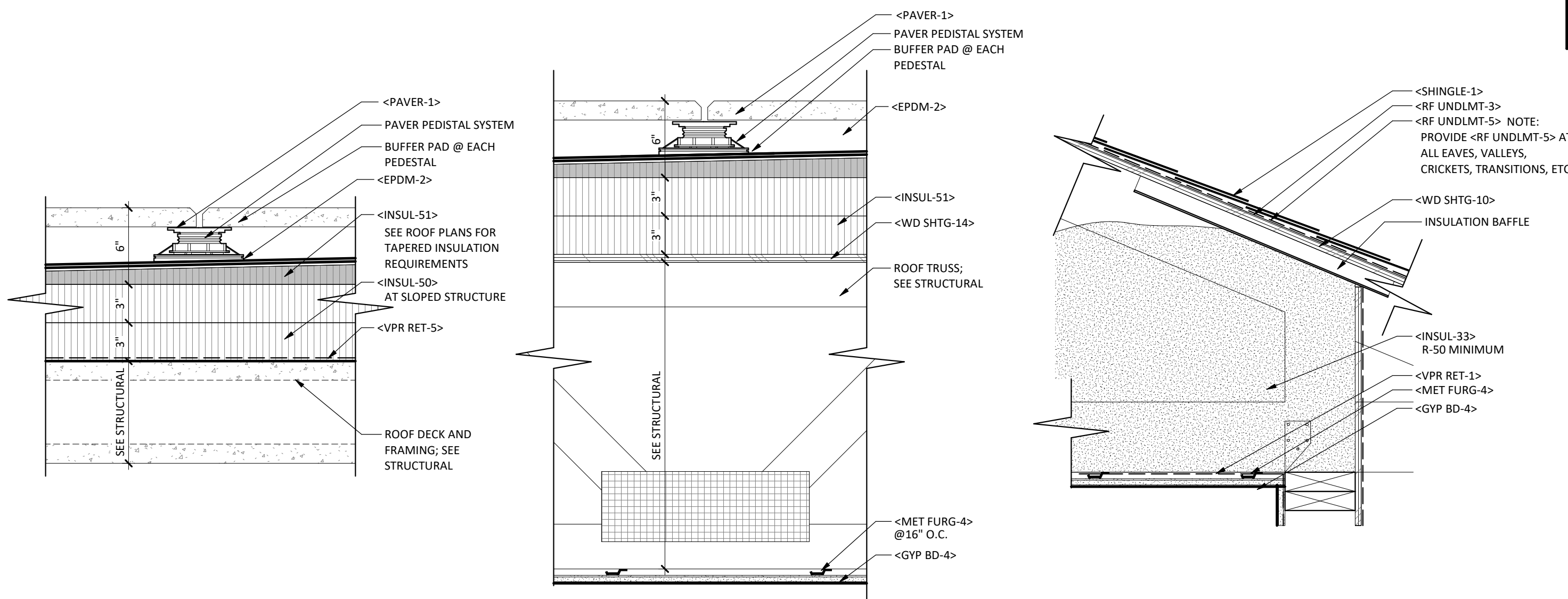
MATERIAL ID	SPEC SECTION & DESCRIPTION
AIR BAR-1	07 2500 - AIR BARRIER, MECHANICALLY FASTENED
BRICK-1	04 2000 - BRICK TIE
BRICK-1	04 2000 - FACE BRICK
CMU-1	04 2000 - NORMAL WEIGHT CMU
EPDM-2	07 5300 - FULLY ADHERED EPDM ROOFING SYSTEM
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE 'X' GYPSUM BOARD
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE 'C' GYPSUM BOARD
INSUL-1	07 2100 - EXTRUDED POLYSTYRENE INSULATION W/ DRAINAGE CHANNELS
INSUL-15	07 2100 - POLYISOCYANURATE INSULATION, FOIL FACED
INSUL-20	07 2100 - UNFACED ROCK WOOL BATT INSULATION
INSUL-23	07 2100 - ROCK WOOL EXTERIOR CAVITY BOARD INSULATION
INSUL-33	07 2126 - BULK CELLULOSE FIBER INSULATION FOR PNEUMATIC PLACEMENT
INSUL-50	07 5300 - FLAT POLYISOCYANURATE ROOF INSULATION
INSUL-51	07 5300 - TAPERED POLYISO OVER FLAT POLYISO ROOF INSULATION
MET FURG-4	09 2116 - RESILIENT FURRING CHANNELS
PAVER-1	07 5300 - CONCRETE ROOF PAVER
RF UNDMT-3	07 2500 - SYNTHETIC ROOFING UNDERLAYMENT
RF UNDMT-5	07 2500 - SELF-ADHERING ICE WATER SHIELD
SHINGLE-1	07 3113 - LAMINATED FIBERGLASS SHINGLES
SIDING-20	07 4646 - MANUFACTURED WOOD TRIM OR FIBER CEMENT BOARD TRIM
SIDING-70	07 4623 - FIBER CEMENT LAP SIDING - ALTERNATE #11, SEE SPEC.
SIDING-71	07 4623 - FIBER CEMENT SHINGLE SIDING - ALTERNATE #11, SEE SPEC.
VPR RET-1	07 2300 - 6 MIL POLY VAPOR RETARDER SHEET
VPR RET-4	03 3000 - 15 MIL UNDERSLAB VAPOR RETARDER
VPR RET-5	07 5300 - VAPOR RETARDER
VPR RET-10	07 2500 - VAPOR RETARDER, SELF-ADHERED OR LIQUID APPLIED
WD SHTG-10	06 1000 - 1/2" PLYWOOD ROOF SHEATHING
WD SHTG-14	06 1000 - 5/8" PLYWOOD ROOF SHEATHING
WD SHTG-20	06 1000 - 15/32" PLYWOOD WALL SHEATHING
WD SHTG-34	06 1000 - 3/4" PLYWOOD, GRADE C-C
WTR PRF-2	07 1300 - SELF-ADHERING RUBBERIZED ASPHALT SHEETS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE



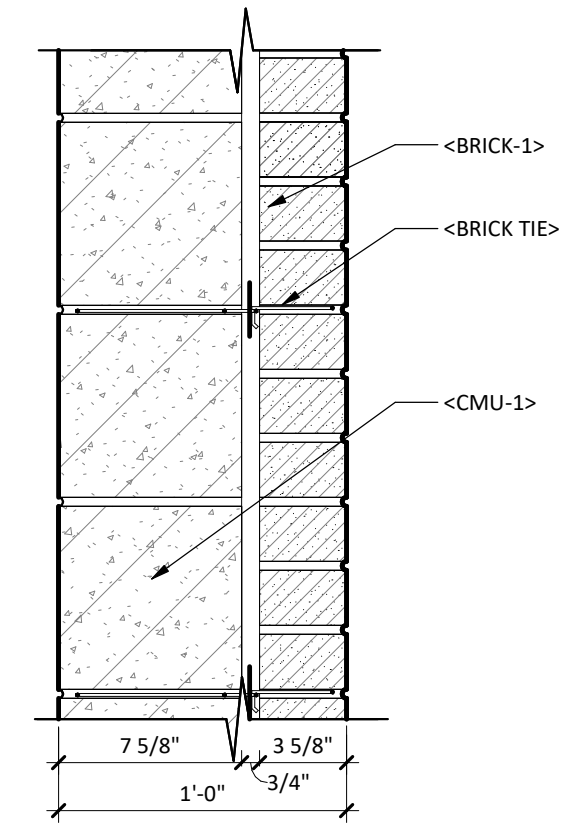
4D PROJECT SIGN REQUIREMENTS
 SCALE: 1/4" = 1'-0"



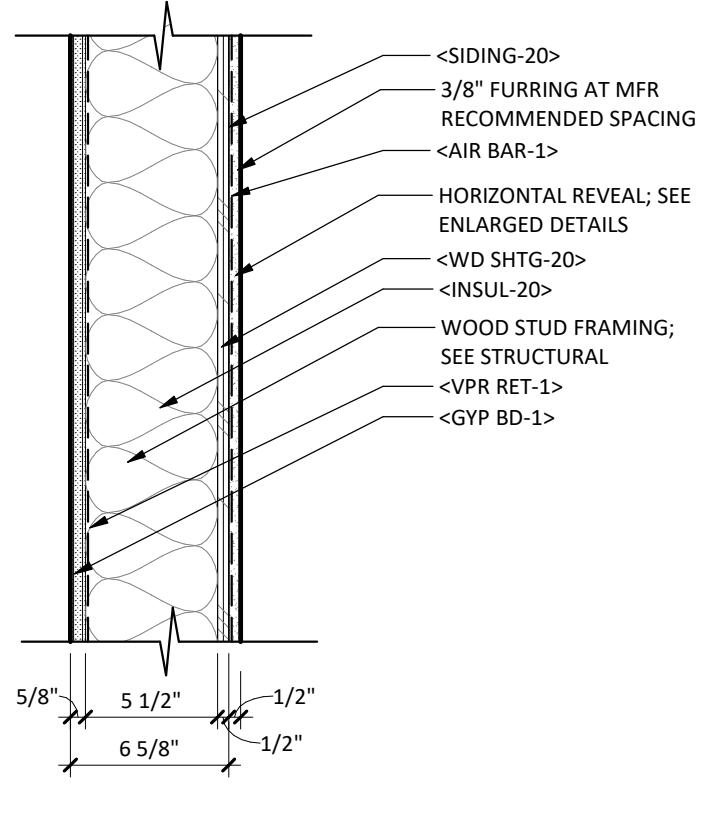
ROOF TAG	R-VALUE (REQUIRED)	R-VALUE (PROVIDED)	GYP BD THICK	RATING	UL LISTING
RF2	R-30	R-34.8			

ROOF TAG	R-VALUE (REQUIRED)	R-VALUE (PROVIDED)	GYP BD THICK	RATING	UL LISTING
RF4	R-30	R-34.8			

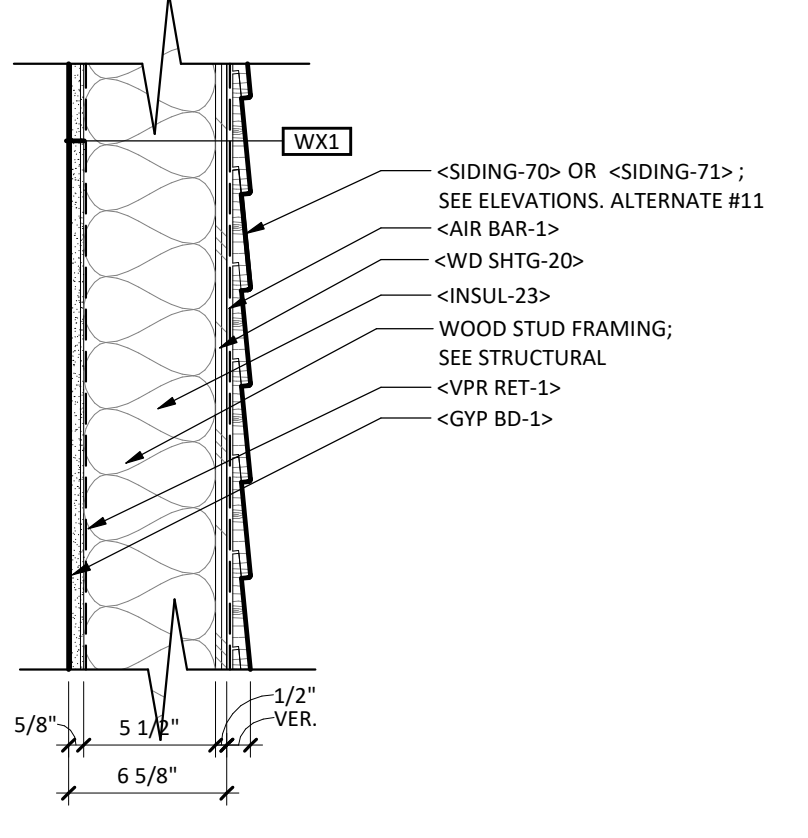
ROOF TAG	R-VALUE (REQUIRED)	R-VALUE (PROVIDED)	GYP BD THICK	RATING	UL LISTING
RF3	R-49	R-50 LOOSE FILL	N/A/SEE RCP	1 HR	PS31



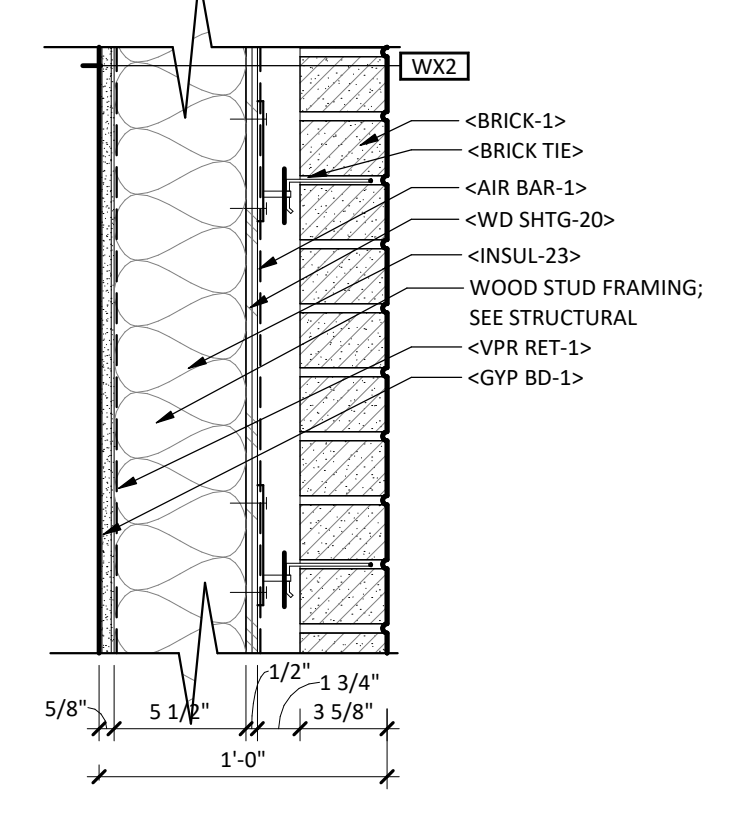
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XC2					



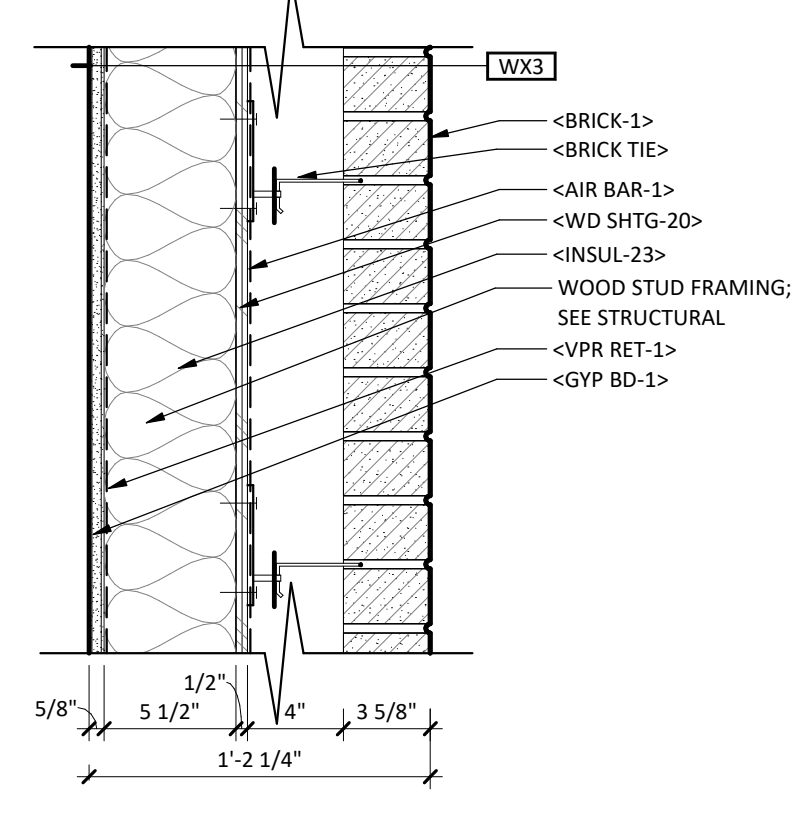
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WX4	R-22	R-20	U356	1HR	



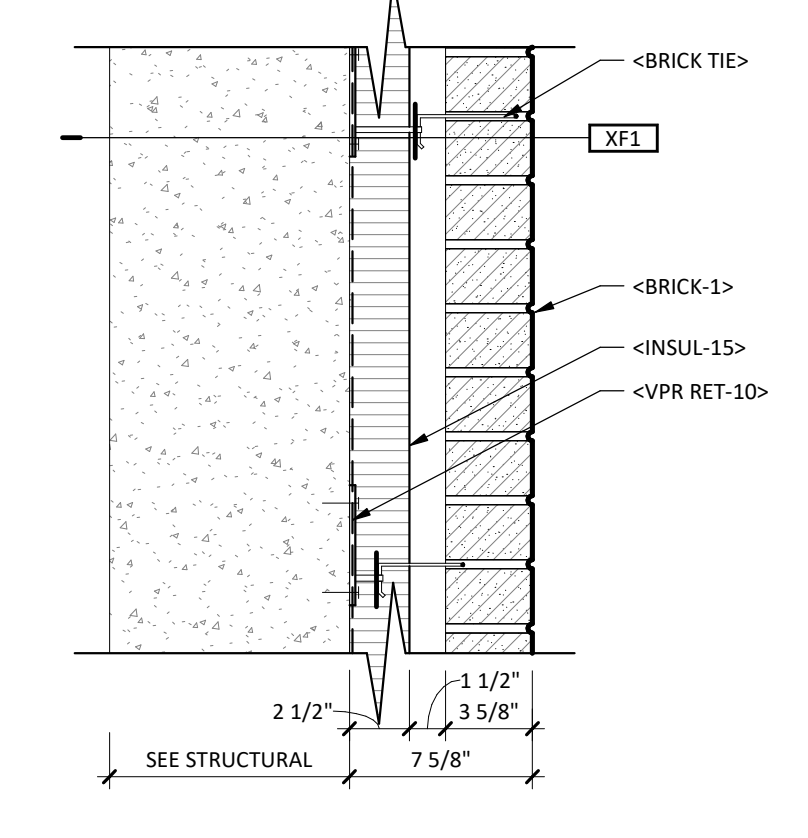
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WX1	R-22	R-20	U356	1HR	



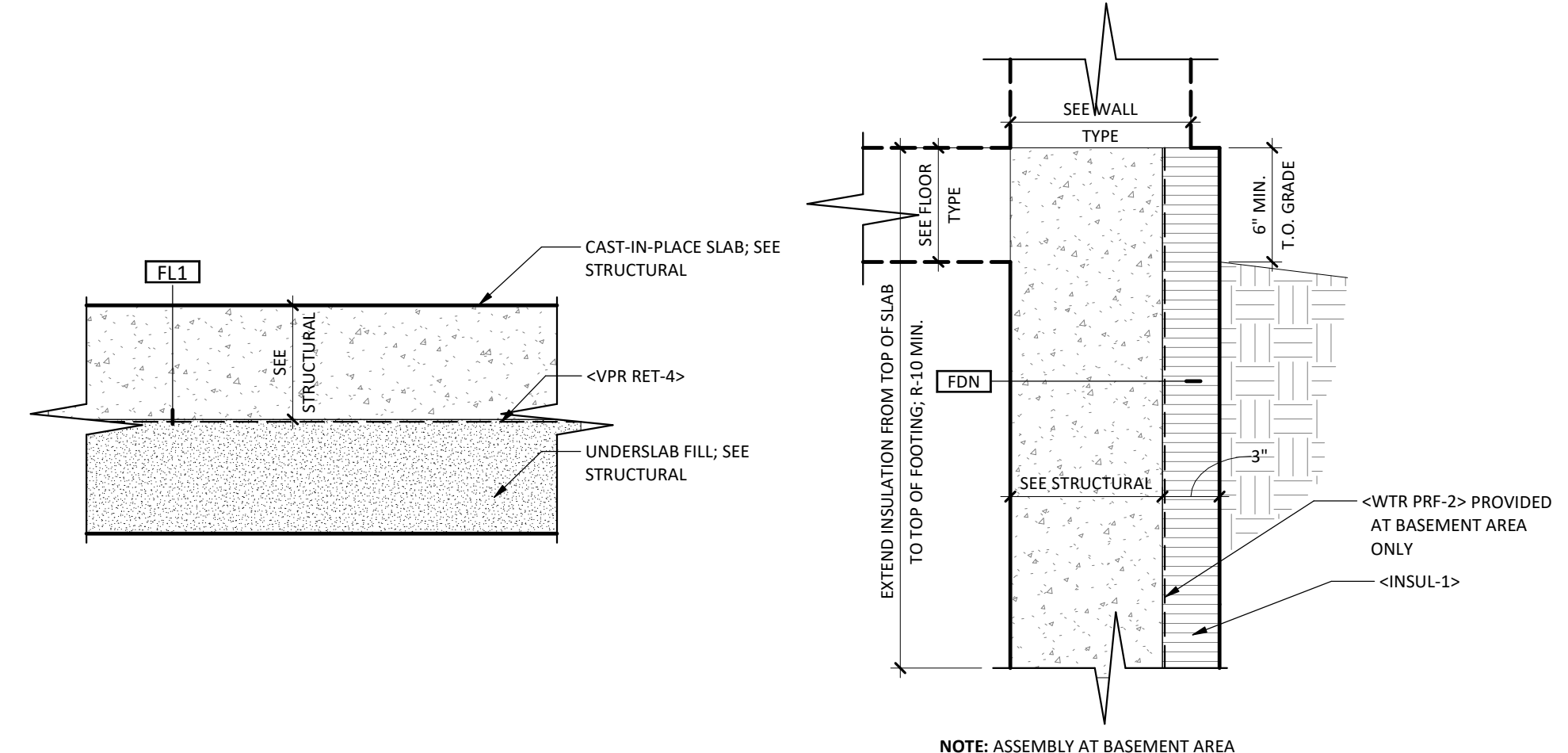
WALL TAG	R-VALUE (PROVIDED)	R-VALUE (REQUIRED)	UL LISTING	RATING	COMMENTS
WX2	R-22	R-20	U356	1HR	



WALL TAG	R-VALUE (PROVIDED)	R-VALUE (REQUIRED)	UL LISTING	RATING	COMMENTS
WX3	R-22	R-20	U356	1HR	



WALL TAG	R-VALUE (PROVIDED)	R-VALUE (REQUIRED)	UL LISTING	RATING	COMMENTS
XF1	R-35.5	R-35		3HR	



TYPE	INSUL THICK.	G.B. THICK	RATING	UL NO.	COMMENTS
FL1					

WALL TAG	R-VALUE (PROVIDED)	R-VALUE (REQUIRED)	UL LISTING	RATING	COMMENTS
FDN1	R-15	R-15	N/A	N/A	

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 NICOLE WASHBURN, AIA REG. NO. 46546 JUNE 19, 2020 DATE

LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
 OWATONNA, MN

DATE: 06/01/2020
 PHASE: CONSTRUCTION DOCUMENTS

PROJECT: 18126

SHEET: **G102**
 TYPICAL EXTERIOR ASSEMBLIES

CODE / ZONING REVIEW

TOPIC	IBC REFERENCE	RESPONSE
01 - BUILDING STATISTICS:		
1.010 Site / Lot Area	Lot 170104211: 0.212 acres Lot 170204212: 0.114 acres Lot 171220514: 0.518 acres Lot 171220501: 0.200 acres Lot 171220502: 0.200 acres Lot 171220513: 1.086 acres Lot 171220512: 0.271 acres Lot 171220511: 0.199 acres 16,483 SF	
1.020 Ground Building Area	15,520 SF	
1.030 Level One Building Area	15,543 SF	
1.040 Level Two Building Area	13,055 SF	
1.050 Level Three Building Area	60,567 SF	
1.060 Total Building Area	106,675 SF	
1.070 Building Height	46'-10" from average grade plane to average roof plane of highest peak.	
02 - ZONING / SITE REQUIREMENTS:		
2.010 Zoning District	OWATONNA ZONING R-2 Community Business	
2.020 Building Use	OWATONNA ZONING Multi-Family Housing	
2.030 Density/FAR	OWATONNA ZONING Minimum lot size of 1,700 s.f. per unit (61,200 s.f.)	
2.040 Front Yard Setback	OWATONNA ZONING 30' Structures in excess of 3 stories or 35 ft. are permitted as conditional uses. For each additional story over 3 stories or for each additional 10ft., and side yard setback requirements shall be increased 5ft.	
2.050 Side Yard Setback	OWATONNA ZONING 10' A side yard that directly abuts residential district shall be increased 10 additional feet over the minimum stated 15' required for conditional use.	
2.060 Rear Yard Setback	OWATONNA ZONING 20'-0". Note: a variance has been applied for as 20'-0" has been exceeded.	
2.070 Site Coverage Restrictions	OWATONNA ZONING 35' or 3 stories, 4 stories provided with a conditional use permit. For each additional story over 3 stories or for each additional 10 ft. above the 35 ft., front and side yard setback requirements shall be increased 5 ft.	
2.080 Height Restrictions	OWATONNA ZONING 35' or 3 stories, 4 stories provided with a conditional use permit. For each additional story over 3 stories or for each additional 10 ft. above the 35 ft., front and side yard setback requirements shall be increased 5 ft.	
2.090 Parking Requirements	OWATONNA ZONING A) 30' parking requires 45.6 ft wall to wall min. width and 11 ft. isles 45' parking requires 52.5 ft wall to wall min. width and 13 ft. isles 60' parking requires 60.0 ft wall to wall min. width and 18 ft. isles 80' parking requires 62.0 ft wall to wall min. width and 24 ft. isles B) Multiple-family dwelling, studio and one bedroom require one stall per unit and two bedroom and greater require a minimum of two stalls per unit; and C) Elderly (senior citizen) housing: reservation of area equal to one parking space per unit. Initial development is, however, required of only one-half space per unit and said number of spaces can continue unit such time as the City Council considers a need for additional parking spaces has been demonstrated.	
2.100 Landscaping	OWATONNA ZONING Business District. Screening from abutting residential districts shall be provided in the following instances: public utility buildings and structures, convenience food, or wash, motor fuel station, major auto repair, tire and battery stores and service, open and outdoor storage, service, sales and rentals, greenhouse and all open off-street parking areas of five or more spaces.	
2.110 Possible Variances	OWATONNA ZONING Near setback less than 20 ft.	
2.120 Other Notes / Requirements	OWATONNA ZONING	
03 - BUILDING CODE ANALYSIS - APPLICABLE GOVERNING CODES:		
3.010 Building Code	2020 MN State Building Code; Minnesota Rules, Chapter 1300 & 1305 (2018 IBC)	
3.020 Fire Code	2020 MN State Fire Code	
3.030 Mechanical Code	2020 MN State Mechanical and Fuel Gas Code	
3.040 Energy Code	2015 Minnesota Energy Code	
3.050 Plumbing Code	2015 Minnesota Plumbing Code	
3.060 Electrical Code	2014 National Electrical Code with MN amendments; Effective date July 1st, 2014	
3.070 Elevator Code	2015 MN State Elevator and Related Devices Code; MN Rules Chapter 1307.	
3.080 Accessibility Code	2020 Minnesota Accessibility Code	
3.090 Life Safety Code (NFPA)	2020 Minnesota Accessibility Code	
04 - BUILDING CLASSIFICATION AND LIMITATIONS:		
4.010 Occupancy Classification by Code	Chapter 3 R-2 Apartment houses S-2 Enclosed parking garage B Business (including assembly spaces with occupant load less than 50)	
4.020 Occupancy Separation(s)	Table 508.3.3 S-2/R-2: Reduced to 1 hour for private vehicles (note b) S-2/B: Reduced to 1 hour for private vehicles (note b)	
4.030 Non-Separated Uses	Section 508.3 B/R-2: non-separated uses, but one hour partition required per 708.	
4.040 Incidental Use Areas	Table 508.2	
4.050 Automatic Sprinkler System	Section 903.3.1.2 NFPA 13 within S-2 occupancy, per 903.3.10 NFPA 13R within R-2 and B occupancies.	
4.060 Construction Type	Chapter 6 V-A	
4.070 Buildings on the Same Lot	Section 903.3.1.2 N/A	
4.080 Max. Allowable Area Basic Limit	Table 503 12,000 s.f. (based on most restrictive occupancy, R)	
4.090 Allowable Area Increase for Sprinkler	Table 503 20,466 s.f. allowable area with frontage increase	
4.100 Allowable Area Increase for Sprinkler Area Increase Formula	W = 544 ft (281' + 68 ft (30') / 632 ft = 28.22' I = (612' / 612' - .25) 28.22 / 30 = 70.55% 12,000 * 70.55% = 8,466	
4.110 Maximum Allowable Height Basic Limit	Table 503 R-2 - 4 stories, 60' (NFA 13R) B - 3 stories, 50' (when not sprinklered NFA 13)	
4.120 Maximum Allowable Height with Modifications	Tables 504.3 and 504.4 None.	
4.130 Is This a High Rise Classification	Table 504.3 No.	
4.140 Mixed Occupancy Area Calculation	Table 508.2 S-2 separated occupancy. B/R-2 non-separated occupancies.	
4.160 Special Requirements Based on Occupancy	Section 510.2	
05 - FIRE RESTRICTIVE REQUIREMENTS:		
5.010 Construction Type	Chapter 6 VA	
5.020 Structural Frame	Table 601 1	
5.030 Exterior Bearing Walls	Table 601 1 HR MIN - Not less than that required by Fire Separation Distance: Fire Separation Distance x Occupancy < 5 feet / ft/a > 5 feet, but < 10 feet / ft/a > 10 feet, but < 30 feet 1 hour at east lot line > 30 feet 0	
5.040 Interior Bearing Walls	Table 601 1 (See also occupancy separations and other requirements for fire-resistance ratings)	
5.050 Interior Supporting Roof Bearing Walls	Table 601 1 (See also occupancy separations and other requirements for fire-resistance ratings)	
5.060 Nonbearing Exterior Walls	Table 601 0 (See also occupancy separations and other requirements for fire-resistance ratings)	
5.070 Nonbearing Interior Walls	Table 601 0 (See also occupancy separations and other requirements for fire-resistance ratings)	
5.080 Floor Construction	Table 601 1	
5.090 Roof Construction	Table 601 1	
5.100 Exterior Wall Projections	Section 704 None required.	
5.110 Exterior Wall Openings	Section 705 70% at east lot line, unlimited elsewhere.	
5.120 Exterior Wall Parapet	Section 705 None required.	
5.130 Fire Walls	Section 705 None required.	
5.140 Fire Barriers	Section 707 N/A	
5.150 Shaft Enclosures	Section 707 2 hour (connecting 4 stories) Includes trash chute and trash room.	
5.160 Elevator Lobby	Section 706 Not required. Hoistway opening protection required per 3006.3	
5.170 Exit Enclosures	Section 1020.1 2 hour	
5.180 Exit Passageway	Section 1024 N/A	
5.190 Horizontal Exit	Section 1026 N/A	
5.200 Atriums	N/A	
5.210 Incidental Use Areas	Section 508.2 N/A	
5.220 Control Areas	Section 414.2.3 N/A	
5.230 Separation of Mixed Occ.	Table 508.4 2 hour between S-2 and R-2; 2 hour between B and R-2	
5.240 Exterior Walls	Section 704 1 hour bearing walls; 0 hour non-load bearing walls.	
5.250 Fire Partitions	Section 708 See Life Safety Plans	
5.260 Dwelling Unit Demising Walls	Section 420 1 hour	
5.270 Corridor Walls	Table 1001.1 1 1/2 hour	
5.280 Elevator Lobby Walls	Section 3006 N/A	
5.290 Horizontal Assemblies	Section 711.1 2 hour between S-2 and R-2; 1 hour between each dwelling unit	
5.300 Penetrations	Section 714 Firestopping as required.	
5.310 Joint Systems	Section 713 Firestopping as required.	
5.330 Opening Protectives	Section 715 Corridors: 20 min. 1-hour partitions: 45 min. 2-hour shafts: 90 min.	
5.340 Ducts/Transfer Openings	As required	
5.350 Concealed Spaces	Section 717 Fully insulated per NFPA 13 Section 8.15.1.2.7 (Verify NFPA 13R)	
5.360 Fireblocking	Section 718.2 As required.	
5.370 Draftstopping - Floor and Ceiling	Sections 708.4 & 717.3.2 At dwelling unit separations and one side of corridor.	
5.380 Draftstopping in Attic	Section 717.4.2 Between every 2 units not exceeding 3,000 s.f. and one side of corridor.	
06 - EGRESS REQUIREMENTS:		
6.010 Occupancy	Chapter 10 R-2, S-2, B	
6.020 Occupant Load	Chapter 10 R-2: 203 B: 54 S-2: 68	
6.030 Accessible Means of Egress	Chapter 10 Where more than one means of egress is req'd (by Section 1015.1 or 1019.1) from any accessible space, not less than two accessible means of egress are req'd. To be accessible means of egress, must have area of refuge.	
6.040 Exit Stairways	Chapter 10 See Code - special requirements such as standby power and area of refuge.	
6.050 Elevators	Chapter 10	
6.060 Minimum Ceiling Height	Chapter 10 7'-6" min.	
6.070 Minimum Door Height Clearance	Chapter 10 80" min.	
6.080 Stairway Width	Chapter 10 44" required, 46" actual (minimum).	
6.090 Stairway Headroom	Chapter 10 80" min.	
6.100 Max Height Between Landings	Chapter 10 12'-0"	
6.110 Handrails	Chapter 10 Required both sides of stairs.	
6.120 Star Run/Rise	Chapter 10 11" min./7" max.	
6.130 Ramps	Chapter 10 N/A	
6.140 Common Path of Egress	Chapter 10 R-2: 125' B: 100' S-2: 100'	
6.150 Exit Access	Chapter 10 2 required from each story.	
6.160 Exit Access Travel Distance	Chapter 10 R-2: 250' max. B: 200' max. S-2: 300' max.	
07 - ACCESSIBILITY:		
7.010 Building Entrances	Chapter 11 60% of building entrances must be accessible	
7.020 Public Restrooms	Chapter 11 See Plumbing Chapter	
7.030 Dwelling Unit Requirements	Chapter 11 2% of units are to be Type A accessible when more than 20 dwelling units are provided. All other units are to be Type B accessible.	
7.040 Type Accessible Quantity	Chapter 11 N/A	
7.050 Type A Quantity	Chapter 11 2 (5%) provided, plus all units to meet Universal Design standards per MHFA.	
7.060 Type B Quantity	Chapter 11 34, plus all units to meet Universal Design standards. Refer to unit plans for designation of Option A or Option B Toilet Rooms.	
7.070 Type C Quantity	Chapter 11 N/A	
7.080 Communication Features	Chapter 11 4 units required per IBC 2018	

CODE / ZONING REVIEW

TOPIC	IBC REFERENCE	RESPONSE
08 - INTERIOR ENVIRONMENT:		
8.010 Ventilation		See Mechanical System must provide 68 degree temp at a point 3ft above floor on the design heating day.
8.020 Temperature Control		See Electrical
8.030 Lighting		See Electrical
8.040 Sound Transmission	Chapter 12	Common interior walls, partitions, and floor ceiling assemblies between adj dwelling units or between dwelling units and public spaces. Air-borne sound: STC > 50 STC (45 Field STC) - tested in accordance with ASTM E 90. Treat openings, penetrations, etc to maintain rating (except entry doors). Structure-borne sound: IIC > 50 STC (45 Field IIC) - per ASTM E 492
8.050 Interior Space Dimensions		Refer to MHFA requirements in addition to IBC Chapter 12.
8.060 Access to Unoccupied Spaces		N/A
09 - ENERGY EFFICIENCY:		
9.010	Chapter 13	2015 COMMERCIAL ENERGY CODE FOR 4-STORY BUILDING.
10 - STRUCTURAL AND SPECIAL TESTING:		
10.010 Item Requiring Testing	Chapter 17	See Structural
10.020 Required Standard	Chapter 17	See Structural
10.030 Type of Inspector	Chapter 17	See Structural
10.040 Frequency	Chapter 17	See Structural
10.050 Responsible for Inspections	Chapter 17	See Structural
11 - PLUMBING FIXTURE REQUIREMENTS:		
11.010 Lavs (sinks)	Chapter 29	Men = 1; Women = 1
11.020 Water Closets (Toilets)	Chapter 29	Men = 1; Women = 1
11.030 Urinals	Chapter 29	
11.040 Drinking Fountains	Chapter 29	1

UNIT MATRIX

UNIT NAME	UNIT TYPE	UNIT SF	ACC. TYPE	TOTAL	1ST FLOOR	2ND FLOOR	3RD FLOOR	PERCENTAGE
UNIT 1A	1 BEDROOM	740 SF	TYPE B	3	1	1	1	22%
UNIT 1B	1 BEDROOM	770 SF	TYPE B	3	1	1	1	
UNIT 1C	1 BEDROOM	740 SF	TYPE B	1	1	-	-	
UNIT 1D	1 BEDROOM	746 SF	TYPE A	1	1	-	-	
UNIT 2A	2 BEDROOM	971 SF	TYPE B, OPT. A	8	2	3	3	78%
UNIT 2B	2 BEDROOM	1,003 SF	TYPE B, OPT. A	4	2	1	1	
UNIT 2C	2 BEDROOM	997 SF	TYPE B, OPT. A	6	2	2	2	
UNIT 2D	2 BEDROOM	1,065 SF	TYPE B, OPT. B	4	2	2	-	
UNIT 2E	2 BEDROOM	1,001 SF	TYPE B, OPT. B	2	1	1	-	
UNIT 2F	2 BEDROOM	988 SF	TYPE B, OPT. A	1	-	1	-	
UNIT 2G	2 BEDROOM	1,127 SF	TYPE B, OPT. B	1	-	-	1	
UNIT 2H	2 BEDROOM	1,222 SF	TYPE B, OPT. B	1	-	-	1	
UNIT 2I	2 BEDROOM	1,003 SF	TYPE A	1	-	1	-	
TOTAL UNITS:				36	13	13	10	

NOTES: • UNIT SF'S ARE CALCULATED USING THE EXTERIOR FACE OF SHEATHING, CENTER OF DEMISING WALL STUDS, AND CENTER OF CORRIDOR STUDS.
• 'TYPE A' UNIT ROOM NUMBERS ARE 105 & 212
• 5% OF UNITS ARE REQUIRED TO BE 'TYPE A' ACCESSIBLE. 5% OF 36 TOTAL UNITS IS 1.8 UNITS, OR 2 UNITS.
• UNITS 108, 202, 208, & 305: HEARING/VISION IMPAIRED UNITS.
• TOTAL OF APARTMENT UNITS WITH ACCESSIBLE COMMUNICATIONS FEATURES: 4 TOTAL UNITS (PER 2018 IBC TABLE E104.2.1)

PARKING SUMMARY

PARKING GARAGE	35*
SITE PARKING	25*
PROOF OF PARKING	6
TOTAL	66

*TWO ACCESSIBLE STALLS INCLUDED

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

TRAVEL DISTANCE

Travel Distance	Path ID	Level
88'-9"	0A	
122'-6"	0B	
130'-1"	1A	
130'-5"	1B	
135'-3"	2A	
130'-1"	2B	
116'-4"	03	
135'-5"	04	
135'-6"	3B	

LIFE SAFETY LEGEND

1 HOUR RATED WALL	1 HOUR RATED WALL (SMOKE)
2 HOUR RATED WALL	3 HOUR RATED WALL
3 HOUR RATED WALL	4 HOUR RATED WALL

NUMBER → ELEMENT ID NUMBER
WIDTH → EGRESS WIDTH
FACTOR → EGRESS FACTOR
CAPACITY → EGRESS CAPACITY
LOAD → EGRESS LOAD

EXIT

TYPE 'A' ACCESSIBLE APARTMENT UNIT

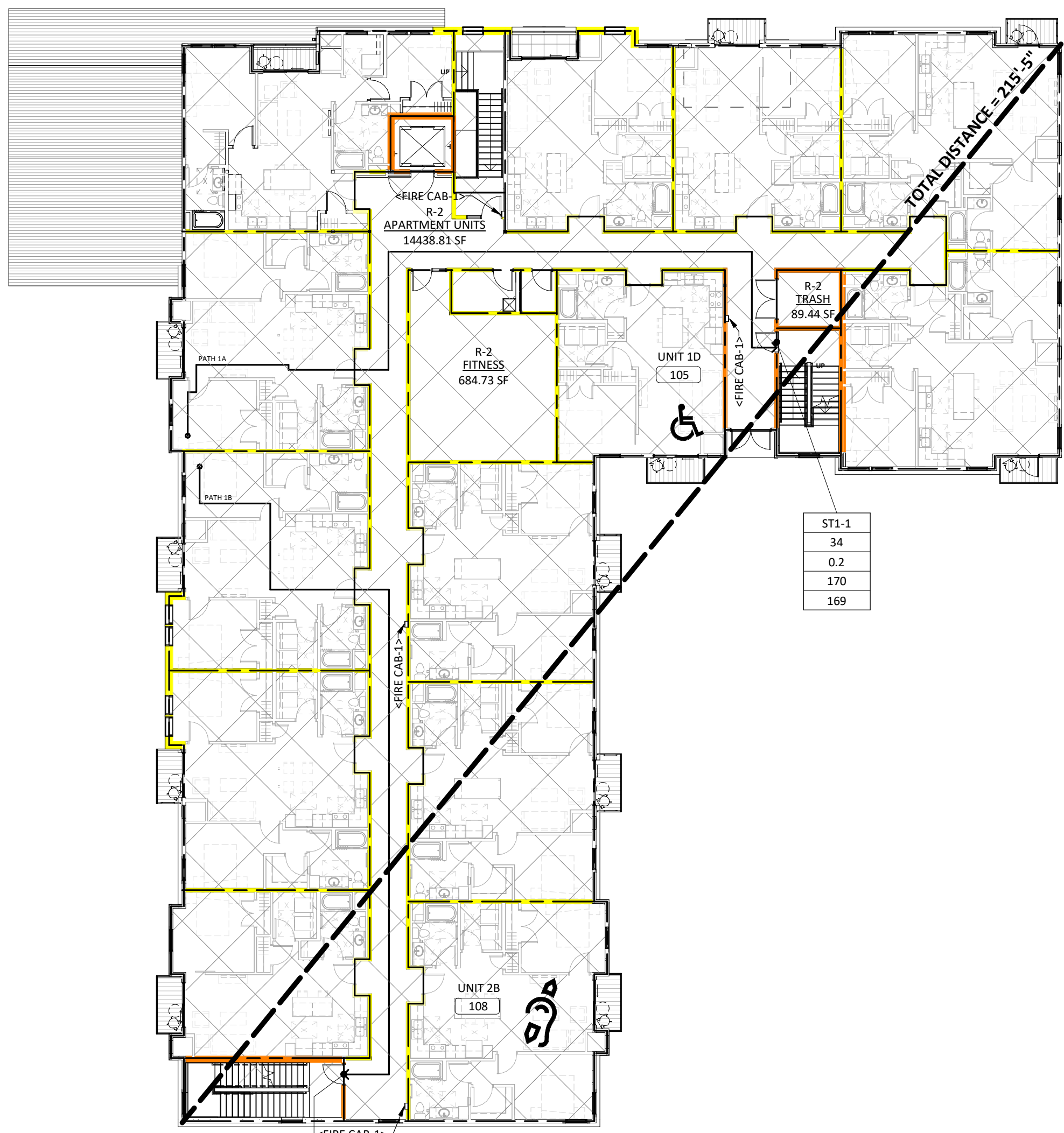
ACCESSIBLE COMMUNICATION FEATURES APARTMENT UNIT

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

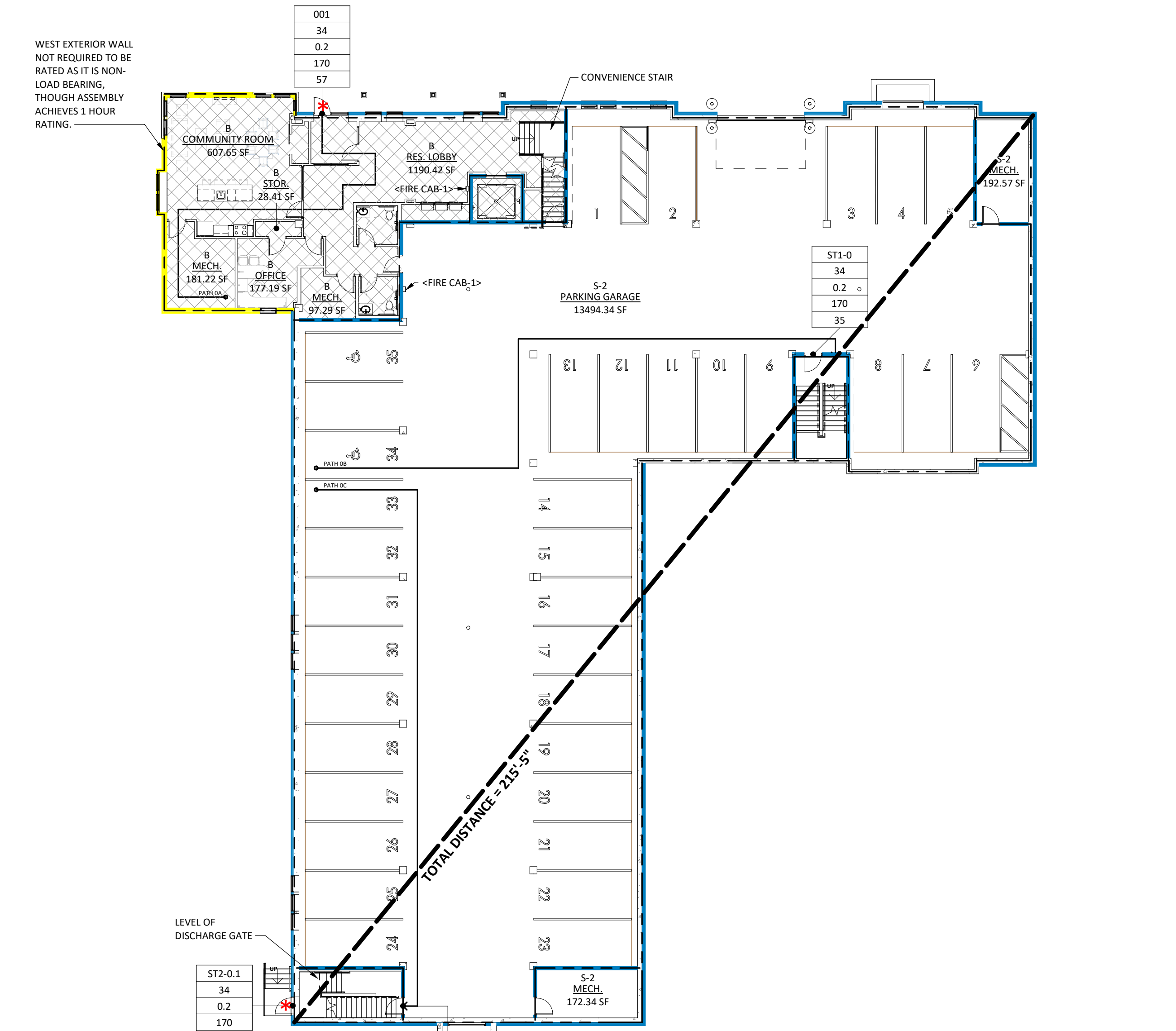
DATE: JUNE 19, 2020
REG. NO: 48546
NICOLE WASHBURN, AIA



2A G110 SCALE: 1/16" = 1'-0"

FIRST FLOOR AREA SCHEDULE

NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10		OCCUPANT LOAD		REMARKS
					FLOOR AREA PER OCCUPANT	SF PER OCC. MEASUREMENT	FIXED SEATS	MAX. ALLOWABLE OCCUPANT LOAD	
R-2	APARTMENT UNITS	14,439 SF	R-2	RESIDENTIAL	200 GROSS	0	73		
R-2	FITNESS	685 SF	R-2	EXERCISE ROOM	50 GROSS	0	14		
R-2	TRASH	89 SF	R-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
		15,213 SF				0	88		



1A G110 SCALE: 1/16" = 1'-0"

GROUND FLOOR AREA SCHEDULE

NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10		OCCUPANT LOAD		REMARKS
					FLOOR AREA PER OCCUPANT	SF PER OCC. MEASUREMENT	FIXED SEATS	MAX. ALLOWABLE OCCUPANT LOAD	
B	RES. LOBBY	1,190 SF	B	BUSINESS AREA	100 GROSS	0	12		
B	COMMUNITY ROOM	608 SF	B	ASSEMBLY - W/O FIXED SEATING - UNCONCENTRATED	15 NET	0	41		
B	MECH.	181 SF	B	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
B	OFFICE	177 SF	B	BUSINESS AREA	100 GROSS	0	2		
B	MECH.	97 SF	B	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
B	STOR.	28 SF	B	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
S-2	PARKING GARAGE	13,494 SF	S-2	PARKING GARAGES	200 GROSS	0	68		
S-2	MECH.	193 SF	S-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
S-2	MECH.	172 SF	S-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	1		
		16,141 SF				0	127		

LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
OWATONNA, MN

DATE: 06/01/2020
PHASE: CONSTRUCTION DOCUMENTS
PROJECT: 181226
SHEET: G110
LIFE SAFETY PLANS

CODE / ZONING REVIEW

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2.030 Density/FAR	OWATONNA ZONING Minimum lot size of 1,700 s.f. per unit (61,200 s.f.)	
2.040 Front Yard Setback	OWATONNA ZONING 30' - Structures in excess of 3 stories or 35 ft. are permitted as conditional uses. For each additional story over 3 stories or for each additional 10ft., and side yard setback requirements shall be increased 5ft.	
2.050 Side Yard Setback	OWATONNA ZONING 10' - A side yard that directly abuts residential district shall be increased 10 additional feet over the minimum stated 15' required for conditional use.	
2.060 Rear Yard Setback	OWATONNA ZONING 20'-0". Note: A variance has been applied for as 20'-0" has been exceeded.	
2.070 Site Coverage Restrictions	OWATONNA ZONING 35' or 3 stories, 4 stories provided with a conditional use permit. For each additional story over 3 stories or for each additional 10 ft. above the 35 ft., front and side yard setback requirements shall be increased 5 ft.	
2.080 Height Restrictions	OWATONNA ZONING 35' or 3 stories, 4 stories provided with a conditional use permit. For each additional story over 3 stories or for each additional 10 ft. above the 35 ft., front and side yard setback requirements shall be increased 5 ft.	
2.090 Parking Requirements	OWATONNA ZONING A) 30' parking requires 45.6 ft wall to wall min. width and 11 ft. isles 45' parking requires 52.5 ft wall to wall min. width and 13 ft. isles 60' parking requires 60.0 ft wall to wall min. width and 18 ft. isles 80' parking requires 62.0 ft wall to wall min. width and 24 ft. isles B) Multiple-family dwelling, studio and one bedroom require one stall per unit and two bedroom and greater require a minimum of two stalls per unit; and C) Elderly (senior citizen) housing: reservation of area equal to one parking space per unit. Initial development is, however, required of only one-half space per unit and said number of spaces can continue unit such time as the City Council considers a need for additional parking spaces has been demonstrated.	
2.100 Landscaping	OWATONNA ZONING Business District. Screening from abutting residential districts shall be provided in the following instances: public utility buildings and structures, convenience food, or wash, motor fuel station, major auto repair, tire and battery stores and service, open and outdoor storage, service, sales and rentals, greenhouse and all open off-street parking areas of five or more spaces.	
2.110 Possible Variances	OWATONNA ZONING Near setback less than 20 ft.	
2.120 Other Notes / Requirements	OWATONNA ZONING	
03 - BUILDING CODE ANALYSIS - APPLICABLE GOVERNING CODES:		
3.010 Building Code	2020 MN State Building Code; Minnesota Rules, Chapter 1300 & 1305 (2018 IBC)	
3.020 Fire Code	2020 MN State Fire Code	
3.030 Mechanical Code	2020 MN State Mechanical and Fuel Gas Code	
3.040 Energy Code	2015 Minnesota Energy Code	
3.050 Plumbing Code	2015 Minnesota Plumbing Code	
3.060 Electrical Code	2014 National Electrical Code with MN amendments; Effective date July 1st, 2014	
3.070 Elevator Code	2015 MN State Elevator and Related Devices Code; MN Rules Chapter 1307.	
3.080 Accessibility Code	2020 Minnesota Accessibility Code	
3.090 Life Safety Code (NFPA)	2020 Minnesota Accessibility Code	
04 - BUILDING CLASSIFICATION AND LIMITATIONS:		
4.010 Occupancy Classification by Code	Chapter 3	R-2 Apartment houses S-2 Enclosed parking garage B Business (including assembly spaces with occupant load less than 50)
4.020 Occupancy Separation(s)	Table 508.3.3	S-2/R-2: Reduced to 1 hour for private vehicles (note b) S-2/B: Reduced to 1 hour for private vehicles (note b)
4.030 Non-Separated Uses	Section 508.3	B/R-2: non-separated uses, but one hour partition required per 708.
4.040 Incidental Use Areas	Table 508.2	
4.050 Automatic Sprinkler System	Section 903.3.1.2	NFPA 13 within S-2 occupancy, per 903.1.10 NFPA 13R within R-2 and B occupancies.
4.060 Construction Type	Chapter 6	V-A
4.070 Buildings on the Same Lot	Section 903.3.1.2	N/A
4.080 Max. Allowable Area Basic Limit	Table 503	12,000 s.f. (based on most restrictive occupancy, R)
4.090 Allowable Area Increase for Frontage	Table 503	20,466 s.f. allowable area with frontage increase
4.100 Allowable Area Increase for Sprinkler	Table 503	W = 544 ft. (281' + 68'11" (30') / 632'11" = 28.22' L = (612' / 612' - .25) 28.22' / 30 = 70.55% 12,000 x 70.55% = 8,466
4.110 Area Increase Formula	Table 503	R-2 = 4 stories, 60' (NFPA 13R) B = 3 stories, 50' (when not sprinklered NFPA 13)
4.120 Maximum Allowable Height Basic Limit	Table 503	None.
4.130 Maximum Allowable Height with Modifications	Tables 504.3 and 504.4	None.
4.140 Is This a High-Rise Classification	Section 403	No.
4.150 Mixed Occupancy Area Calculation	Table 506.2	S-2 separated occupancy, B/R-2 non-separated occupancies.
4.160 Special Requirements Based on Occupancy	Section 510.2	
05 - FIRE RESTRICTIVE REQUIREMENTS:		
5.010 Construction Type	Chapter 6	V-A
5.020 Structural Frame	Table 601	1
5.030 Exterior Bearing Walls	Table 601	1 HR MIN - Not less than that required by Fire Separation Distance: Fire Separation Distance x Occupancy < 5 feet/ft/a > 5 feet, but < 10 feet/ft/a > 10 feet, but < 30 feet/ft/a at east lot line > 30 feet/ft/a
5.040 Interior Bearing Walls	Table 601	1 (See also occupancy separations and other requirements for fire-resistance ratings)
5.050 Interior Supporting Roof Bearing Walls	Table 601	1 (See also occupancy separations and other requirements for fire-resistance ratings)
5.060 Nonbearing Exterior Walls	Table 601	0 (See also occupancy separations and other requirements for fire-resistance ratings)
5.070 Nonbearing Interior Walls	Table 601	0 (See also occupancy separations and other requirements for fire-resistance ratings)
5.080 Floor Construction	Table 601	1
5.090 Roof Construction	Table 601	1
5.100 Exterior Wall Projections	Section 704	None required.
5.110 Exterior Wall Openings	Section 705	70% at east lot line, unlimited elsewhere.
5.120 Exterior Wall Parapet	Section 705	None required.
5.130 Fire Walls	Section 705	None required.
5.140 Fire Barriers	Section 706	N/A
5.150 Shaft Enclosures	Section 707	2 hour (connecting 4 stories) Includes trash chute and trash room.
5.160 Elevator Lobby	Section 706	Not required. Hoistway opening protection required per 3006.3
5.170 Exit Enclosures	Section 1020.1	2 hour
5.180 Exit Passageway	Section 1024	N/A
5.190 Horizontal Exit	Section 1026	N/A
5.200 Atriums	N/A	N/A
5.210 Incidental Use Areas	Section 508.2	N/A
5.220 Control Areas	Section 414.2.3	N/A
5.230 Separation of Mixed Occ.	Table 508.4	2 hour between S-2 and R-2; 2 hour between B and R-2
5.240 Exterior Walls	Section 704	1 hour bearing walls; 0 hour non-load bearing walls.
5.250 Fire Partitions	Section 708	See Life Safety Plans
5.260 Dwelling Unit Demising Walls	Section 420	1 hour
5.270 Corridor Walls	Table 1020.1	1 1/2 hour
5.280 Elevator Lobby Walls	Section 3006	N/A
5.290 Horizontal Assemblies	Section 711.1	2 hour between S-2 and R-2; 1 hour between each dwelling unit
5.300 Penetrations	Section 714	Firestopping as required.
5.310 Joint Systems	Section 713	Firestopping as required.
5.330 Opening Protectives	Section 715	Corridors: 20 min. 1-hour partitions; 45 min. 2-hour shafts; 90 min.
5.340 Ducts/Transfer Openings	As required	As required
5.350 Concealed Spaces	Section 717	Fully insulated per NFPA 13 Section 8.15.1.2.7 (Verify NFPA 13R)
5.360 Fireblocking	Section 718.2	As required.
5.370 Draftstopping - Floor and Ceiling	Sections 708.4 & 717.3.2	At dwelling unit separations and one side of corridor.
5.380 Draftstopping in Attic	Section 717.4.2	Between every 2 units not exceeding 3,000 s.f. and one side of corridor.
06 - EGRESS REQUIREMENTS:		
6.010 Occupancy	Chapter 10	R-2, S-2, B
6.020 Occupant Load	Chapter 10	R-2: 203 B: 54 S-2: 68
6.030 Accessible Means of Egress	Chapter 10	Where more than one means of egress is req'd (by Section 1015.1 or 1019.1) from any accessible space, not less than two accessible means of egress are req'd.
6.040 Exit Stairways	Chapter 10	To be accessible means of egress, must have area of refuge.
6.050 Elevators	Chapter 10	See Code - special requirements such as standby power and area of refuge.
6.060 Minimum Ceiling Height	Chapter 10	7'-6" min.
6.070 Minimum Door Height Clearance	Chapter 10	80" min.
6.080 Stairway Width	Chapter 10	44" required, 46" actual (minimum).
6.090 Stairway Headroom	Chapter 10	80" min.
6.100 Max Height Between Landings	Chapter 10	12'-0"
6.110 Handrails	Chapter 10	Required both sides of stairs.
6.120 Stair Run/Rise	Chapter 10	11" min./7" max.
6.130 Ramps	Chapter 10	N/A
6.140 Common Path of Egress	Chapter 10	R-2: 125' B: 100' S-2: 100'
6.150 Exit Access	Chapter 10	2 required for each story.
6.160 Exit Access Travel Distance	Chapter 10	R-2: 250' max. B: 200' max. S-2: 300' max.
07 - ACCESSIBILITY:		
7.010 Building Entrances	Chapter 11	60% of building entrances must be accessible
7.020 Public Restrooms	Chapter 11	See Plumbing Chapter
7.030 Dwelling Unit Requirements	Chapter 11	2% of units are to be Type A accessible when more than 20 dwelling units are provided. All other units are to be Type B accessible.
7.040 Type Accessible Quantity	Chapter 11	N/A
7.050 Type A Quantity	Chapter 11	2 (5%) provided, plus all units to meet Universal Design standards per MHPA.
7.060 Type B Quantity	Chapter 11	34, plus all units to meet Universal Design standards. Refer to unit plans for designation of Option A or Option B Toilet Rooms.
7.070 Type C Quantity	Chapter 11	N/A
7.080 Communication Features	Chapter 11	4 units required per IBC 2018

CODE / ZONING REVIEW

TOPIC	IBC REFERENCE	RESPONSE
08 - INTERIOR ENVIRONMENT:		
8.010 Ventilation		See Mechanical System must provide 68 degree temp at a point 3ft above floor on the design heating day.
8.020 Temperature Control		See Electrical
8.030 Lighting		See Electrical
8.040 Sound Transmission	Chapter 12	Common interior walls, partitions, and floor ceiling assemblies between adj dwelling units or between dwelling units and public spaces. Air-borne sound: STC > 50 STC (45 Field STC) - tested in accordance with ASTM E 90. Treat openings, penetrations, etc. to maintain rating (except entry doors). Structure-borne sound: IIC > 50 STC (45 Field IIC) - per ASTM E 492
8.050 Interior Space Dimensions		Refer to MHPA requirements in addition to IBC Chapter 12.
8.060 Access to Unoccupied Spaces		N/A
09 - ENERGY EFFICIENCY:		
9.010	Chapter 13	2015 COMMERCIAL ENERGY CODE FOR 4-STORY BUILDING.
10 - STRUCTURAL AND SPECIAL TESTING:		
10.010 Item Requiring Testing	Chapter 17	See Structural
10.020 Required Standard	Chapter 17	See Structural
10.030 Type of Inspector	Chapter 17	See Structural
10.040 Frequency	Chapter 17	See Structural
10.050 Responsible for Inspections	Chapter 17	See Structural
11 - PLUMBING FIXTURE REQUIREMENTS:		
11.010 Lavs (sinks)	Chapter 29	Men = 1; Women = 1
11.020 Water Closets (Toilets)	Chapter 29	Men = 1; Women = 1
11.030 Urinals	Chapter 29	
11.040 Drinking Fountains	Chapter 29	1

UNIT MATRIX

UNIT NAME	UNIT TYPE	UNIT SF	ACC. TYPE	TOTAL	1ST FLOOR	2ND FLOOR	3RD FLOOR	PERCENTAGE
UNIT 1A	1 BEDROOM	740 SF	TYPE B	3	1	1	1	22%
UNIT 1B	1 BEDROOM	770 SF	TYPE B	3	1	1	1	
UNIT 1C	1 BEDROOM	740 SF	TYPE B	1	-	-	-	
UNIT 1D	1 BEDROOM	746 SF	TYPE A	1	1	-	-	
UNIT 2A	2 BEDROOM	971 SF	TYPE B, OPT. A	8	2	3	3	78%
UNIT 2B	2 BEDROOM	1,003 SF	TYPE B, OPT. A	4	2	1	1	
UNIT 2C	2 BEDROOM	997 SF	TYPE B, OPT. A	6	2	2	2	
UNIT 2D	2 BEDROOM	1,065 SF	TYPE B, OPT. B	4	2	2	-	
UNIT 2E	2 BEDROOM	1,001 SF	TYPE B, OPT. B	2	1	1	-	
UNIT 2F	2 BEDROOM	988 SF	TYPE B, OPT. A	1	-	1	-	
UNIT 2G	2 BEDROOM	1,127 SF	TYPE B, OPT. B	1	-	-	1	
UNIT 2H	2 BEDROOM	1,222 SF	TYPE B, OPT. B	1	-	-	1	
UNIT 2I	2 BEDROOM	1,003 SF	TYPE A	1	-	1	-	
TOTAL UNITS:				36	13	13	10	

NOTES:

- UNIT SF'S ARE CALCULATED USING THE EXTERIOR FACE OF SHEATHING, CENTER OF DEMISING WALL STUDS, AND CENTER OF CORRIDOR STUDS.
- 'TYPE A' UNIT ROOM NUMBERS ARE 105 & 212
- 5% OF UNITS ARE REQUIRED TO BE 'TYPE A' ACCESSIBLE. 5% OF 36 TOTAL UNITS IS 1.8 UNITS, OR 2 UNITS.
- UNITS 108, 208, & 305: HEARING/VISION IMPAIRED UNITS.
- TOTAL OF APARTMENT UNITS WITH ACCESSIBLE COMMUNICATIONS FEATURES: 4 TOTAL UNITS (PER 2018 IBC TABLE E104.2.1)

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
FIRE CAB-1	10 4400 - FIRE EXTINGUISHER CABINET

TRAVEL DISTANCE

Travel Distance	Path ID	Level
88'-9"	0A	
122'-6"	0B	
136'-1"	1A	
130'-5"	1B	
130'-3"	2A	
130'-1"	3B	
116'-4"	03	
135'-3"	3A	
135'-6"	3B	

LIFE SAFETY LEGEND

- 1 HOUR RATED WALL
- 2 HOUR RATED WALL (SMOKE)
- 3 HOUR RATED WALL
- 4 HOUR RATED WALL

NUMBER ← ELEMENT ID NUMBER
WIDTH ← EGRESS WIDTH
FACTOR ← EGRESS FACTOR
CAPACITY ← EGRESS CAPACITY
LOAD ← EGRESS LOAD

EXIT

- TYPE 'A' ACCESSIBLE APARTMENT UNIT

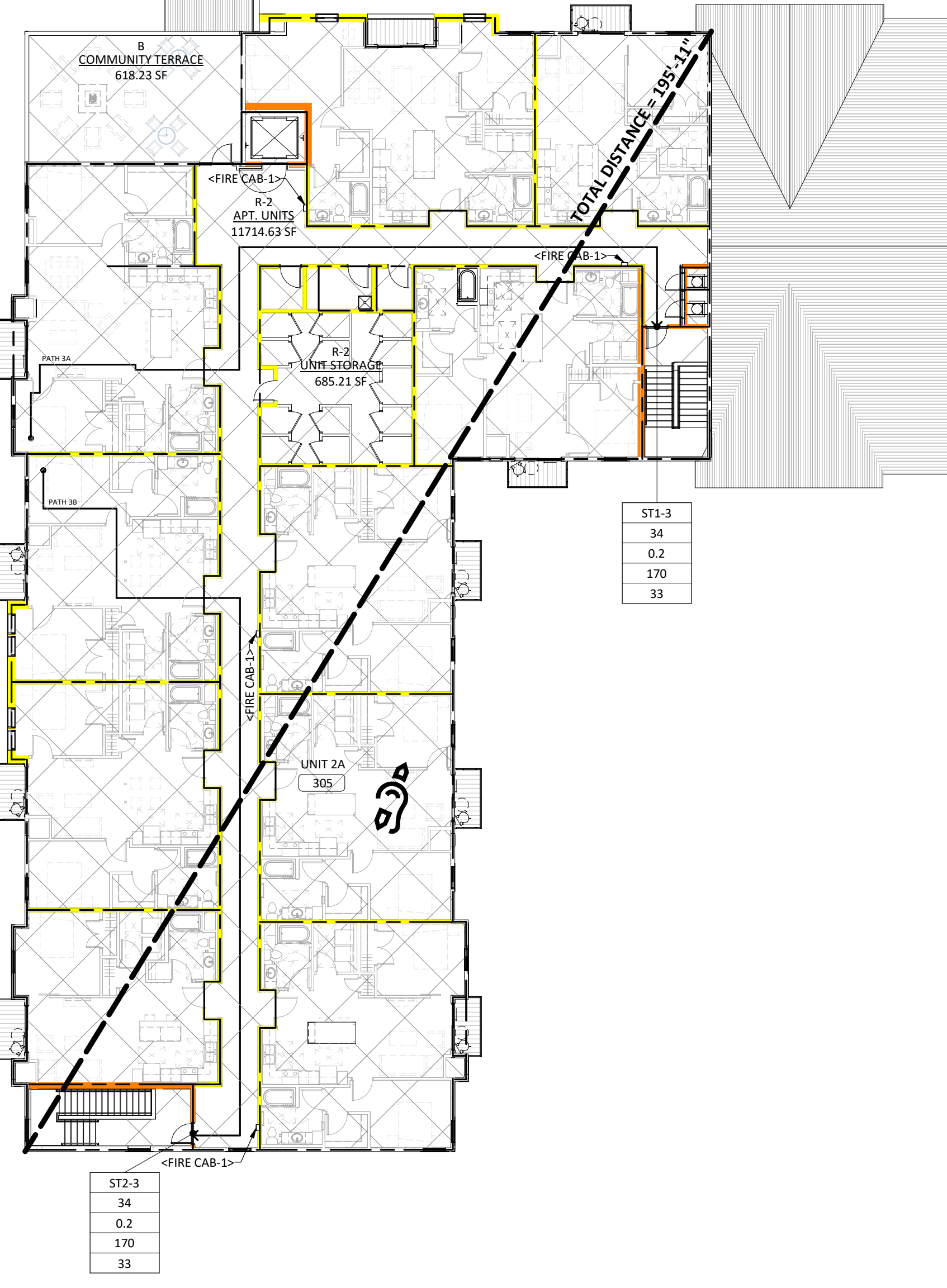
- ACCESSIBLE COMMUNICATION FEATURES APARTMENT UNIT

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

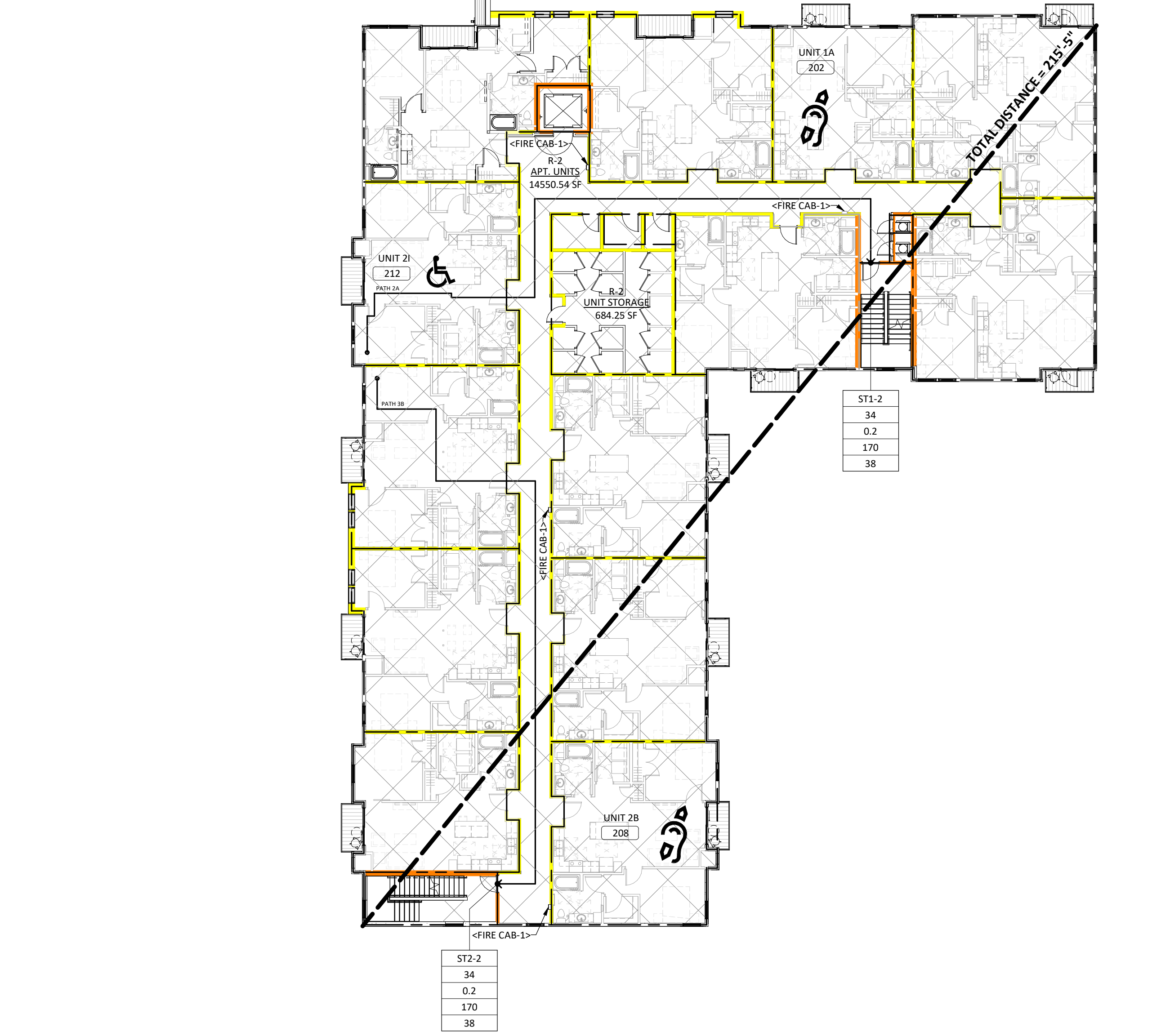
REG. NO. 48546
JUNE 19, 2020
DATE



2A G111 THIRD FLOOR
SCALE: 1/16" = 1'-0"

THIRD FLOOR AREA SCHEDULE

NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10		OCCUPANT LOAD		REMARKS
					FLOOR AREA PER OCCUPANT	SF PER OCC. MEASUREMENT	FIXED SEATS	MAX. ALLOWABLE OCCUPANT LOAD	
B	COMMUNITY TERRACE	618 SF	R-2	ASSEMBLY - W/O FIXED SEATING - UNCONCENTRATED	15 NET	0	42		
R-2	UNIT STORAGE	685 SF	R-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	3		
R-2	APT. UNITS	11,715 SF	R-2	RESIDENTIAL	200 GROSS	0	59		
								104	



1A G111 SECOND FLOOR
SCALE: 1/16" = 1'-0"

SECOND FLOOR AREA SCHEDULE

NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10		OCCUPANT LOAD		REMARKS
					FLOOR AREA PER OCCUPANT	SF PER OCC. MEASUREMENT	FIXED SEATS	MAX. ALLOWABLE OCCUPANT LOAD	
R-2	UNIT STORAGE	684 SF	R-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 GROSS	0	3		
R-2	APT. UNITS	14,551 SF	R-2	RESIDENTIAL	200 GROSS	0	73		
								76	

LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
OWATONNA, MN

DATE: 06/01/2020
PHASE: CONSTRUCTION DOCUMENTS
PROJECT: 181226
SHEET: **G111**
LIFE SAFETY PLANS

MOUNTING HEIGHT...

Value	Note
1	CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE (ACCESSIBLE) OF TOILET AREAS NO MORE THAN 44 IN ABOVE THE FLOOR.
2	INSTALL TOILET PAPER DISPENSERS 19" TO CENTERLINE OF DISPENSER ABOVE FINISHED FLOOR. DISPENSERS THAT CONTROL DELIVERY ARE NOT PERMITTED.
3	HATCHED OR DASHED SPACE INDICATEDS REQUIRED CLEAR FLOOR SPACE.
4	DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND STOP.
5	HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS.
6	GRAB BARS SHALL BE PROVIDED AT ALL ACCESSIBLE TOILET AREAS. MOUNT AT HEIGHT SHOWN AND DO NOT OBSTRUCT ANY REQUIRED CLEARANCES.
7	A CLEAR FLOOR SPACE OF 30IN BY 48IN SHALL BE PROVIDED TO ALLOW FORWARD APPROACH. URINAL SHIELDS THAT DO NOT EXTEND BEYOND THE FRONT END OF THE URINAL RIM MAY BE PROVIDED WITH 29 IN CLEARANCE BETWEEN THEM.
8	URINALS SHALL BE WALL-HUNG WITH AN ELONGATED RIM AT A MAXIMUM OF 17 IN ABOVE THE FLOOR.
9	FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND MOUNTED NO MORE THAN 44 IN ABOVE THE FLOOR.
10	CONTROLS
11	A CLEAR FLOOR SPACE OF 30IN BY 48IN SHALL BE PROVIDED TO ALLOW FORWARD APPROACH.
12	HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
14	SHOWER STALL SIZE SHALL BE 36IN BY 36IN MINIMUM. CLEAR FLOOR SPACE SHALL BE 36IN MINIMUM IN DWELLING UNIT.
15	A SEAT SHALL BE PROVIDED IN SHOWER STALLS 36IN BY 36IN AS INDICATED ABOVE. THE SEAT SHALL BE ON THE WALL OPPOSITE THE CONTROLS. STRUCTURAL STRENGTH OF SEATS AND THE ATTACHMENT MUST COMPLY WITH CODE.
16	A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60IN LONG THAT CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED.

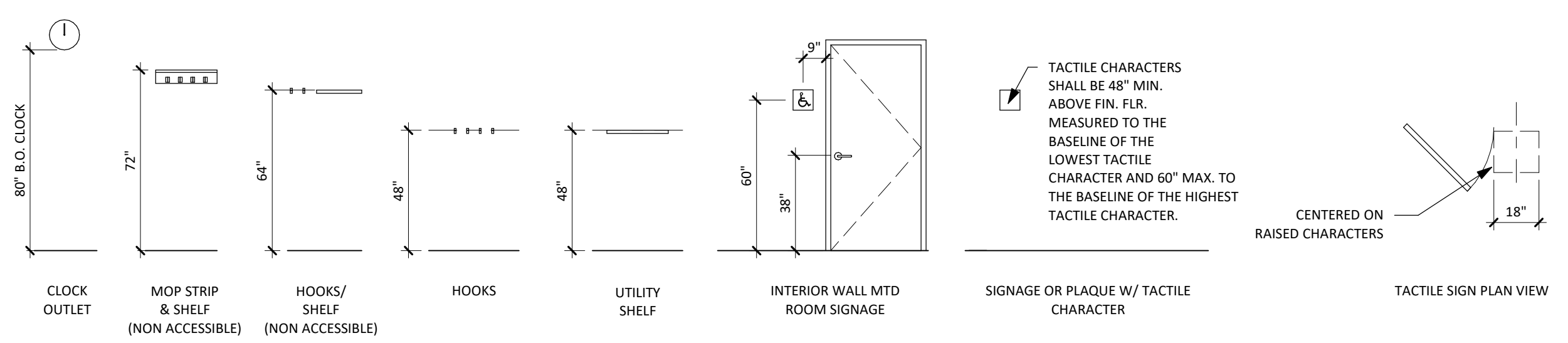
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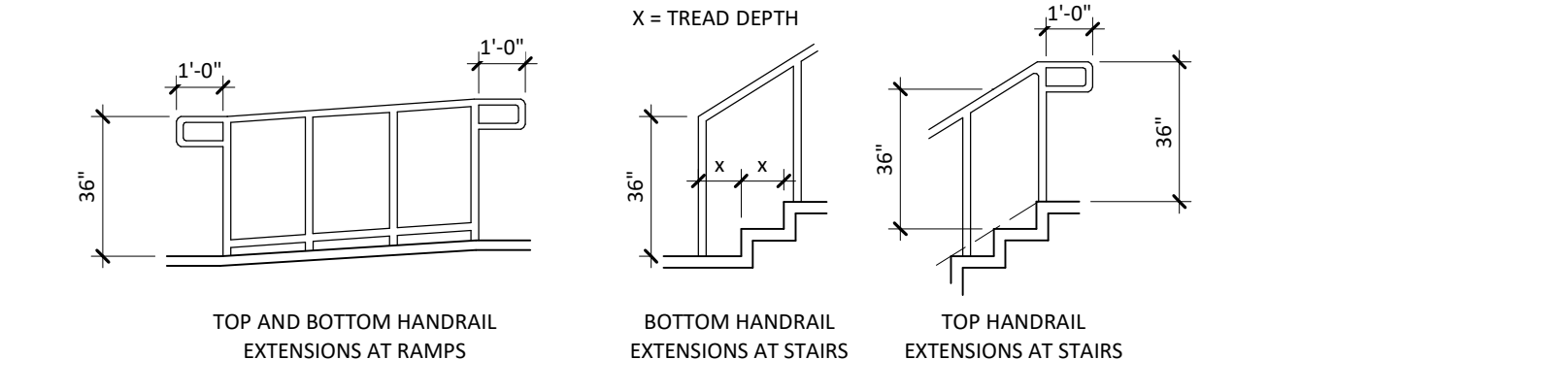
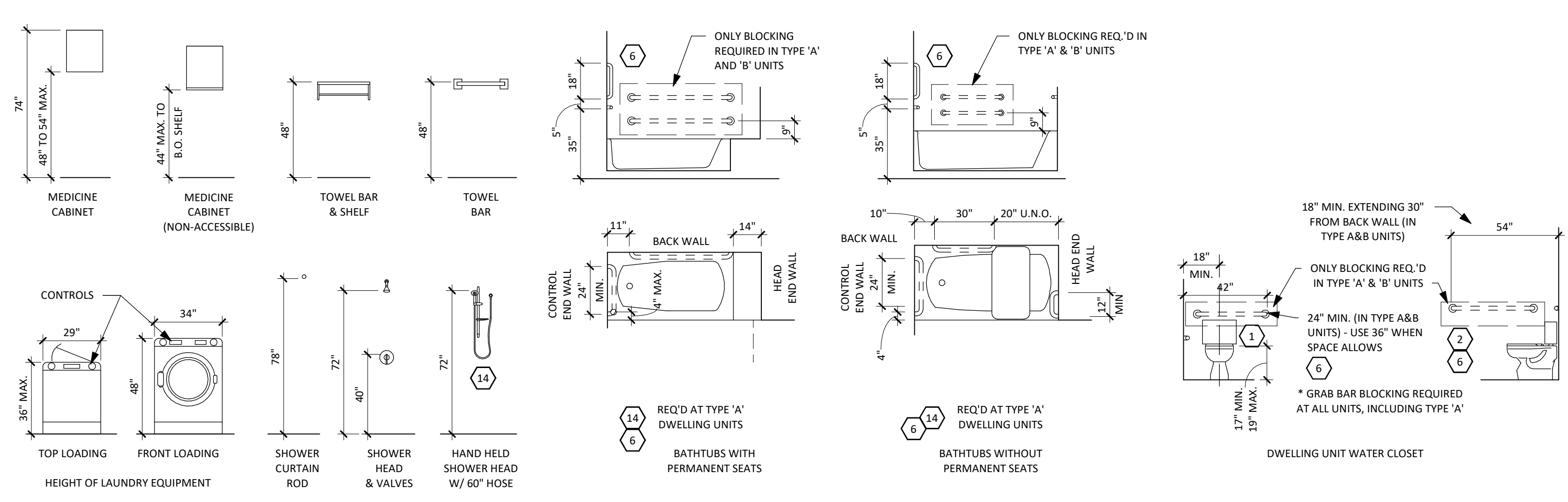
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

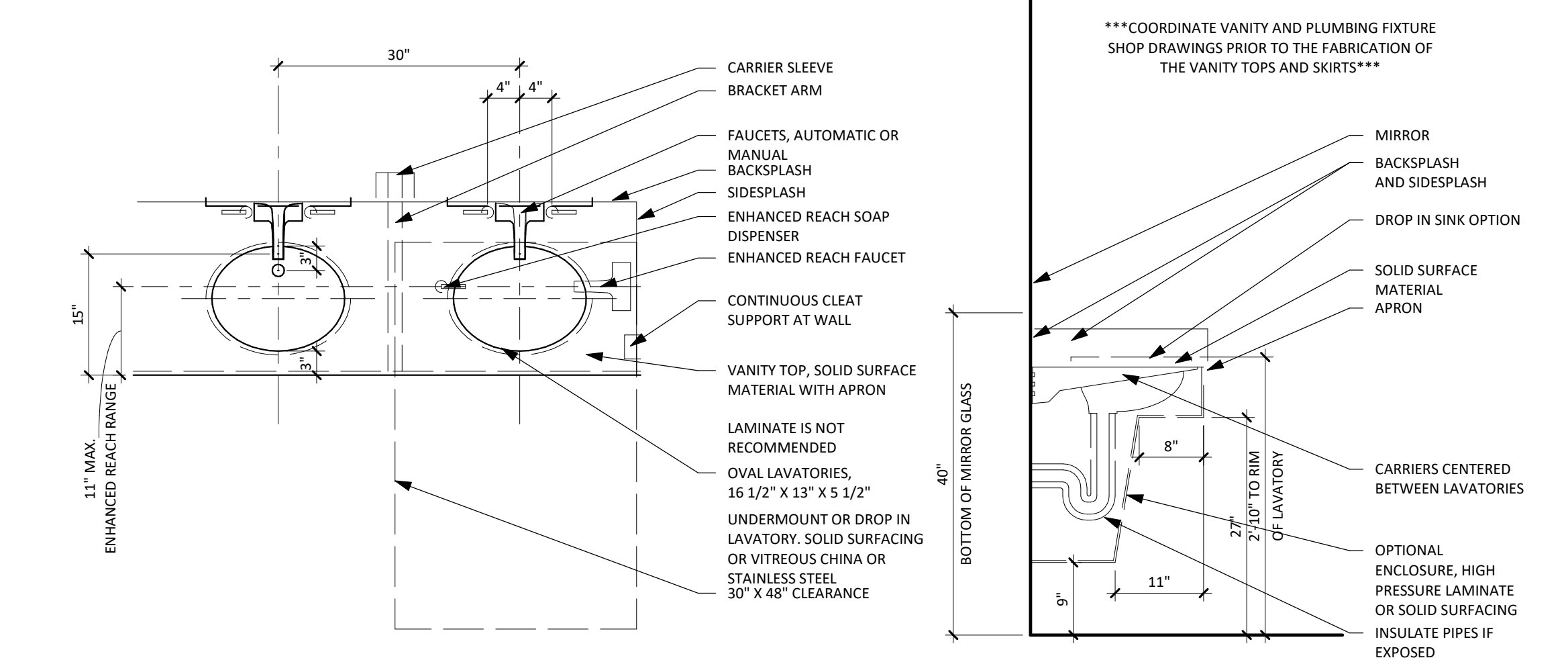
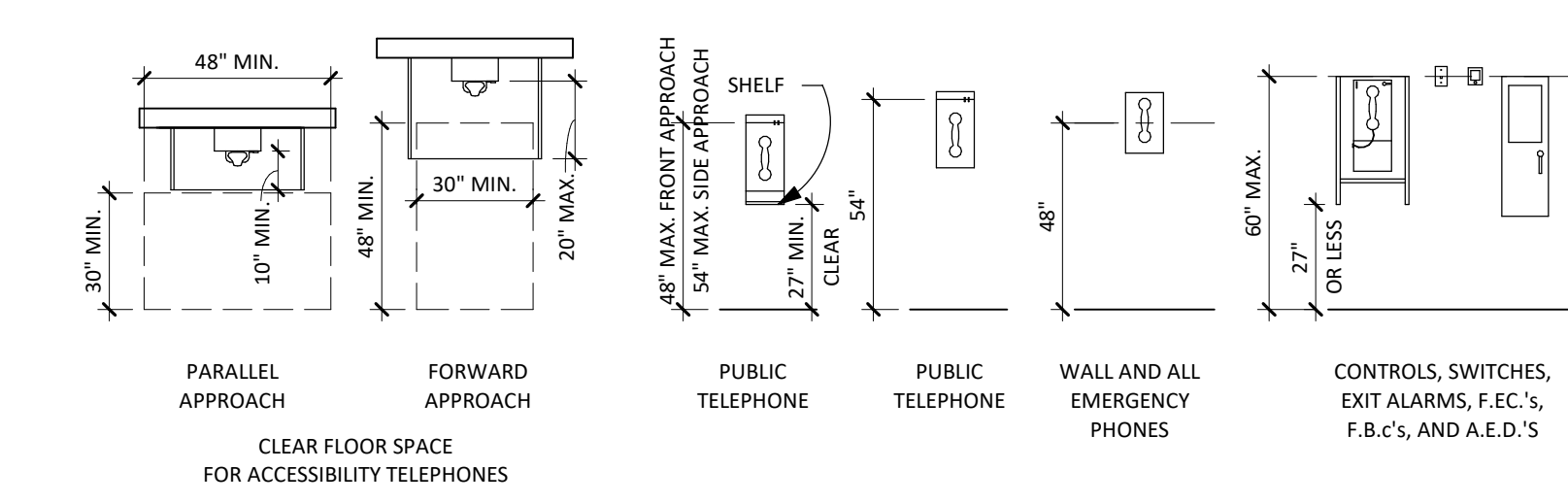
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 REG. NO. 46546 JUNE 19, 2020 DATE
 NICOLE WASHBURN, AIA



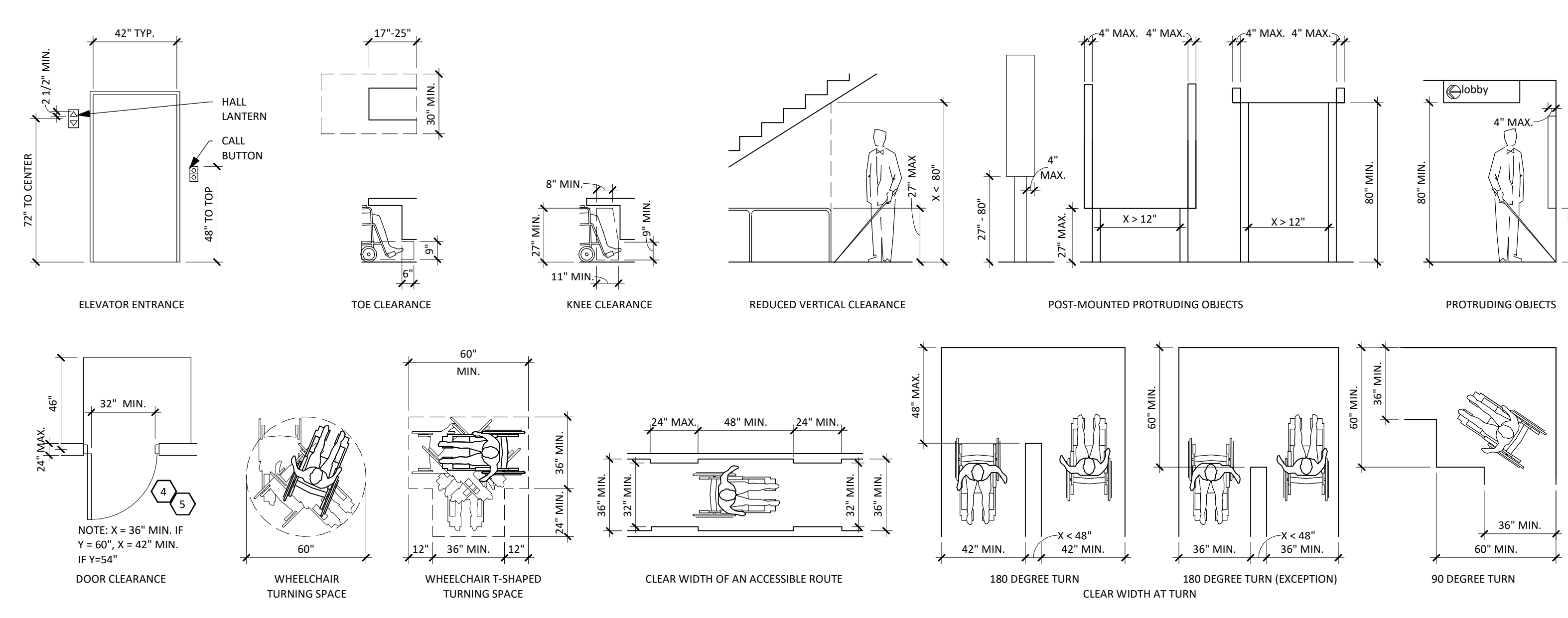
MOUNTING HEIGHTS - MISCELLANEOUS



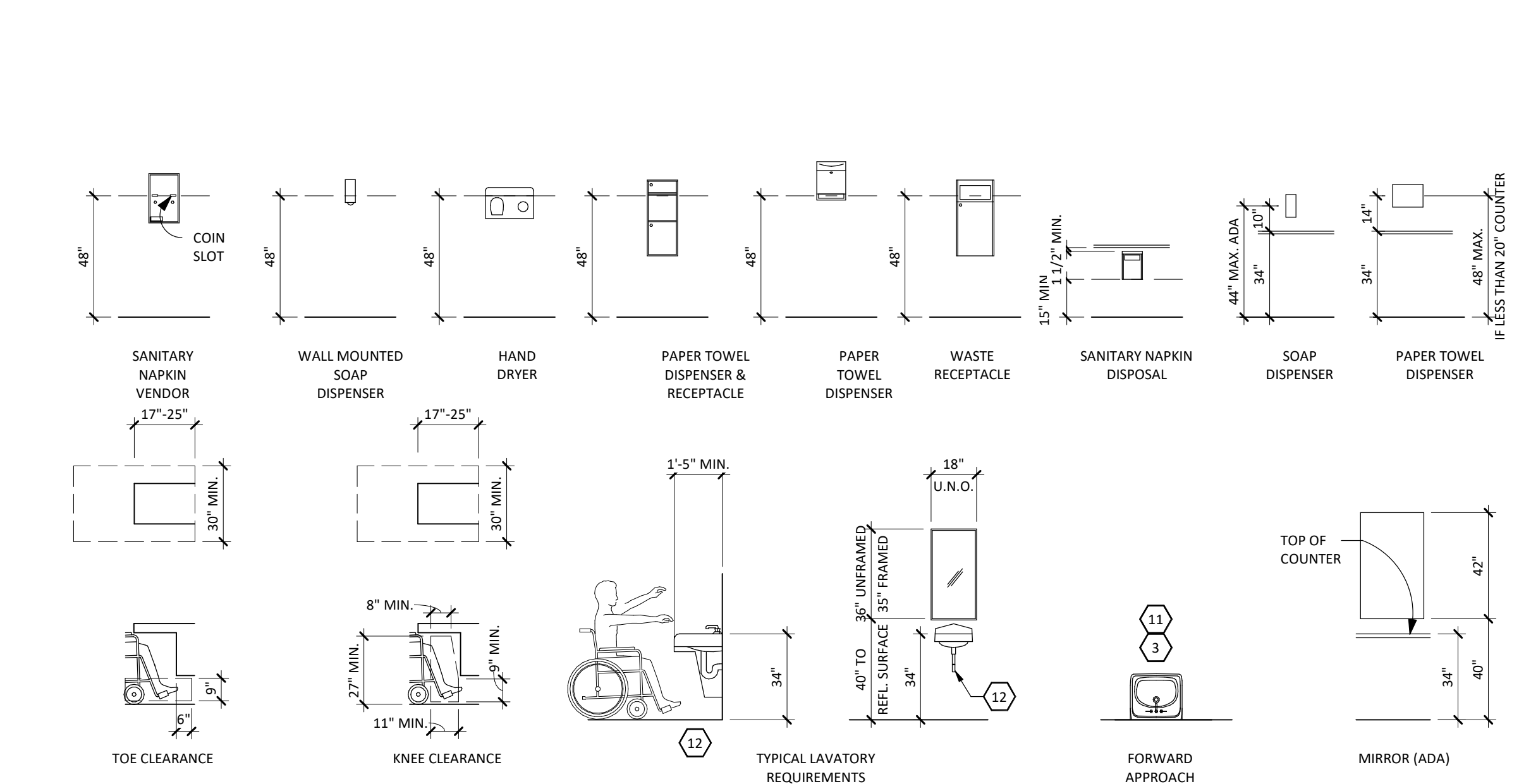
MOUNTING HEIGHTS - RAILING EXTENSIONS



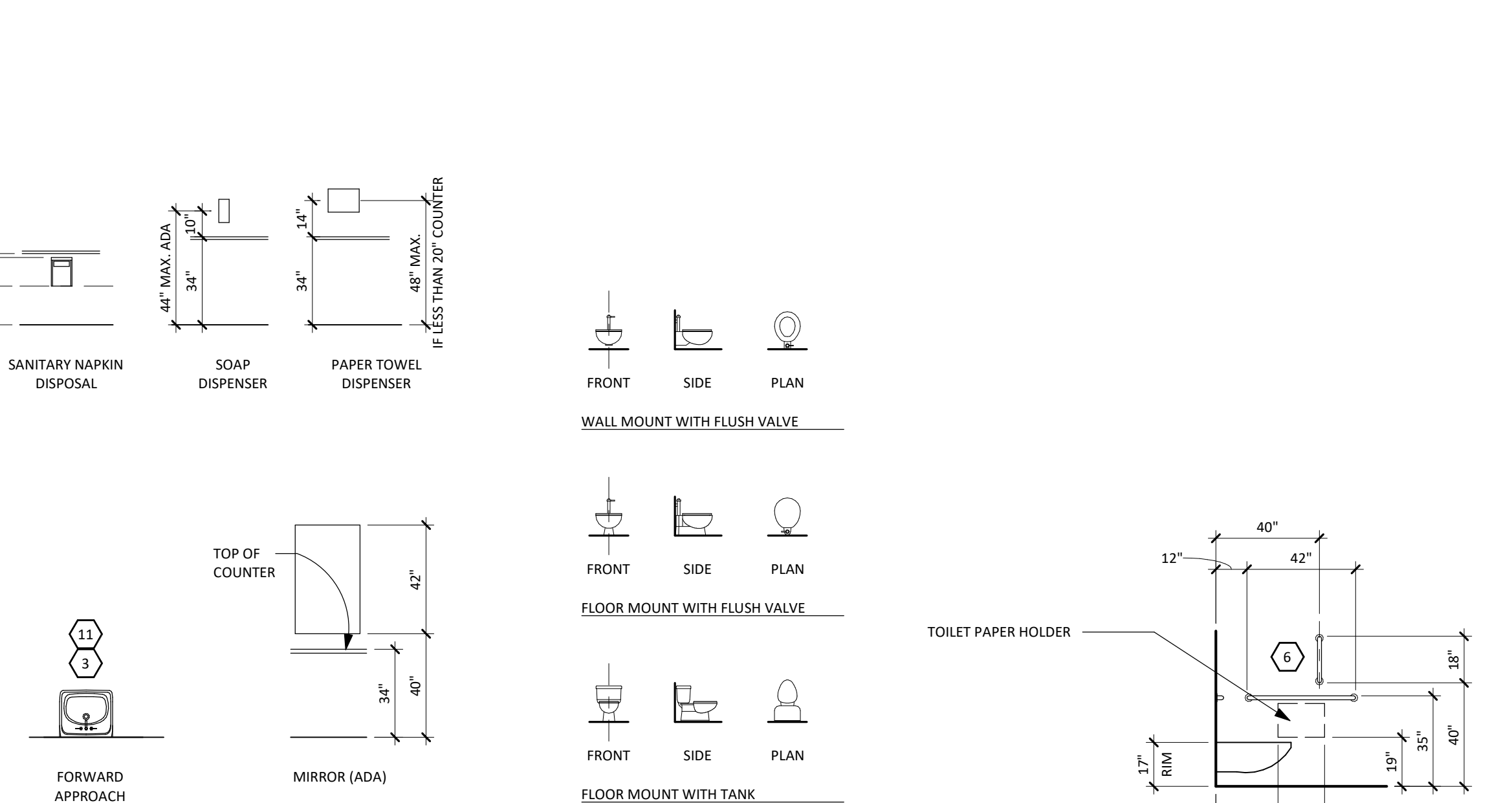
MOUNTING HEIGHTS - RESIDENTIAL



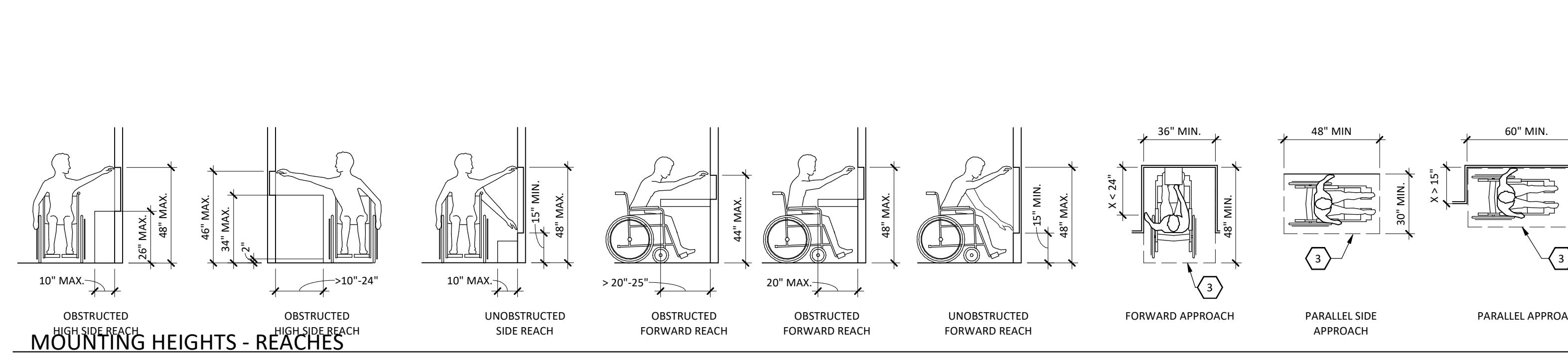
MOUNTING HEIGHTS - COMMUNICATIONS



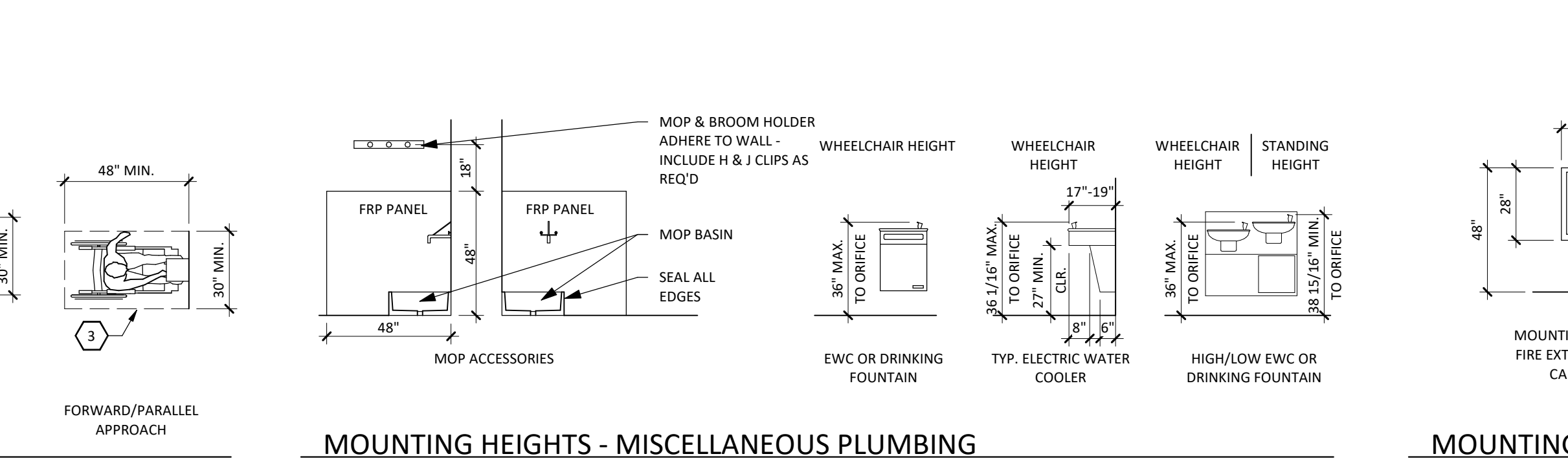
MOUNTING HEIGHTS - TYPICAL VANITIES



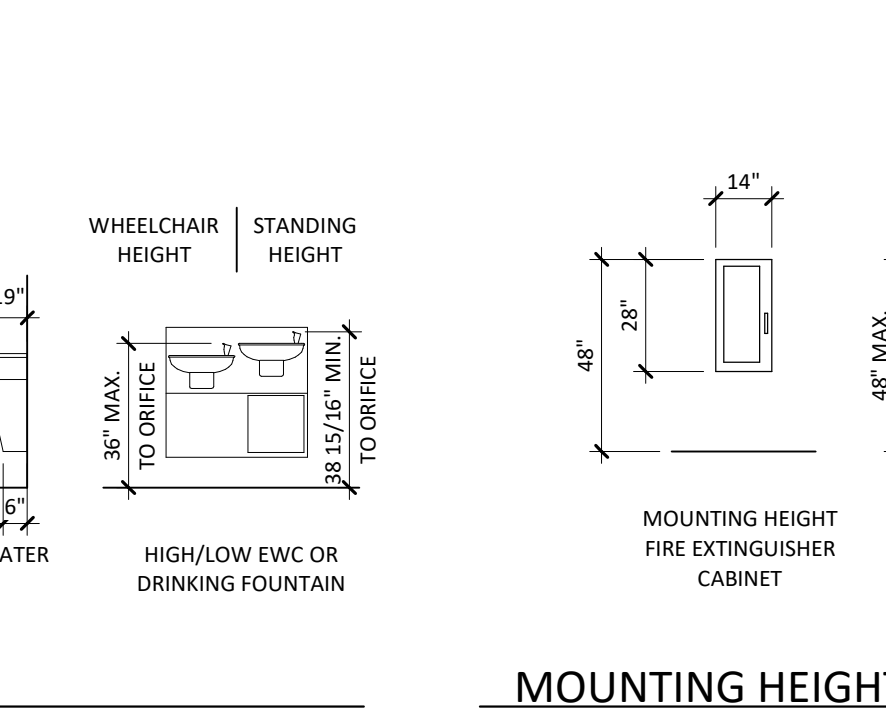
MOUNTING HEIGHTS AND HORIZONTAL CLEARANCES



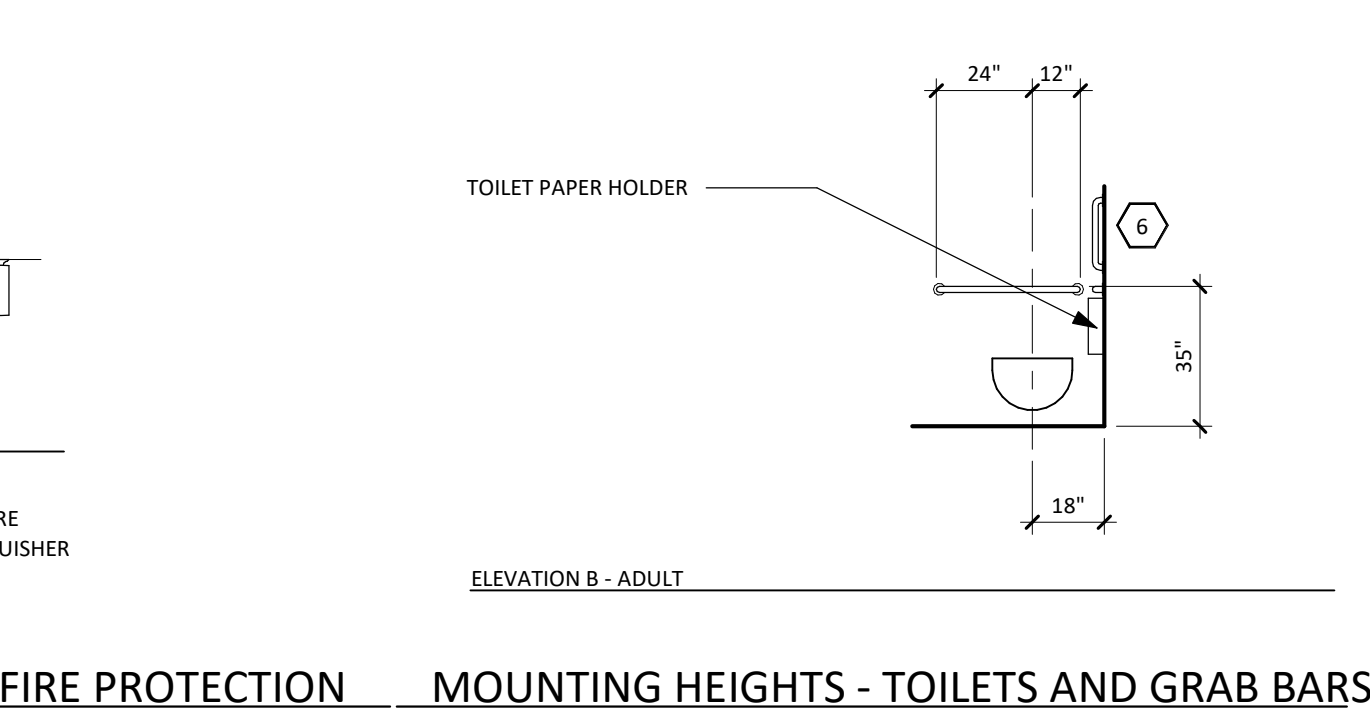
MOUNTING HEIGHTS - TOILET ROOMS



MOUNTING HEIGHTS - FIRE PROTECTION



MOUNTING HEIGHTS - TOILETS AND GRAB BARS



LWO DEVELOPMENT, LLC
EASTGATE APARTMENTS
 OWATONNA, MN

DATE: 06/01/2020
 PHASE: CONSTRUCTION DOCUMENTS
 PROJECT: 18126
 SHEET: G120
 MOUNTING HEIGHTS