

# VILLAS OF RIVERS RIDGE

## 4 UNIT TOWNHOUSE - BUILDING "A"

### RED WING, MN



#### PROJECT TEAM:

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#### REVISION LOG

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#### CODE SUMMARY

##### I. BUILDING DESCRIPTION:

A NEW 2 STORY 4 UNIT TOWNHOUSE BUILDING  
WITH ATTACHED GARAGES - TOTAL BLDG. = 8,196 S.F.  
FIRST FLOOR UNITS = 2,800 SF + GARAGES = 1,800 SF  
TOTAL = 4,600 S.F. AND SECOND FLOOR UNITS = 3,596 S.F.

##### 2. BLDG. SUMMARY: 2018 I.R.C. WITH 2020 MINNESOTA AMENDMENTS, AND OTHER RELATED CODES.

- A. SECTION - R300 CLASSIFICATION  
IRC-3 - TOWNHOUSE - (TABLE 300.1)
- B. SECTION R302 - FIRE-RESISTANT CONSTRUCTION
  - WALLS SEPARATING TOWNHOUSE UNITS SHALL BE NOT LESS THAN 1 HOUR FIRE-RESISTANCE RATED WITH A FIRE SPRINKLER SYSTEM. (R302.2.2)
  - SMOKE ALARMS PER SECTION R314 DESIGNED BY OTHERS
  - WALLS SEPARATING GARAGES FROM DWELLING AND ATTIC SPACE SHALL HAVE 1/2" MIN. GYPSUM BOARD (TABLE R302.4)
  - CEILINGS SEPARATING GARAGES FROM DWELLING UNIT ABOVE SHALL HAVE 5/8" TYPE "X" MIN. GYPSUM BOARD (TABLE R302.6)
  - OPENINGS BETWEEN GARAGES AND DWELLING UNIT TO COMPLY WITH R302.5. DOORS TO BE SELF CLOSING
- C. SECTION R306 - SANITATION  
EVERY DWELLING UNIT SHALL BE PROVIDED A WATER CLOSET, LAVATORY, 1 BATH TUB OR SHOWER  
EACH DWELLING UNIT SHALL BE PROVIDED WITH A KITCHEN AREA AND A SINK IN THAT AREA.
- D. SECTION R311 - MEANS OF EGRESS  
STAIRWAYS AND HALLWAYS SHALL HAVE A MINIMUM DIMENSION OF 36" CLEAR. (R311.4 & R311.1.2)  
STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING. (R311.1.2)  
STAIRWAYS SHALL HAVE A MINIMUM TREAD OF 10" AND MAXIMUM RISER OF 7 3/4". (R311.1.5)  
STAIRWAYS SHALL HAVE A HANDRAIL ON AT LEAST 1 SIDE. (R311.1.8)

E. SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEMS  
BUILDINGS WITH 3 OR MORE TOWNHOUSE UNITS REQUIRE A FIRE SPRINKLER SYSTEM - PROVIDE PER NFPA 13D OR P2904 (SECTION R313.1.1)

F. SECTION R320 - ACCESSIBILITY  
ALL EXTERIOR COMMON AREA SPACES SHALL COMPLY  
REQUIRED UNIT TYPES:

AT LEAST 2% BUT NOT LESS THAN 1 UNIT SHALL BE TYPE "A" (SECTION 1107.6.2.2.1)  
66 UNITS ARE PROVIDED ON SITE - 2 ARE TYPE "A"  
MULTI-STORY TOWNHOUSE UNITS WHICH ARE NOT PROVIDED ELEVATOR SERVICE ARE NOT REQUIRED TO BE TYPE "B" (SECTION 1107.1.2)

G. PROVIDE RADON MITIGATION PER MN SECTION 1303.2402.  
ADD PASSIVE RADON MITIGATION SYSTEM FOR EACH UNIT  
SEE RADON DETAIL ON SHEET A101

H. 2020 MN RESIDENTIAL ENERGY CODE (PRESCRIPTIVE METHOD - TABLE R402.1.1)  
CITY OF RED WING, MN - GOODHUE COUNTY (ZONE 6)

CATEGORY	FENESTRATION	CEILING	WOOD FRAME WALL	SLAB & DEPTH
REQUIRED	0.32 U-FACTOR	R-49	R-20 CAVITY	RI0/3.5 FT
PROVIDED	0.30 OR LOWER	R-49	R-21 CAVITY	RI0/3.5 FT

\*R-VALUES ARE MINIMUMS, U-FACTORS ARE MAXIMUMS

J. RECYCLING SPACE (MN ADMIN RULES 1303.1500)

EACH RESIDENT WILL KEEP THEIR INDIVIDUAL REFUSE AND RECYCLING CONTAINERS IN THEIR ATTACHED GARAGE.

#### SHEET INDEX

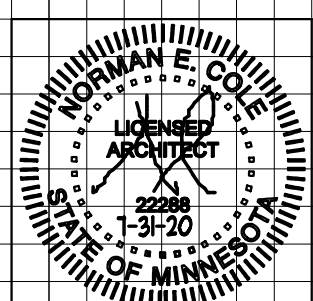
##### ARCHITECTURAL:

- A001A TITLE & CODE INFO
- A101A FLOOR PLANS AND SCHEDULES
- A102A ROOF PLAN AND SCHEDULE
- A501A EXTERIOR ELEVATIONS
- A101A BUILDING SECTIONS & DETAILS

##### STRUCTURAL:

- S000 GENERAL STRUCTURAL NOTES
- S001 STRUCTURAL ABBREVIATIONS
- S110 4 PLEX BLDG. A FOUNDATION PLAN
- S111 4 PLEX BLDG. A SECOND FLOOR FRAMING PLAN
- S112 4 PLEX BLDG. A ROOF FRAMING PLAN
- S500 TYPICAL FOUNDATION DETAILS
- S501 TYPICAL FLOOR FRAMING DETAILS
- S502 TYPICAL ROOF FRAMING DETAILS

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These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid.  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.  
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DEVELOPER: KB KELLER/BAARTMAN  
PROFESSIONALS  
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(651) 388-0000

FOR: 4 UNIT TOWNHOME FOR: VILLAS OF RIVERS RIDGE  
RED WING, MN

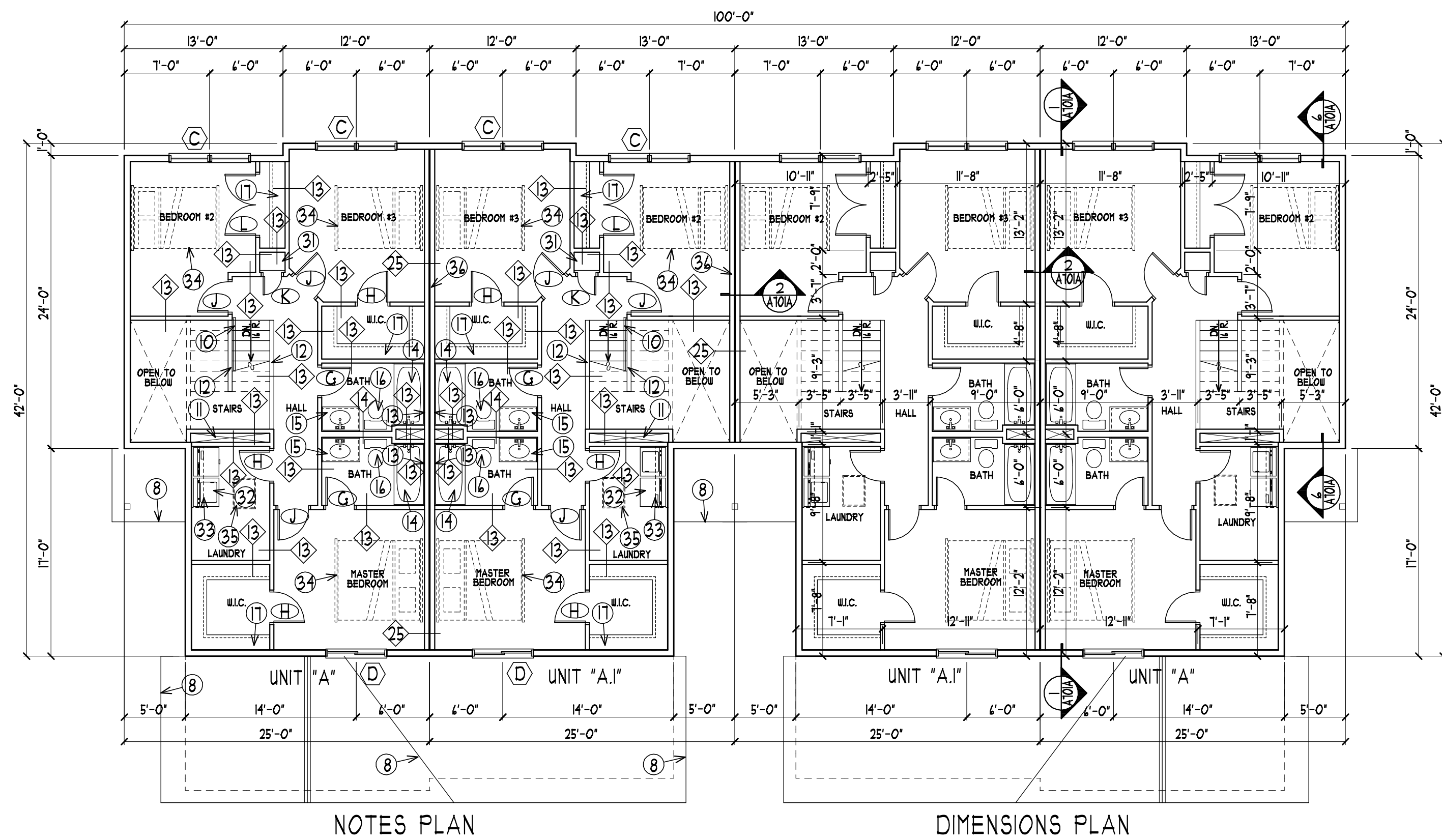
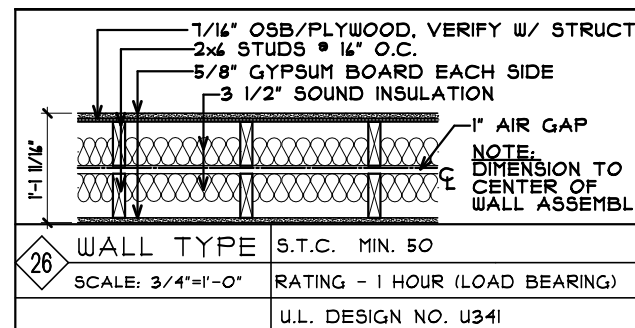
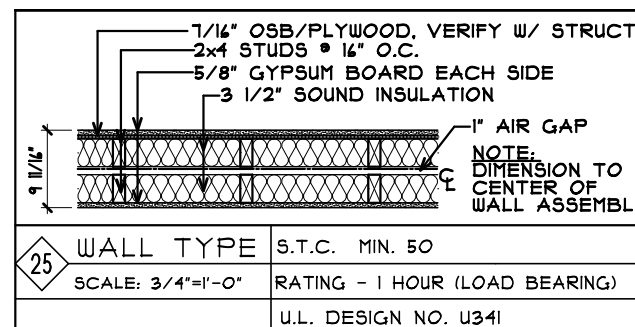
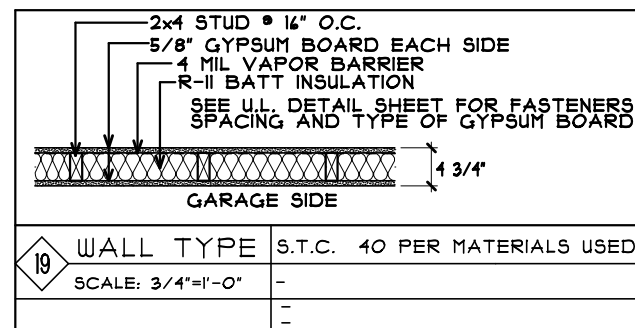
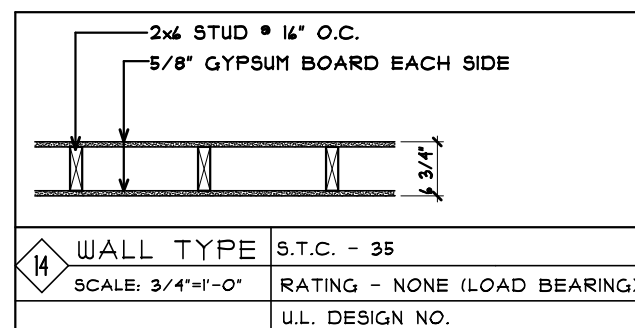
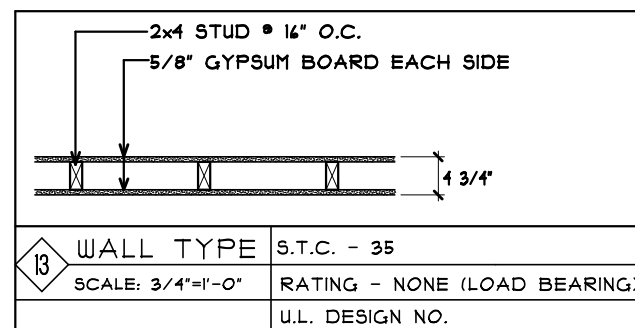
REVISIONS	COMMENTS

Project No. 20020  
Issue Date: 1-31-20  
Document Set: PERMIT SET

A001A

### FLOOR PLAN NUMBER NOTES

- STRUCTURAL POST. SEE STRUCTURAL PLANS FOR SIZE. PROVIDE COLOR CLAD WRAP FINISH WHERE REQUIRED.
- 5'-0" x 5'-0" FROST STOOP FOR EXTERIOR DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
- NOT USED.
- BALCONY OR POURED CONCRETE PATIO SLOPED AWAY FROM BUILDING. SEE PLAN FOR SIZE.
- NOT USED.
- CULTURED STONE THIS LOCATION. SEE EXTERIOR ELEVATIONS FOR STYLE AND AMOUNT.
- FOURED CONCRETE APRON AT O.H. DOORS.
- LINE OF ROOF BELOW.
- LINE OF ROOF, FLOOR OR BALCONY ABOVE, SHOWN DASHED.
- HAND RAIL MOUNTED AT 34" TO 38" ABOVE NOSING OF STAIR TREADS.
- CHASE FOR MECHANICAL DUCTS.
- 42" HIGH HALF WALL WITH WOOD CAP.
- GYPSON BOARD BEHIND TUB SURROUND TO MAINTAIN FIRE RATING OF PARTY WALL.
- BATH TUB WITH FIBERGLASS SURROUND. SEE PLUMBING PLANS.
- LAVATORY WITH COUNTERTOP AND CABINET BELOW. SEE PLUMBING PLANS.
- WATER CLOSET. SEE PLUMBING PLANS.
- CLOSET ROD AND SHELF.
- ELECTRIC FIREPLACE. VERIFY SIZE AND STYLE. SEE ELECTRICAL PLANS.
- 12" COUNTERTOP OVERHANG FOR EATING BAR.
- BLIND CORNER CABINET DOOR THIS SIDE.
- LINE OF 12" DEEP UPPER CABINETS.
- 24" DEEP FINISHED END PANEL AT FRIDGE.
- LINE OF 24" DEEP UPPER CABINET ABOVE FRIDGE.
- DISHWASHER. SEE MEP PLANS FOR HOOK-UPS.
- RANGE WITH VENTED HOOD. SEE MEP PLANS FOR HOOK-UPS.
- REFRIGERATOR. SEE MEP PLANS FOR HOOK-UPS.
- STAINLESS STEEL DOUBLE BOIL KITCHEN SINK. SEE PLUMBING PLANS.
- FLOOR DRAIN. SEE PLUMBING PLANS.
- SEE MEP PLANS FOR EQUIPMENT THIS ROOM.
- ELECTRIC PANEL. VERIFY LOCATION WITH ELECTRICAL PLANS.
- 5 ADJUSTABLE LINEN SHELVES.
- CLOTHES WASHER AND DRYER. SEE MEP PLANS FOR HOOK-UPS.
- 60" LONG SHELF ABOVE LAUNDRY MACHINES.
- FURNITURE SHOWN FOR SPACE PLANNING ONLY. (N.I.C.)
- 22'x30" MIN LOCKING ATTIC ACCESS.
- PARTY WALL FIRE PARTITION BUILT TO BOTTOM OF FLOOR/ROOF SHEATHING. THIS SERVES AS REQ'D DRAFTSTOP IN TRUSS SPACE. FIRE BLOCK AS REQ'D. SEE DETS 344/A101E.
- REMOVABLE CABINET FRONT FOR WORK AREA. SEE 9 I 12A/A30IC.
- RANGE WITH ACCESSIBLE CONTROLS. SEE 9 I 9A/A30IC.
- REFRIGERATOR WITH ACCESSIBLE COMPARTMENTS. SEE 8A/A30IC.
- SINK WITH REMOVABLE CABINET FRONT. SEE 9 I 11A/A30IC.
- DISHWASHER WITH ACCESSIBLE CONTROLS. SEE 10A/A30IC.
- CLOTHES WASHER AND DRYER WITH ACCESSIBLE CONTROLS. SEE 13A/A30IC.
- ACCESSIBLE TURNING SPACE. SEE 14A/A30IC.
- ACCESSIBLE CLOTHES ROD AND SHELF. SEE 10 I 18A/A30IC.
- ACCESSIBLE DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 1, 5A I 19A/A30IC.
- ACCESSIBLE PATIO DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 11A/A30IC.
- LINEAL CABINET.
- LAVATORY IN VANITY WITH REMOVABLE CABINET FRONT. SEE 4 I 4A/A30IC.
- ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE 1, 2, 3, 4A I 1A/A30IC.
- ACCESSIBLE BATH TUB. SEE 11 I 1A/A30IC.
- RETAINING WALL WITH CULTURED STONE VENEER AND 42" HIGH GUARD RAIL ON TOP. SEE CIVIL PLANS FOR LENGTH AND GRADING AROUND IT.
- SEE STRUCTURAL PLANS FOR BEAM OR TRUSS GIRDER ABOVE. WRAP WITH GYPSON BOARD WHERE IT PROJECTS BELOW CEILING.
- BULL HEIGHT PRIVACY WALL. VERIFY EXTENTS W/ OWNER/G.C.
- 2X FURRING WALL FOR PLUMBING.



3 BED (2 1/2 BATHS)  
100 S.F. MAN + GARAGE  
878 S.F. UPPER  
1578 S.F. TOTAL + GARAGE

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SECOND FLOOR PLAN - BLDG. "A"  
SCALE: 1/8" = 1'-0"  
(4) PLEX 3.5% S.F.

### DOOR SCHEDULE "A"

Door #	Door Location (Room Name)	Door Size	Door Material	Door Rating	Assembly	Frame Type	Hdr. Group	Comments (Note: rating of door frame and hardware to match door rating)
<b>EXTERIOR DOORS</b>								
A	UNIT MAIN ENTRY	3'-0"x4'-8"	INSUL. ST.	NONE	1	1	1	-
B	-	-	-	-	-	-	-	-
C	UNIT GARAGE OHD	14'-0"x8'-0"	INSUL. ST.	NONE	3	2	3	-

Door Letter	Door Location (Room Name)	Door Size	Door Material	Door Rating	Doors Type	Frame Type	Hdr. Group	Comments (Note: rating of door frame and hardware to match door rating)
<b>INTERIOR DOORS</b>								
D	MECH. ROOM	3'-0"x4'-8"	INSUL. ST.	20 MIN.	2	1	4	-
E	MUD ROOM	2'-8"x4'-8"	INSUL. ST.	20 MIN.	2	1	5	-
F	KITCHEN	2'-8"x4'-8"	HCWD	NONE	4	4	4	-
G	BATH/POWDER	2'-4"x4'-8"	HCWD	NONE	4	3	1	-
H	CLOSET	2'-4"x4'-8"	HCWD	NONE	4	3	8	-
J	BEDROOM	2'-4"x4'-8"	HCWD	NONE	4	3	1	-
K	CLOSET	1'-4"x4'-8"	HCWD	NONE	4	3	8	-
L	CLOSET	(2) 2'-4"x4'-8"	HCWD	NONE	4	3	9	PAIR OF DOORS
M	CLOSET	3'-0"x4'-8"	HCWD	NONE	4	3	8	-
N	BEDROOM	3'-0"x4'-8"	HCWD	NONE	4	3	1	-
P	BATHROOM	3'-0"x4'-8"	HCWD	NONE	4	3	1	-

DOOR TYPES:	ABBREVIATIONS:
1 INSULATED STEEL, PRE-FINISHED, FLUSH PANEL, HALF LITE (SAFETY GLAZING).	ALUM. ST. ALUMINUM STORE FRONT
2 INSULATED STEEL, PRE-FINISHED, FLUSH PANEL.	INSUL. ST. INSULATED STEEL
3 INSULATED STEEL, PRE-FINISHED, RAISED PANEL O.H.D. w/ STEEL BACKER AND GLAZING.	HCWD HOLLOW CORE WOOD DOOR
4 1 3/8" WOOD, PRE-FINISHED, FLUSH PANEL.	SCWD SOLID CORE WOOD DOOR
5	NOTE: VERIFY LOCATION OF ALL DOOR HARDWARE READERS WITH OWNER AND/OR MANAGEMENT.
<b>FRAME TYPES:</b>	
1 WOOD FRAME, PRE-FINISHED.	
2 NO FRAME AT THIS DOOR.	
3 WOOD FRAME, PRE-FINISHED TO MATCH DOOR.	
4 POCKET DOOR FRAME.	
5	

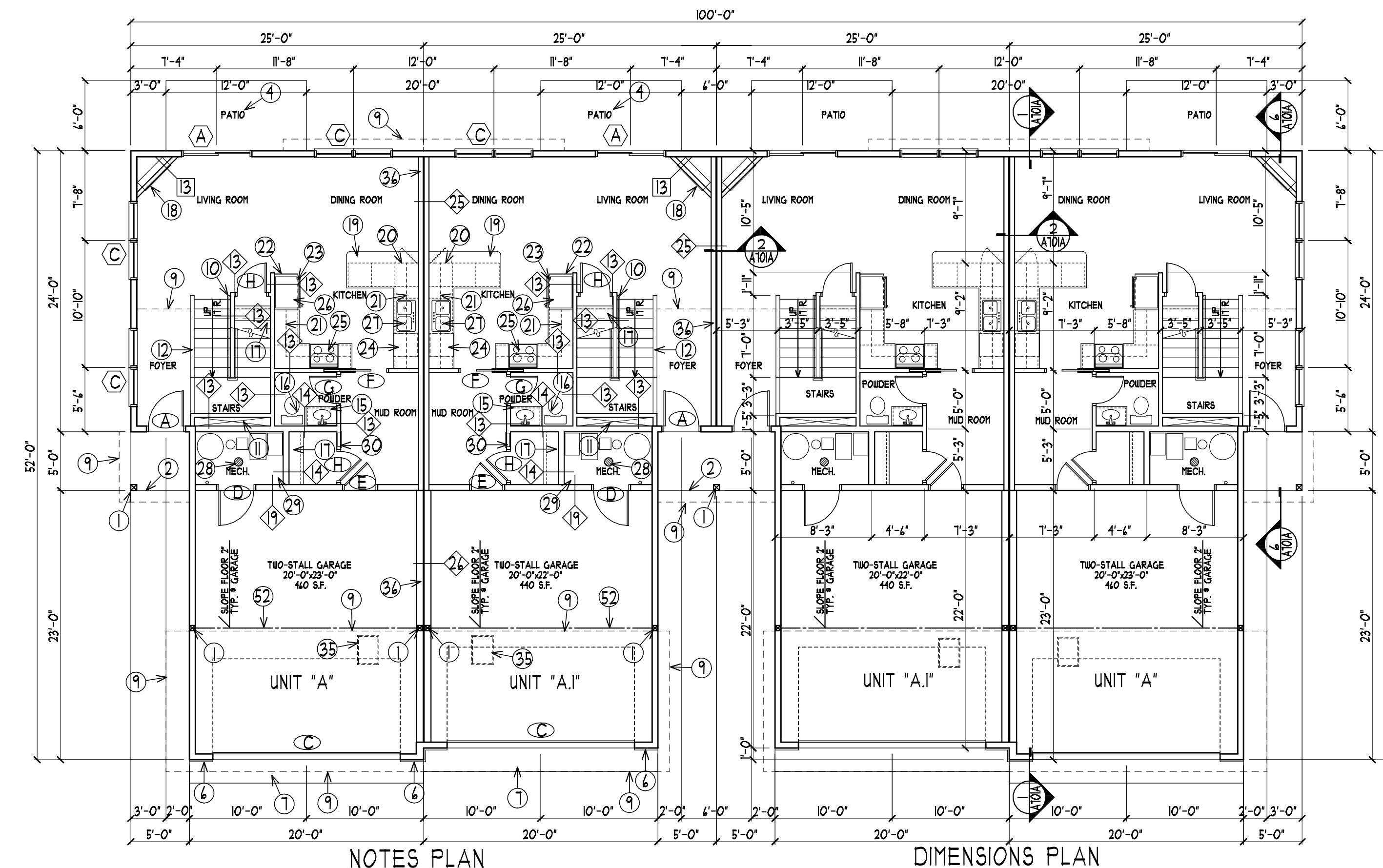
HARDWARE GROUPS:	
SCHLAGE OR EQUAL "AL" SERIES AT INTERIOR DOORS, "D" SERIES AT EXTERIOR DOORS.	
PROVIDE APPROVED LEVER HANDLES AT ALL DOORS AND BUMPERS WHERE REQUIRED.	
DOOR HARDWARE TO MATCH LABEL OF DOOR AND BE INSTALLED PER NFPA #80.	
1	ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, DEAD BOLT, ACCESSIBLE THRESHOLD, WEATHER STRIP.
2	ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, THRESHOLD, WEATHER STRIP.
3	OVER HEAD DOOR HARDWARE. PROVIDE AUTOMATIC OPENER.
4	ENTRY HARDWARE; 1 1/2 PAIR HINGES, NON-LOCKING LATCH, THRESHOLD, WEATHER STRIP.
5	ENTRY HARDWARE; 1 1/2 PAIR SPRING LOADED HINGES, LOCKING LATCH, ACCESSIBLE THRESHOLD, WEATHER STRIP.
6	POCKET DOOR HARDWARE.
7	PRIVACY HARDWARE; 1 PAIR HINGES, PUSH BUTTON LOCKING LATCH.
8	PASSAGE HARDWARE; 1 PAIR HINGES, NON-LOCKING LATCH.
9	PASSAGE HARDWARE; 2 PAIR HINGES, 2 DUMMY LATCHES, 2 ROLLER CATCHES.
10	

### GENERAL NOTES:

- VERIFY ADDITIONAL FINISH REQUIREMENTS w/ PLANS BY INTERIOR DESIGNER I F.F.I.E. SUPPLIER
- PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL. PREFERRED LOCATION IS UNDER KITCHEN SINK.
- PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- PROVIDE TEMPERED/SAFETY GLASS w/ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- ALL DOOR HARDWARE AND PLUMBING CONTROLS TO BE LEVER TYPE.
- VERIFY REQUIREMENTS OF ALL SPECIALTY EQUIPMENT w/ OWNER.
- ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF OR BELOW CLOTHES DRYERS.
- G.C. TO PROVIDE IDENTIFICATION ON ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE PARTITIONS AND SMOKE BARRIERS IN ACCESSIBLE CONCEALED SPACES. MIN. 3" LETTERING AND 3/8" STROKE IN CONTRASTING COLOR. 15' FROM THE END OF WALL AND NO MORE THAN 30' HORIZONTALLY.
- REFER TO MECHANICAL I ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE TENANT DECK / PATIO LIGHTING. SEE ELECTRICAL PLANS BY OTHERS.
- ALL STRUCTURAL STEEL SHALL BE FIRE PROTECTED WITH INTUMESCENT PAINT OR
- PER PROVIDED DETAILS INDEPENDENT OF THE ASSEMBLY THEY ARE WITHIN.
- PROVIDE 4" STUD WALLS AT ELECTRICAL PANELS AND PLUMBING WALLS (WHERE REQUIRED).
- SEAL ALL MECHANICAL I ELECTRICAL PENETRATIONS OF WALL/CEILING/FLOOR CONSTRUCTION.
- GUTTERS AND DOWNSPOUTS SHOWN ON SITE I ROOF PLANS AND EXTERIOR ELEVATIONS.

WINDOW SCHEDULE "A" WINDOWS LISTED HERE ARE THERMO-TECH "CLASSIC" SERIES HIGH PERFORMANCE L&E 212					
LABEL	QTY.	MANUFACTURER	MODEL NO.	DESCRIPTION	NOMINAL SIZE
A	-	THERMO-TECH	CPD1418	PATIO SLIDER	4'-0"x4'-8"
B	-	THERMO-TECH	CPD1418	PATIO SLIDER	4'-0"x4'-8"
C	-	THERMO-TECH	(2) TSH4010E	SINGLE HUNG	(2) 3'-4"x5'-0"
D	-	THERMO-TECH	TSG4042E	HORIZ. SLIDER	5'-0"x3'-4"
E	-	THERMO-TECH	TSH3048	SINGLE HUNG	2'-4"x4'-0"
F	-	-	-	-	-
G	-	-	-	-	-

NOTE: ALL OPERABLE WINDOWS MORE THAN 4'-0" ABOVE GRADE TO MAINTAIN A SILL HEIGHT OF 34" MIN. ABOVE FINISHED FLOOR OR PROVIDE LIMITERS PER CODE. MAINTAIN 32" MIN. CLEAR AT PATIO SLIDERS IN UNIT "C".



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FIRST FLOOR PLAN - BLDG. "A"  
SCALE: 1/8" = 1'-0"  
(4) PLEX 4.24 S.F.

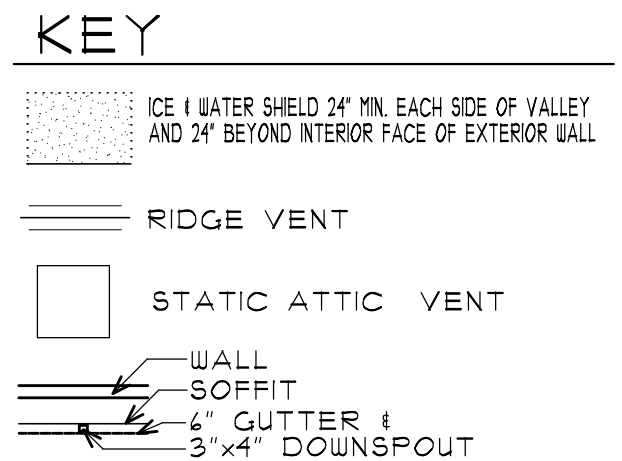
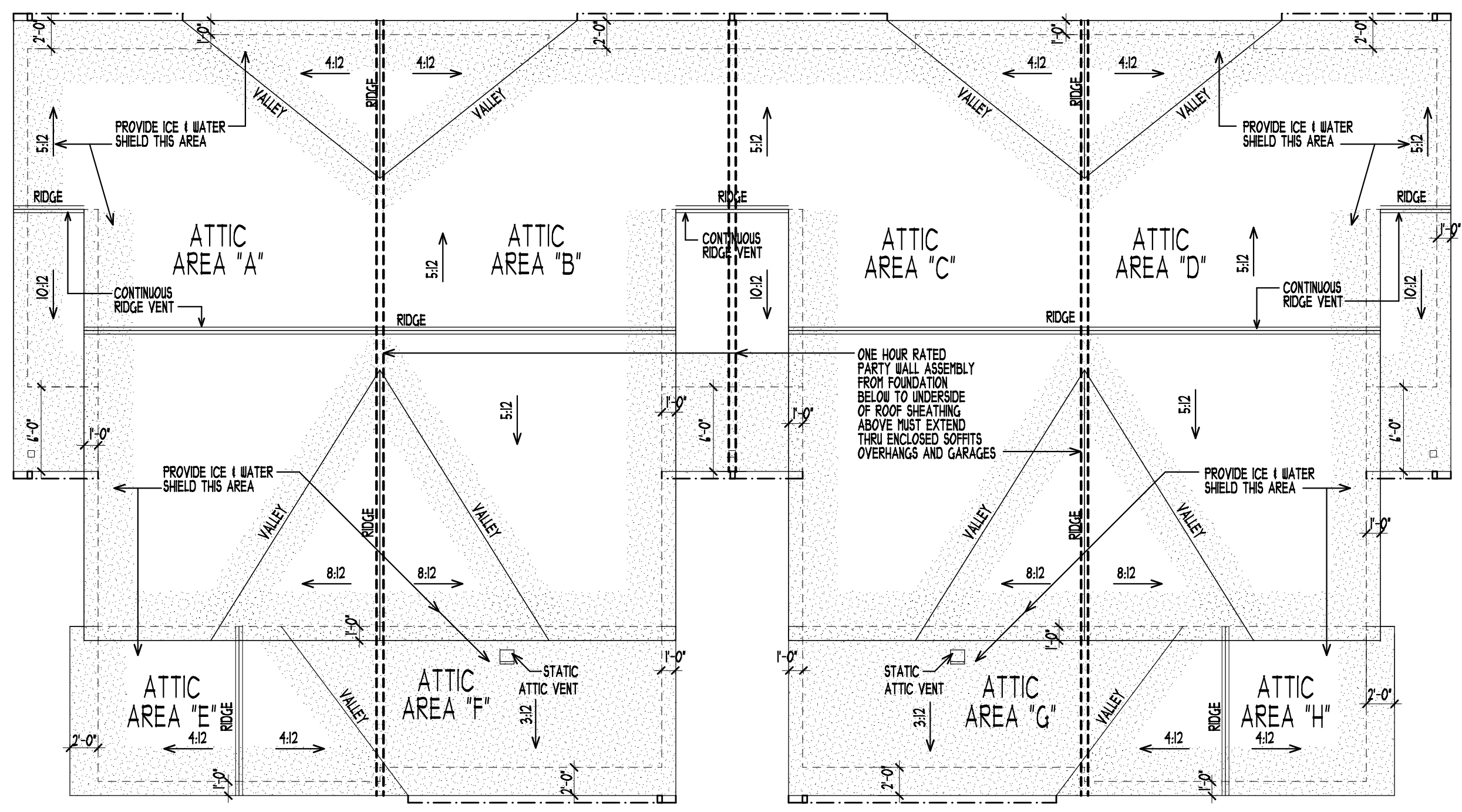
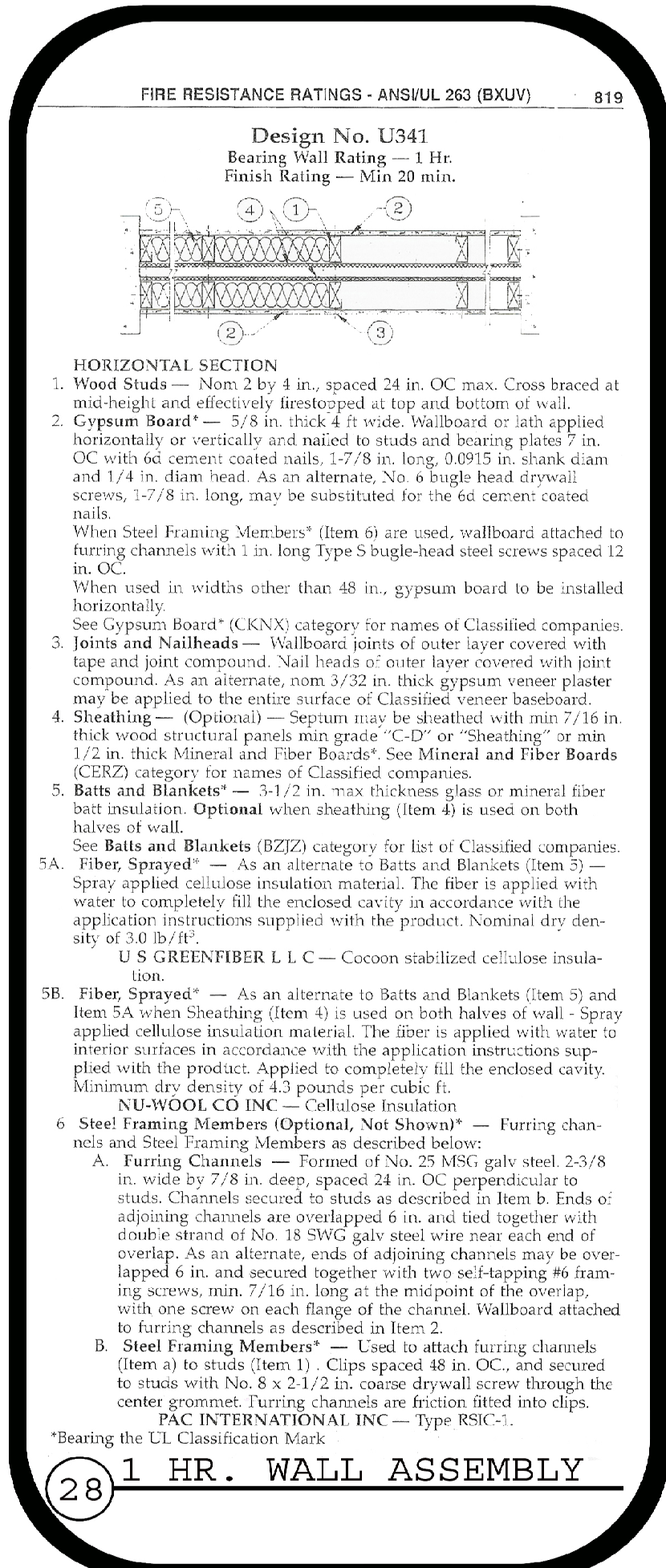
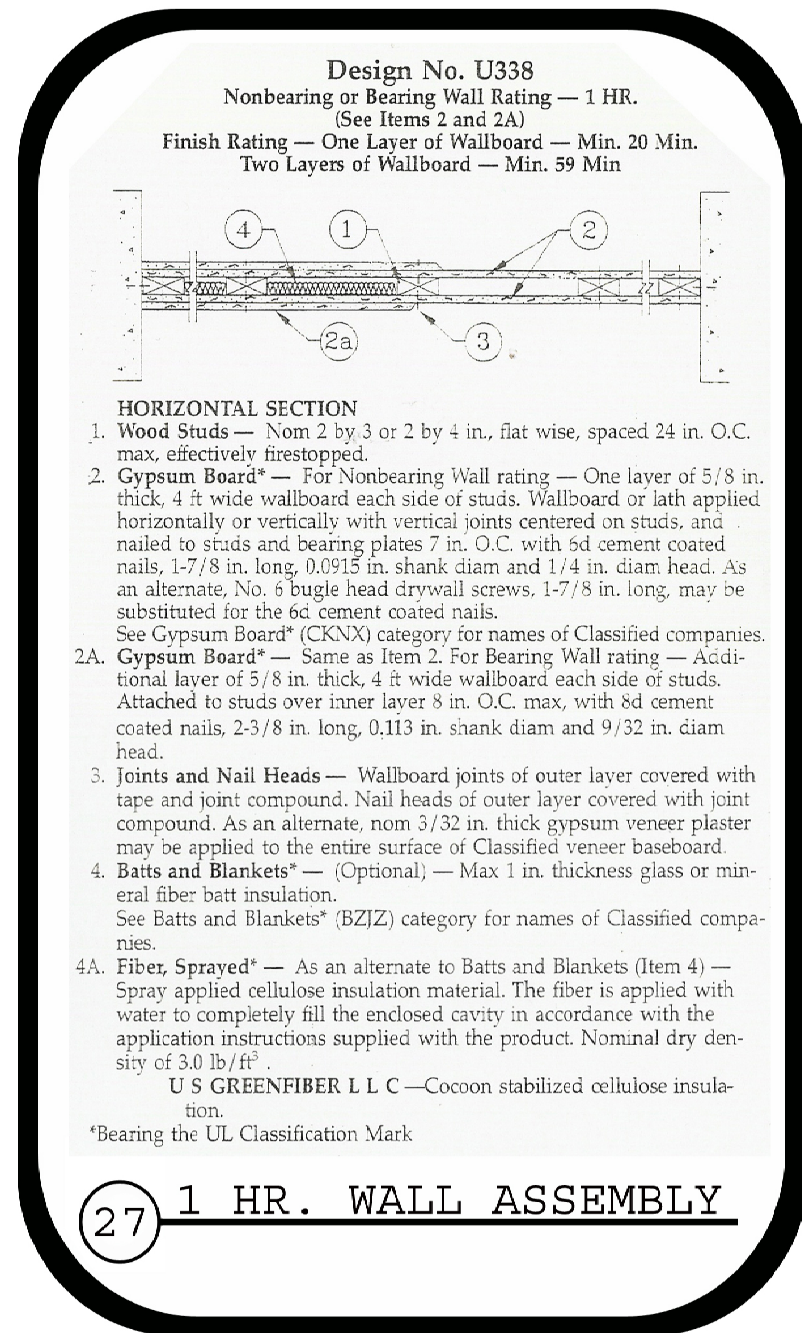
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 PERFORMER: **PERFORMER**  
 4 UNIT TOWNHOME FOR: **VILLAS OF RIVERS RIDGE**  
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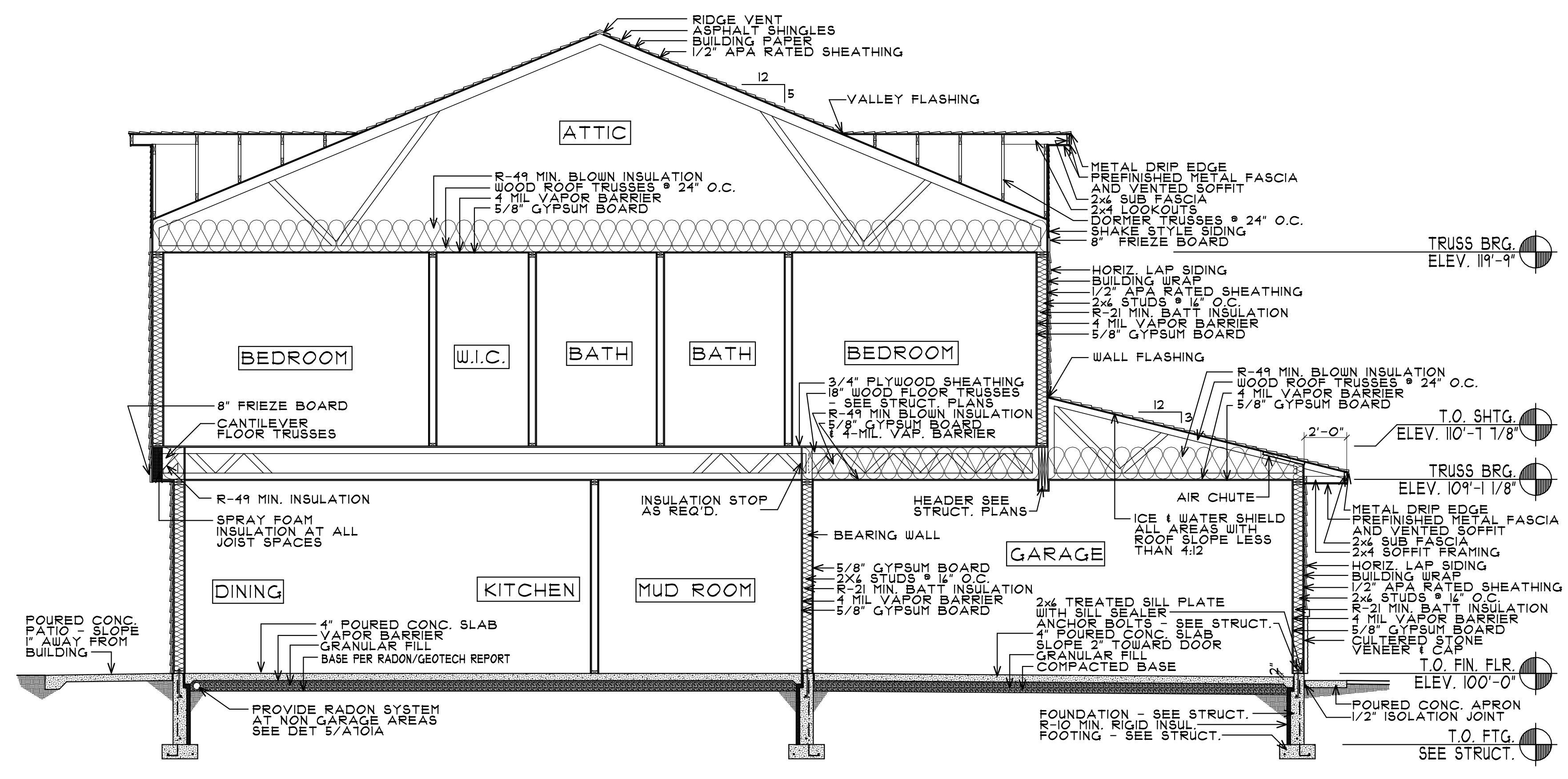
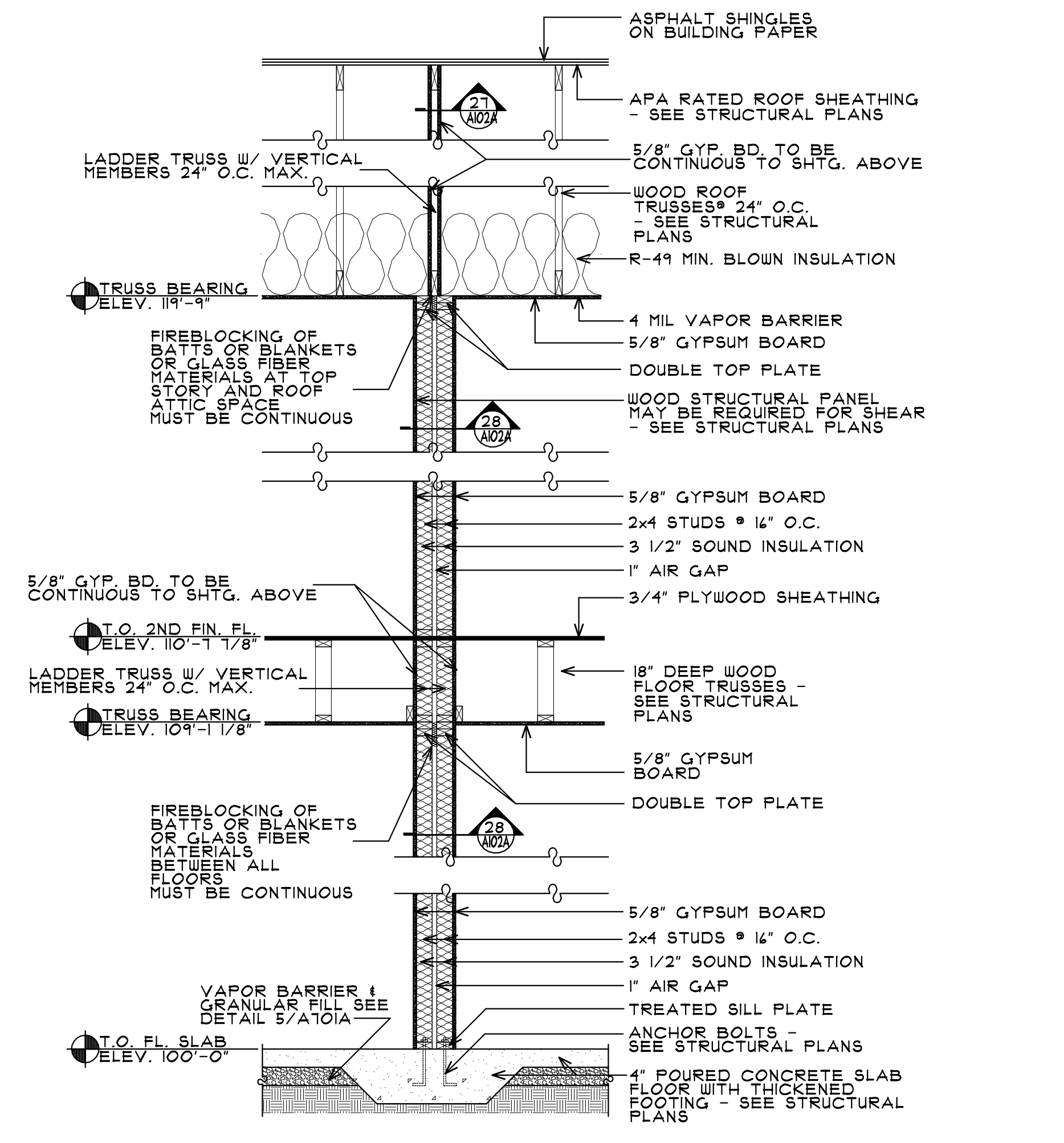
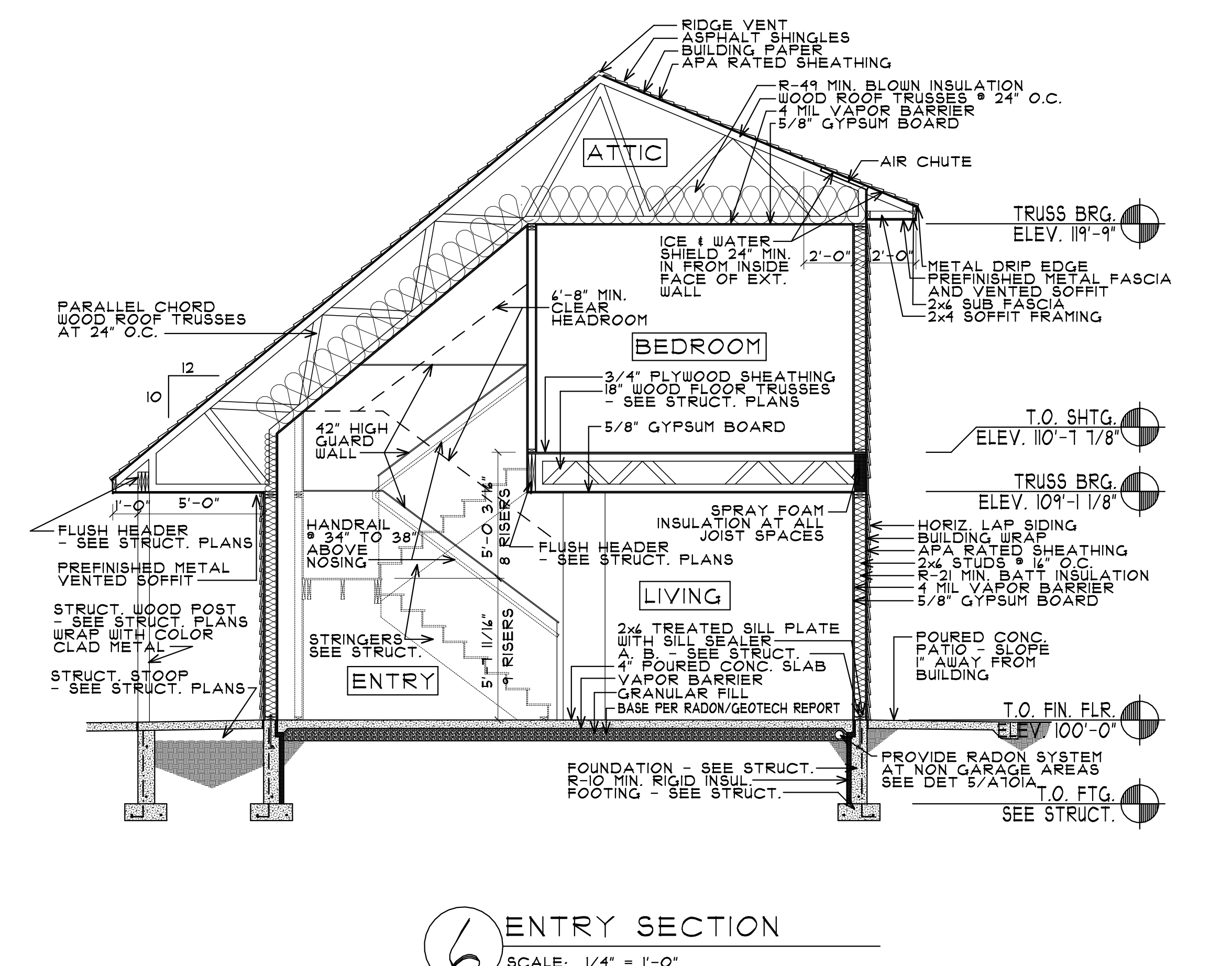
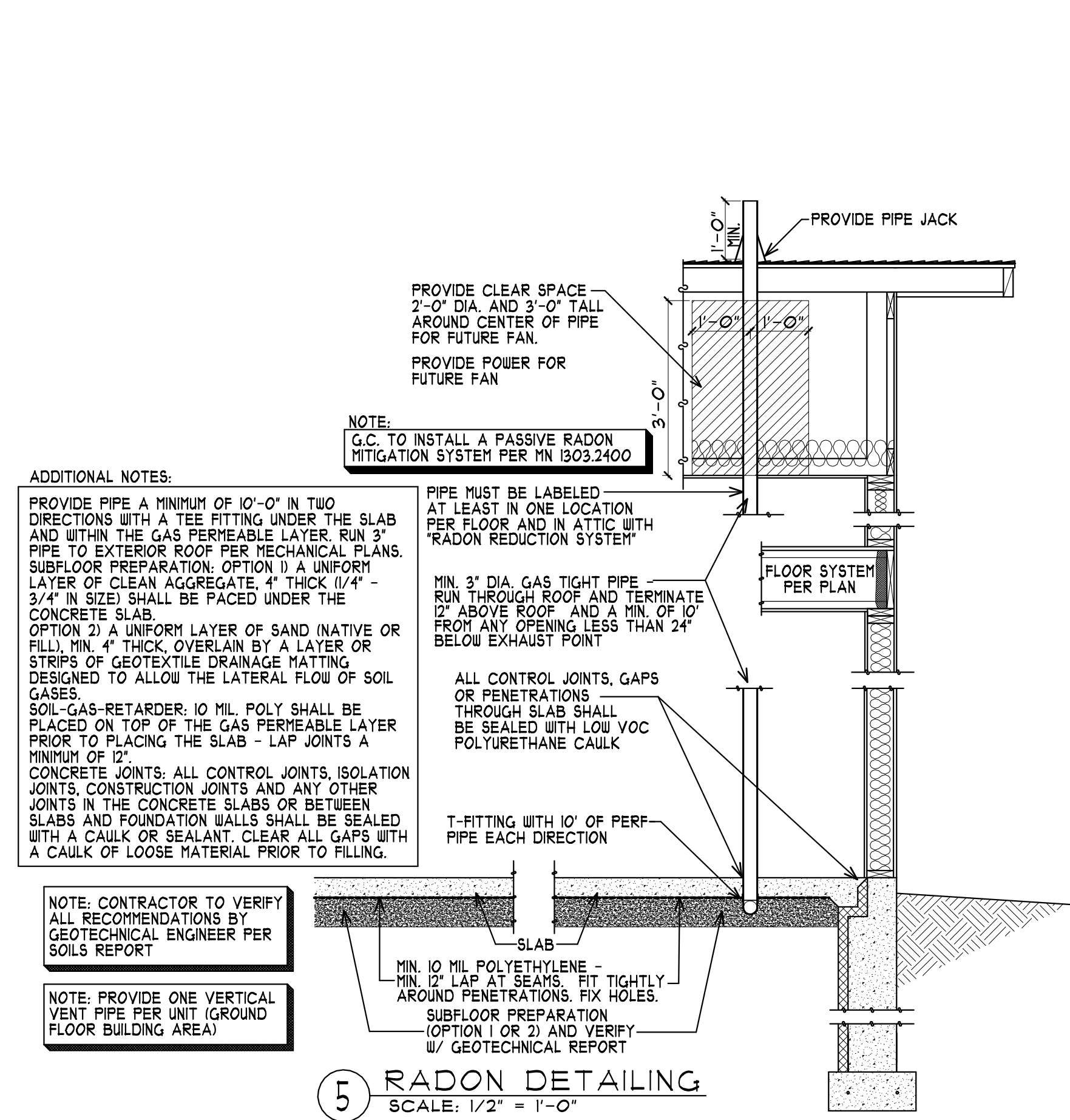
**A101A**



- ROOF NOTES:**
- PROVIDE ATTIC DRAFT STOPS IN LINE WITH UNIT PARTY WALLS EVERY 2 UNITS OR 3,000 S.F. MAX.
  - NOTE: LOCATE DOWNSPOUTS AS CLOSE TO INSIDE BENDS AS POSSIBLE
  - PAINT ALL ROOF TOP EQUIPMENT, VENT STACKS, EXHAUST FANS AND FLUES, ETC TO MATCH ROOFING COLOR.
  - NOTE: SEE PLUMBING PLANS FOR ROOF TOP PENETRATION LOCATIONS AND FLASHING DETAILS.
  - PROVIDE ICE & WATER SHIELD AT ALL ROOF EDGES (SEE BLDG SECTION) AND 2'-0" EACH SIDE OF VALLEYS.
  - PROVIDE PRE-CAST CONCRETE SPLASH BLOCK AT ALL DOWNSPOUT LOCATIONS.
  - SEAL ALL MECHANICAL, ELECTRICAL & PLUMBING PENETRATIONS AIR TIGHT. UTILIZE ASTM APPROVED ASSEMBLIES APPROPRIATE FOR WHERE FIRE RATED CONSTRUCTION IS INDICATED. SEE MEP PLANS FOR LOCATIONS.
  - INSTALL ALL VENT STACKS ON THE REAR SIDE OF THE ROOF

GENERAL NOTES:		ATTIC VENTILATION CALCS.			
• UPPER AND LOWER VENTING AREAS PROVIDED SHALL BE EQUAL	UPPER VENT AREA TO EQUAL 1/600 OR 50% OF THE REQUIRED OPENING AREA.	FULL SOFFIT VENT: 25.92 S.I./L.F. OF SOFFIT (24" DEEP SOFFIT)		SOFFIT VENT TO EQUAL 1/600 OR 50% OF THE REQUIRED OPENING AREA.	
• RIDGE, ATTIC AND SOFFIT VENTS TO BE DISTRIBUTED EVENLY THROUGHOUT ATTIC AREA		RIDGE VENT: 18 S.I./L.F.		STATIC ATTIC VENT: 144 S.I.	
• ALL CALCULATED AREAS ARE MINIMUMS MORE MAY BE PROVIDED (EQUALLY)					
• ALL VENTING AREAS ARE ASSUMED SEE PRODUCT SPECS FOR ACTUAL NUMBERS					
• ALL RIDGE VENTING TO BE FILTERED TO PREVENT SNOW INFILTRATION					
ATTIC ZONE	ATTIC AREA	REQ'D ATTIC VENTILATION	MINIMUM PROVIDED VENTILATION		
A,B,C,D (UPPER INTL ROOF)	952 S.F.	159 S.F. (229 S.I.) IN SOFFIT AND UPPER EACH	8.9 L.F. SOFFIT VENT	12.8 L.F. RIDGE VENT	OR 2 STATIC ATTIC VENTS
E,H (LOWER GARAGE ROOF)	220 S.F.	0.31 S.F. (53 S.I.) IN SOFFIT AND UPPER EACH	2.1 L.F. SOFFIT VENT	2.9 L.F. RIDGE VENT	OR 1 STATIC ATTIC VENT
F,G (LOWER GARAGE ROOF)	200 S.F.	0.33 S.F. (48 S.I.) IN SOFFIT AND UPPER EACH	1.9 L.F. SOFFIT VENT	2.1 L.F. RIDGE VENT	OR 2 STATIC ATTIC VENT





**2 COMMON WALL SECTION**  
 SCALE: 1/2" = 1'-0"

**1 GARAGE SECTION**  
 SCALE: 1/4" = 1'-0"