

VILLAS OF RIVERS RIDGE

4 UNIT TOWNHOUSE - BUILDING "B"

RED WING, MN



PROJECT TEAM:

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REVISION LOG

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CODE SUMMARY

1. BUILDING DESCRIPTION:

A NEW 2 STORY + WALK-OUT BSMT. 4 UNIT TOWNHOUSE BUILDING WITH ATTACHED GARAGES - TOTAL BLDG. = 10,596 S.F.
FIRST FLOOR UNITS = 2,800 S.F. + GARAGES = 1,800 S.F.
TOTAL = 4,600 S.F. AND SECOND FLOOR UNITS = 3,596 S.F.
UNFINISHED BASEMENT LEVEL UNITS = 2,400 S.F.

2. BLDG. SUMMARY: 2018 I.R.C. WITH 2020 MINNESOTA AMENDMENTS, AND OTHER RELATED CODES.

A. SECTION - R300 CLASSIFICATION

IRC-3 - TOWNHOUSE - (TABLE 300.1)

B. SECTION R302 - FIRE-RESISTANT CONSTRUCTION

- WALLS SEPARATING TOWNHOUSE UNITS SHALL BE NOT LESS THAN 1 HOUR FIRE-RESISTANCE RATED WITH A FIRE SPRINKLER SYSTEM. (R302.2.2)
- SMOKE ALARMS PER SECTION R314 DESIGNED BY OTHERS
- WALLS SEPARATING GARAGES FROM DWELLING AND ATTIC SPACE SHALL HAVE 1/2" MIN. GYPSUM BOARD (TABLE R302.6)
- CEILINGS SEPARATING GARAGES FROM DWELLING UNIT ABOVE SHALL HAVE 5/8" TYPE "X" MIN. GYPSUM BOARD (TABLE R302.6)
- OPENINGS BETWEEN GARAGES AND DWELLING UNIT TO COMPLY WITH R302.5. DOORS TO BE SELF CLOSING

C. SECTION R306 - SANITATION

EVERY DWELLING UNIT SHALL BE PROVIDED A WATER CLOSET, LAVATORY, 1 BATH TUB OR SHOWER
EACH DWELLING UNIT SHALL BE PROVIDED WITH A KITCHEN AREA AND A SINK IN THAT AREA.

D. SECTION R311 - MEANS OF EGRESS

STAIRWAYS AND HALLWAYS SHALL HAVE A MINIMUM DIMENSION OF 36" CLEAR. (R311.4 & R311.1.2)
STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING. (R311.1.2)
STAIRWAYS SHALL HAVE A MINIMUM TREAD OF 10" AND MAXIMUM RISER OF 1 3/4". (R311.1.5)
STAIRWAYS SHALL HAVE A HANDRAIL ON AT LEAST 1 SIDE. (R311.1.8)

E. SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEMS
BUILDINGS WITH 3 OR MORE TOWNHOUSE UNITS REQUIRE A FIRE SPRINKLER SYSTEM - PROVIDE PER NFPA 13D OR P2904 (SECTION R313.1.1)

F. SECTION R320 - ACCESSIBILITY
ALL EXTERIOR COMMON AREA SPACES SHALL COMPLY
REQUIRED UNIT TYPES:

AT LEAST 2% BUT NOT LESS THAN 1 UNIT SHALL BE TYPE "A" (SECTION 1101.6.2.2.1)
66 UNITS ARE PROVIDED ON SITE - 2 ARE TYPE "A"
MULTI-STORY TOWNHOUSE UNITS WHICH ARE NOT PROVIDED ELEVATOR SERVICE ARE NOT REQUIRED TO BE TYPE "B" (SECTION 1101.1.2)

G. PROVIDE RADON MITIGATION PER MN SECTION 1303.2402.
ADD PASSIVE RADON MITIGATION SYSTEM FOR EACH UNIT
SEE RADON DETAIL ON SHEET A101

H. 2020 MN RESIDENTIAL ENERGY CODE (PRESCRIPTIVE METHOD - TABLE R402.11)
CITY OF RED WING, MN - GOODHUE COUNTY (ZONE 6)

CATEGORY	FENESTRATION	CEILING	WOOD FRAME WALL	SLAB & DEPTH
REQUIRED	0.32 U-FACTOR	R-49	R-20 CAVITY	R10/3.5 FT
PROVIDED	0.30 OR LOWER	R-49	R-21 CAVITY	R10/3.5 FT

*R-VALUES ARE MINIMUMS. U-FACTORS ARE MAXIMUMS

J. RECYCLING SPACE (MN ADMIN RULES 1303.1500)
EACH RESIDENT WILL KEEP THEIR INDIVIDUAL REFUSE AND RECYCLING CONTAINERS IN THEIR ATTACHED GARAGE.

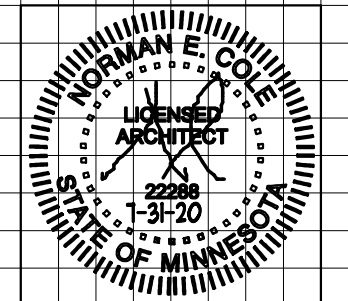
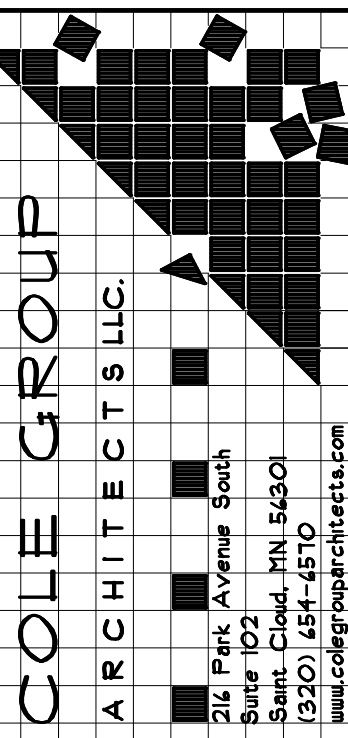
SHEET INDEX

ARCHITECTURAL:

- A001B TITLE & CODE INFO
- A101B FLOOR PLANS AND SCHEDULES
- A102B ROOF PLAN AND SCHEDULE
- A501B EXTERIOR ELEVATIONS
- A701B BUILDING SECTIONS & DETAILS

STRUCTURAL:

- S000 GENERAL STRUCTURAL NOTES
- S001 STRUCTURAL ABBREVIATIONS
- S120 4 PLEX BLDG. B FOUNDATION PLAN
- S121 4 PLEX BLDG. B FIRST FLOOR FRAMING PLAN
- S122 4 PLEX BLDG. B SECOND FLOOR FRAMING PLAN
- S123 4 PLEX BLDG. B ROOF FRAMING PLAN
- S500 TYPICAL FOUNDATION DETAILS
- S501 TYPICAL FLOOR FRAMING DETAILS
- S502 TYPICAL ROOF FRAMING DETAILS



These documents are not valid for building permit unless signed in ink and over sealed. Copies are not valid.
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of MINNESOTA.
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4 UNIT TOWNHOME FOR:
VILLAS OF RIVERS RIDGE
RED WING, MN

REVISIONS COMMENTS

Project No. 20020
Issue Date: 7-31-20
Document Set: PERMIT SET

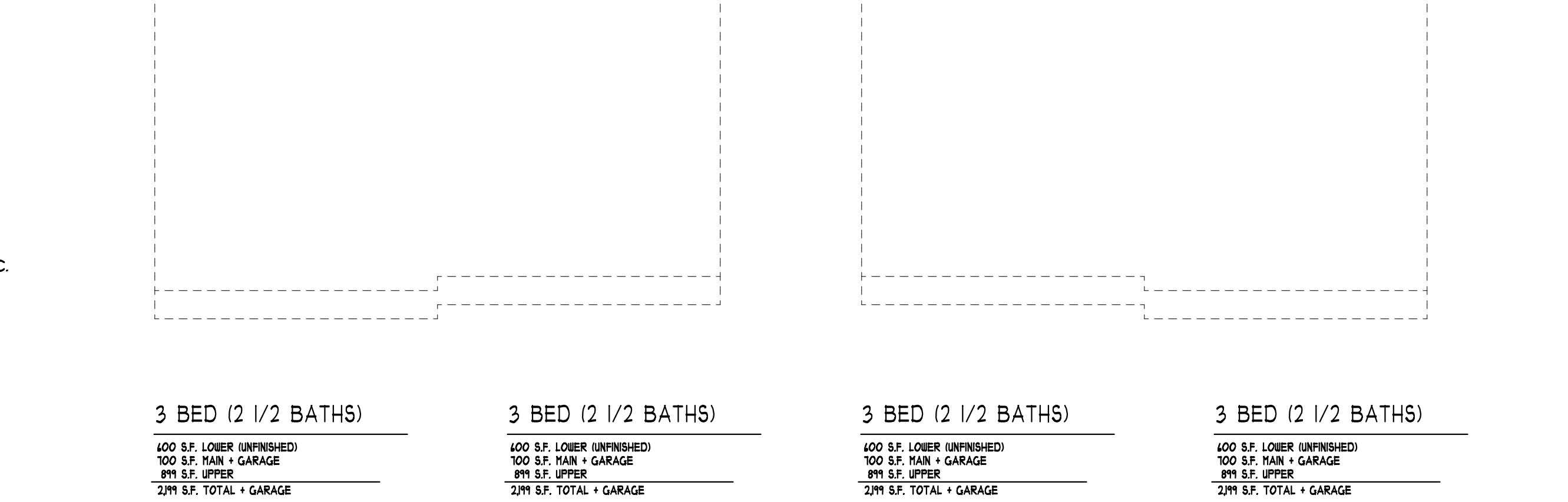
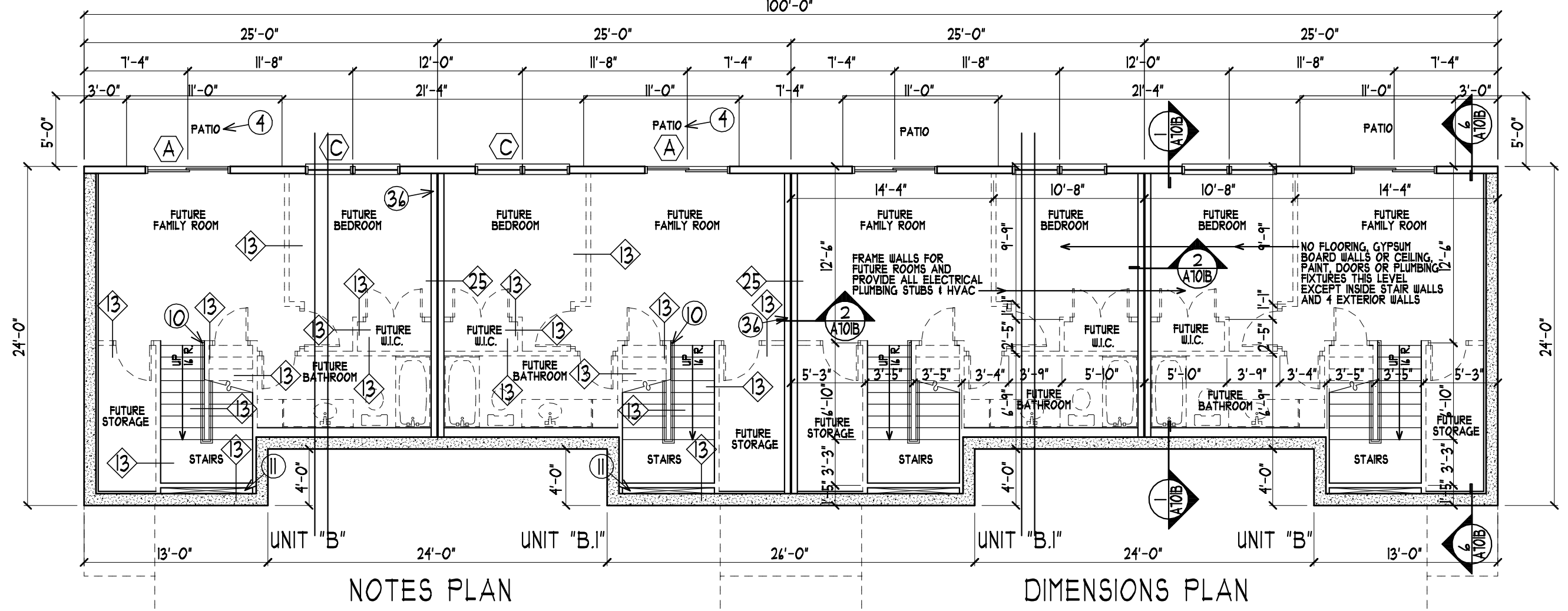
A001B

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQUIREMENTS w/ PLANS BY INTERIOR DESIGNER I F.F.I.E. SUPPLIER
- B) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL. PREFERRED LOCATION IS UNDER KITCHEN SINK.
- C) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- D) PROVIDE TEMPERED/SAFETY GLASS @ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- E) ALL DOOR HARDWARE AND PLUMBING CONTROLS TO BE LEVER TYPE.
- F) VERIFY REQUIREMENTS OF ALL SPECIALTY EQUIPMENT w/ OWNER.
- G) ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF OR BELOW CLOTHES DRYERS.
- H) G.C. TO PROVIDE IDENTIFICATION ON ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE PARTITIONS AND SMOKE BARRIERS IN ACCESSIBLE CONCEALED SPACES. MIN. 3" LETTERING AND 3/8" STROKE IN CONTRASTING COLOR. 15' FROM THE END OF WALL AND NO MORE THAN 30' HORIZONTALLY.
- I) REFER TO MECHANICAL & ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- J) PROVIDE TENANT DECK / PATIO LIGHTING. SEE ELECTRICAL PLANS BY OTHERS.
- K) ALL STRUCTURAL STEEL SHALL BE FIRE PROTECTED WITH INTUMESCENT PAINT OR L PER PROVIDED DETAILS INDEPENDENT OF THE ASSEMBLY THEY ARE WITHIN.
- M) PROVIDE 4" STUD WALLS AT ELECTRICAL PANELS AND PLUMBING WALLS (WHERE REQUIRED).
- N) SEAL ALL MECHANICAL & ELECTRICAL PENETRATIONS OF WALL/CEILING/FLOOR CONSTRUCTION.
- O) GUTTERS AND DOWNSPOUTS SHOWN ON SITE & ROOF PLANS AND EXTERIOR ELEVATIONS.

FLOOR PLAN NUMBER NOTES

1. STRUCTURAL POST. SEE STRUCTURAL PLANS FOR SIZE. PROVIDE COLOR CLAD WRAP FINISH WHERE REQUIRED. 5'-0" x 5'-0" FROST FOOT FOR EXTERIOR DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
2. NOT USED.
3. NOT USED.
4. BALCONY OR POURED CONCRETE PATIO SLOPED AWAY FROM BUILDING. SEE PLAN FOR SIZE.
5. CULTURED STONE THIS LOCATION. SEE EXTERIOR ELEVATIONS FOR STYLE AND AMOUNT.
6. POURED CONCRETE APRON AT O.H. DOORS.
7. LINE OF ROOF BELOW.
8. LINE OF ROOF FLOOR OR BALCONY ABOVE. SHOWN DASHED.
9. HAND RAIL MOUNTED AT 34" TO 38" ABOVE NOSING OF STAIR TREADS.
10. CHASE FOR MECHANICAL DUCTS.
11. 42" HIGH HALF WALL WITH WOOD CAP.
12. GYPSUM BOARD BEHIND THIS SURROUND TO MAINTAIN FIRE RATING OF PARTY WALL.
13. BATHTUB WITH FIBERGLASS SURROUND. SEE PLUMBING PLANS.
14. LAVATORY WITH COUNTERTOP AND CABINET BELOW. SEE PLUMBING PLANS.
15. STAINLESS STEEL DOUBLE BOIL KITCHEN SINK. SEE PLUMBING PLANS.
16. CLOSET ROD AND SHELF.
17. ELECTRIC FIREPLACE. VERIFY SIZE AND STYLE. SEE ELECTRICAL PLANS.
18. 2" COUNTERTOP OVERHANG FOR EATING BAR.
19. BLIND CORNER CABINET DOOR THIS SIDE.
20. LINE OF 12" DEEP UPPER CABINETS.
21. 24" DEEP FINISHED END PANEL AT FRIDGE.
22. LINE OF 24" DEEP UPPER CABINET ABOVE FRIDGE.
23. DISHWASHER. SEE MEP PLANS FOR HOOK-UPS.
24. REFRIGERATOR WITH VENTED HOOD. SEE MEP PLANS FOR HOOK-UPS.
25. RANGE. SEE MEP PLANS FOR HOOK-UPS.
26. STAINLESS STEEL DOUBLE BOIL KITCHEN SINK. SEE PLUMBING PLANS.
27. FLOOR DRAIN. SEE PLUMBING PLANS.
28. SEE MEP PLANS FOR EQUIPMENT THIS ROOM.
29. ELECTRICAL PANEL. VERIFY LOCATION WITH ELECTRICAL PLANS.
30. 5 ADJUSTABLE LINEN SHELVES.
31. CLOTHES WASHER AND DRYER. SEE MEP PLANS FOR HOOK-UPS.
32. 40" LONG SHELF ABOVE LAUNDRY MACHINES.
33. WATER CLOSET. SEE PLUMBING PLANS.
34. 22" x 30" MIN. LOCKING ATTIC ACCESS.
35. PARTY WALL FIRE PARTITION BUILT TO BOTTOM OF FLOOR/ROOF SHEATHING.
36. ELECTRIC PANEL. VERIFY LOCATION IN TRUSS SPACE.
37. FIRE BLOCK AS REQ'D. SEE DETS. 31A/101E.
38. REMOVABLE CABINET FRONT FOR WORK AREA. SEE 1 I 12A/A30C.
39. RANGE WITH ACCESSIBLE CONTROLS. SEE 1 I 1A/A30C.
40. REFRIGERATOR WITH ACCESSIBLE COMPARTMENTS. SEE 1A/A30C.
41. SINK WITH REMOVABLE CABINET FRONT. SEE 1 I 1A/A30C.
42. DISHWASHER WITH ACCESSIBLE CONTROLS. SEE 1A/A30C.
43. CLOTHES WASHER AND DRYER WITH ACCESSIBLE CONTROLS. SEE 1A/A30C.
44. ACCESSIBLE TURNING SPACE. SEE 1A/A30C.
45. ACCESSIBLE CLOTHES ROD AND SHELF. SEE 10 I 18A/A30C.
46. ACCESSIBLE DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 1, 15A I 1A/A30C.
47. ACCESSIBLE PATIO DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 11A/A30C.
48. LINEN CABINET.
49. LAVATORY IN VANITY WITH REMOVABLE CABINET FRONT. SEE 1 I 4A/A30C.
50. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE 1, 2, 3, 4A I 1A/A30C.
51. RETAINING WALL WITH CULTURED STONE VENEER AND 42" HIGH GUARD RAIL ON TOP. SEE CIVIL PLANS FOR LENGTH AND GRADING AROUND IT.
52. SEE STRUCTURAL PLANS FOR BEAM OR TRUSS GIRDER ABOVE. WRAP WITH GYPSUM BOARD OVER PROJECTS BELOW CEILING.
53. FULL HEIGHT PRIVACY WALL. VERIFY EXTENTS W/ OWNER/G.C.
54. 2X FURRING WALL FOR PLUMBING.



3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS)

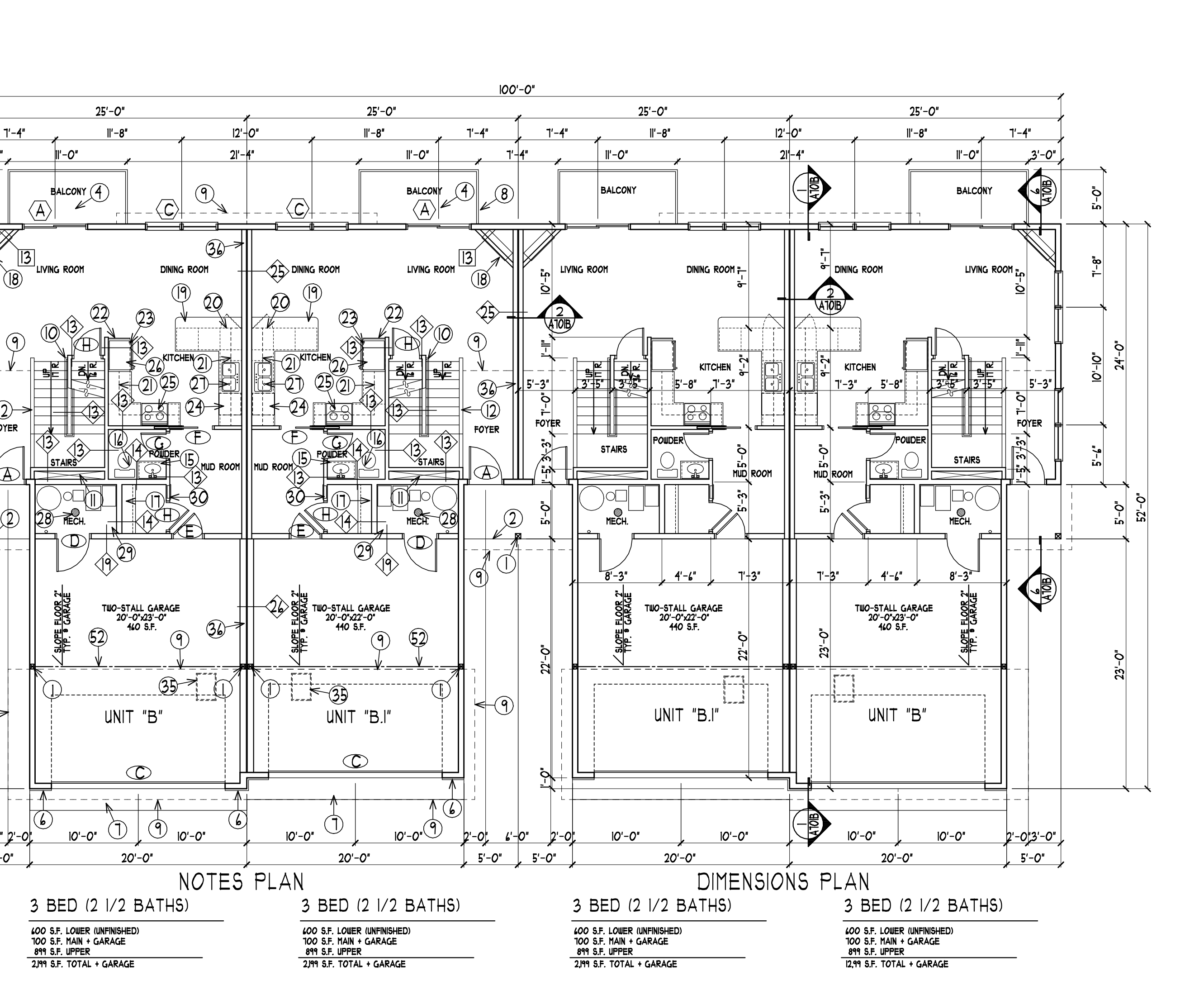
400 SF. LOWER UNFINISHED
100 SF. MAN + GARAGE
891 SF. UPPER
291 SF. TOTAL + GARAGE

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WALK-OUT FLOOR PLAN - BLDG. "B"
SCALE: 1/8" = 1'-0"



3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS) 3 BED (2 1/2 BATHS)

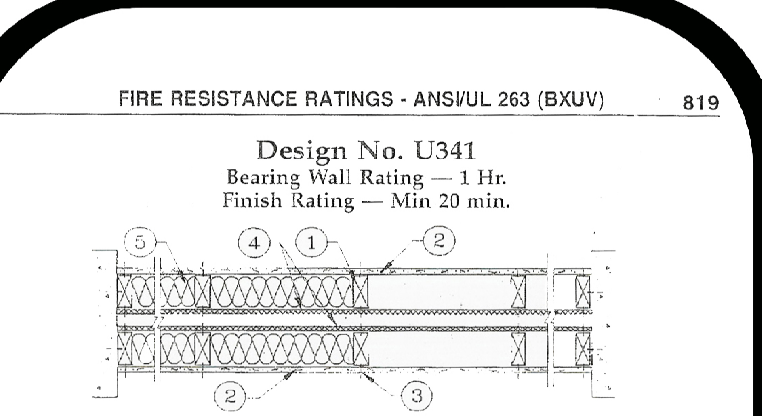
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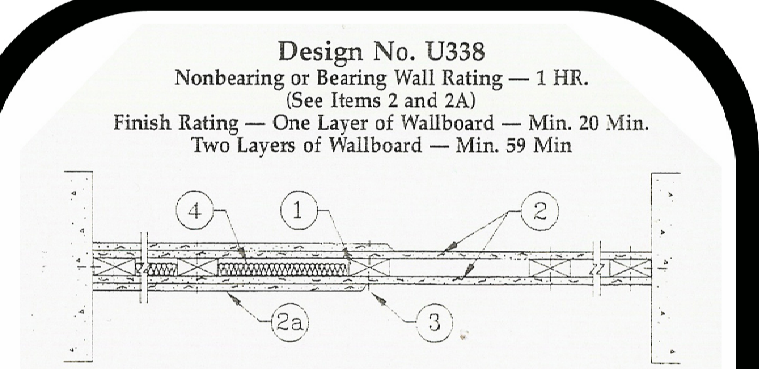
FIRST FLOOR PLAN - BLDG. "B"
SCALE: 1/8" = 1'-0"



DESIGN NO. U341
BEARING WALL RATING - 1 HR.
FINISH RATING - MIN 20 MIN.

- 1. Wood Studs - Nom 2 by 4 in., spaced 24 in. O.C. max. Cross braced at mid-height and effectively firestopped at top and bottom of wall.
- 2. Gypsum Board - 5/8 in. thick 4 1/2 wide Wallboard or latih applied horizontally or vertically and nailed to studs and bearing plates 7 in. O.C. with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam head. As an alternate, No. 6 bugle head drywall screws, 1-7/8 in. long, may be substituted for the 6d cement coated nails.
- 3. When Steel Framing Members (Item 6) are used, wallboard attached to furring channels with 1 in. long Type 5 bugle-head steel screws spaced 12 in. O.C.
- 4. When used in walls other than 48 in. gypsum board to be installed horizontally.
- 5. See Gypsum Board (CKN) category for names of Classified companies.
- 6. Joints and Nailheads - Wallboard joints of outer layer covered with tape and joint compound. Nail heads of outer layer covered with joint compound. As an alternate, non 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard.
- 7. Sheathing - (Optional) - Septum may be sheathed with min 7/16 in. thick wood structural panels min grade "C-D" or "Sheathing" or min 1/2 in. thick Mineral and Fiber Boards. See Mineral and Fiber Boards (CER2) category for names of Classified companies.
- 8. Batts and Blankets - 3 1/2 in. min. thickness glass or mineral fiber batt insulation. Optional when sheathing (Item 4) is used on both halves of wall.
- 9. See Batts and Blankets (BZ2) category for list of Classified companies.
- 10. Fiber Sprayed - As an alternate to Batts and Blankets (Item 8) and Item 5A when Sheathing (Item 4) is used on both halves of wall - Spray applied cellulose insulation material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb/ft³.
- 11. U.S. GREENFIBER L.L.C. - Cocoon stabilized cellulose insulation.
- 12. Steel Framing Members (Optional, Not Shown) - Furring channels and Steel Framing Members as described below.
 - A. Furring Channels - Formed of No. 25 MSG galv steel, 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. O.C. perpendicular to studs. Channels secured to studs as described in Item 6. Ends of adjoining channels are overlapped 6 in. and fast together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-lapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap with one screw on each flange of the channel. Wallboard attached to furring channels as described in Item 2.
 - B. Steel Framing Members - Used to attach furring channels (Item a) to studs (Item 1). Clips spaced 48 in. O.C., and secured to studs with No. 8 x 2 1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips. PAC INTERNATIONAL, INC. - Type RS-C-1.

1 HR. WALL ASSEMBLY



DESIGN NO. U338
NONBEARING OR BEARING WALL RATING - 1 HR.
FINISH RATING - ONE LAYER OF WALLBOARD - MIN. 20 MIN.
TWO LAYERS OF WALLBOARD - MIN. 59 MIN.

- 1. Wood Studs - Nom 2 by 3 or 2 by 4 in., flat wide, spaced 24 in. O.C. max. effectively firestopped.
- 2. Gypsum Board - For Nonbearing Wall Rating - One layer of 5/8 in. thick 4 1/2 wide wallboard each side of studs. Wallboard or latih applied horizontally or vertically with vertical joints centered on studs, and nailed to studs and bearing plates 7 in. O.C. with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam head. As an alternate, No. 6 bugle head drywall screws, 1-7/8 in. long, may be substituted for the 6d cement coated nails.
- 3. See Gypsum Board (CKN) category for names of Classified companies.
- 4. Joints and Nail Heads - Wallboard joints of outer layer covered with tape and joint compound. Nail heads of outer layer covered with joint compound. As an alternate, non 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard.
- 5. Batts and Blankets - (Optional) - Max 1 in. thickness glass or mineral fiber batt insulation.
- 6. See Batts and Blankets (BZ2) category for names of Classified companies.
- 7. Fiber Sprayed - As an alternate to Batts and Blankets (Item 4) - Spray applied cellulose insulation material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb/ft³.
- 8. U.S. GREENFIBER L.L.C. - Cocoon stabilized cellulose insulation.
- 9. Bearing the UL Classification Mark.

1 HR. WALL ASSEMBLY

WINDOW SCHEDULE *WINDOWS LISTED HERE ARE THERMO-TECH "CLASSIC" SERIES HIGH PERFORMANCE L6E1 212

LABEL	QTY.	MANUFACTURER	MODEL NO.	DESCRIPTION	NOMINAL SIZE
A	-	THERMO-TECH	CPD0408	PATIO SLIDER	4'-0" x 8'-0"
B	-	THERMO-TECH	CPD0418	PATIO SLIDER	4'-9" x 8'-0"
C	-	THERMO-TECH	I21 TSH0408	SINGLE HUNG	(2) 3'-4" x 5'-0"
D	-	THERMO-TECH	TSH042E	HORIZ. SLIDER	5'-0" x 3'-4"
E	-	THERMO-TECH	TSH0408	SINGLE HUNG	2'-4" x 4'-0"
F	-	-	-	-	-
G	-	-	-	-	-

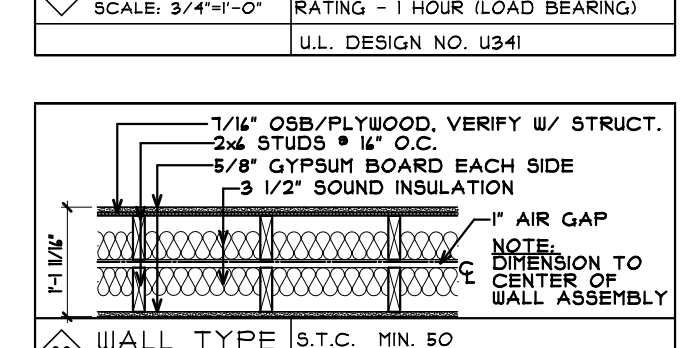
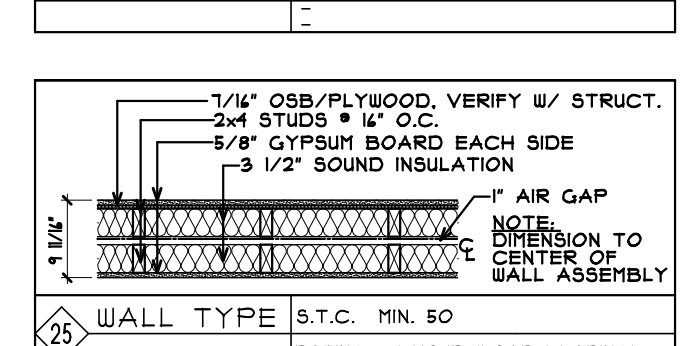
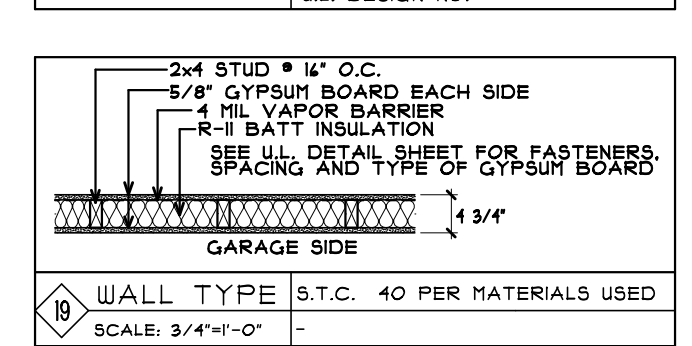
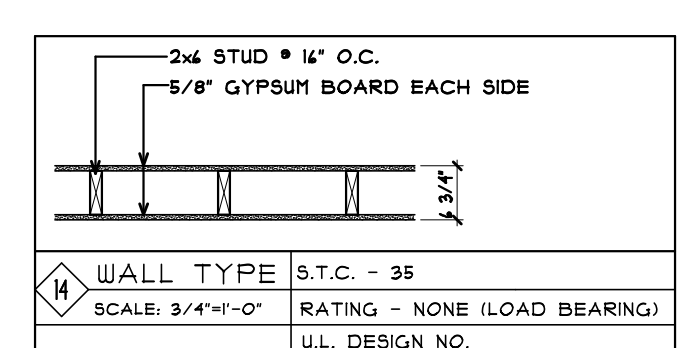
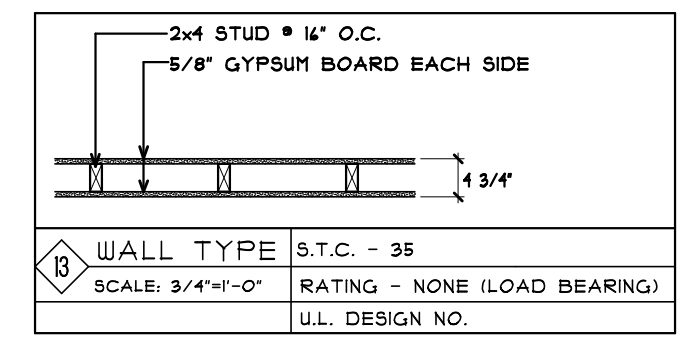
NOTE: ALL OPERABLE WINDOWS MORE THAN 4'-0" ABOVE GRADE TO MAINTAIN A BILL HEIGHT OF 34" MIN. ABOVE FINISHED FLOOR OR PROVIDE LITERS PER CODE. MAINTAIN 32" MIN. CLEAR AT PATIO SLIDERS IN UNIT "C".

DOOR SCHEDULE "O"

Door #	Door Location (Room Name)	Door Size	Door Material	Assembly Rating	Doors Type	Frame Type	Hdr. Group	Comments (note rating of door frame and hardware to match door rating)
EXTERIOR DOORS								
A	UNIT MAIN ENTRY	3'-0" x 4'-8"	INSUL. ST.	NONE	1	1	1	-
B	-	-	-	-	-	-	-	-
C	UNIT GARAGE OHD	14'-0" x 8'-0"	INSUL. ST.	NONE	3	2	3	-
INTERIOR DOORS								
D	MECH. ROOM	3'-0" x 4'-8"	INSUL. ST.	20 MIN.	2	1	4	-
E	MUD ROOM	2'-8" x 4'-8"	INSUL. ST.	20 MIN.	2	1	5	-
F	KITCHEN	2'-8" x 4'-8"	HCWD	NONE	4	4	4	-
G	BATH/POWDER	2'-4" x 4'-8"	HCWD	NONE	4	3	1	-
H	CLOSET	2'-4" x 4'-8"	HCWD	NONE	4	3	8	-
J	BEDROOM	2'-4" x 4'-8"	HCWD	NONE	4	3	1	-
K	CLOSET	1'-4" x 4'-8"	HCWD	NONE	4	3	8	-
L	CLOSET	(2) 2'-4" x 4'-8"	HCWD	NONE	4	3	9	PAIR OF DOORS
M	CLOSET	3'-0" x 4'-8"	HCWD	NONE	4	3	8	-
N	BEDROOM	3'-0" x 4'-8"	HCWD	NONE	4	3	1	-
P	BATHROOM	3'-0" x 4'-8"	HCWD	NONE	4	3	1	-

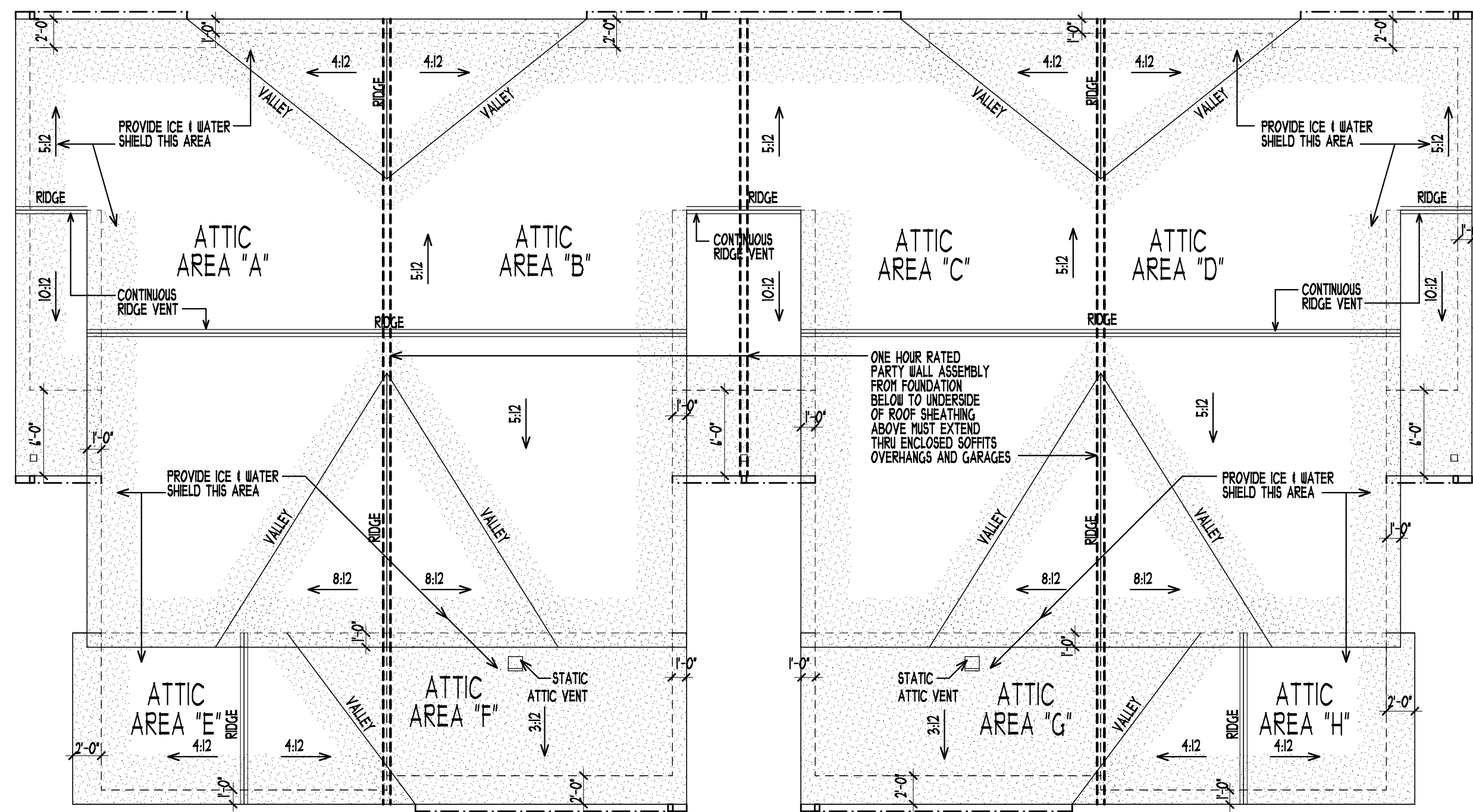
DOOR TYPES:	ABBREVIATIONS:
1 INSULATED STEEL, PRE-FINISHED, FLUSH PANEL, HALF LITE (SAFETY GLAZING).	ALUM. ST. ALUMINUM STORE FRONT
2 INSULATED STEEL, PRE-FINISHED, FLUSH PANEL.	INSUL. ST. INSULATED STEEL
3 INSULATED STEEL, PRE-FINISHED, RAISED PANEL O.H.D. w/ STEEL BACKER AND GLAZING.	HCWD HOLLOW CORE WOOD DOOR
4 1 3/8" WOOD, PRE-FINISHED, FLUSH PANEL.	SCWD SOLID CORE WOOD DOOR
5	NOTE: VERIFY LOCATION OF ALL KEY FOB/CARD READERS WITH OWNER AND/OR MANAGEMENT.
FRAME TYPES:	
1 WOOD FRAME, PRE-FINISHED.	
2 NO FRAME AT THIS DOOR.	
3 WOOD FRAME, PRE-FINISHED TO MATCH DOOR.	
4 POCKET DOOR FRAME.	
5	

HARDWARE GROUPS:
SCHLAGE OR EQUAL "AL" SERIES AT INTERIOR DOORS, "D" SERIES AT EXTERIOR DOORS.
PROVIDE APPROVED LEVER HANDLES AT ALL DOORS AND BUMPERS WHERE REQUIRED.
DOOR HARDWARE TO MATCH LABEL OF DOOR AND BE INSTALLED PER NFPA #80.
1 ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, DEAD BOLT, ACCESSIBLE THRESHOLD, WEATHER STRIP.
2 ENTRY HARDWARE; 1 1/2 PAIR HINGES, LOCKING LATCH, THRESHOLD, WEATHER STRIP.
3 OVER HEAD DOOR HARDWARE, PROVIDE AUTOMATIC OPENER.
4 ENTRY HARDWARE; 1 1/2 PAIR HINGES, NON-LOCKING LATCH, THRESHOLD, WEATHER STRIP.
5 ENTRY HARDWARE; 1 1/2 PAIR SPRING LOADED HINGES, LOCKING LATCH, ACCESSIBLE THRESHOLD, WEATHER STRIP.
6 POCKET DOOR HARDWARE.
7 PRIVACY HARDWARE; 1 PAIR HINGES, PUSH BUTTON LOCKING LATCH.
8 PASSAGE HARDWARE; 1 PAIR HINGES, NON-LOCKING LATCH.
9 PASSAGE HARDWARE; 2 PAIR HINGES, 2 DUMMY LATCHES, 2 ROLLER CATCHES.
10



WALL TYPE B.T.C. MIN. 50
SCALE: 3/4" = 1'-0"
RATING - NONE (LOAD BEARING)
U.L. DESIGN NO. U341

DEVELOPER: **KB KELLER/BAARTMAN**
 ARCHITECTS
 PROJECT: **VILLAS OF RIVERS RIDGE**
 RED WING, MN
 RED WING, MN
 (651) 388-0000
 PERMIT SET
 Project No. 20020
 Issue Date: 7-31-20
 Document Set:
 A101B



ROOF PLAN - BLDG. "B"
SCALE: 1/8" = 1'-0"

KEY

- ICE & WATER SHIELD 24" MIN. EACH SIDE OF VALLEY AND 24" BEYOND INTERIOR FACE OF EXTERIOR WALL
- CONTINUOUS RIDGE VENT
- STATIC ATTIC VENT
- WALL SOFFIT
- 6" GUTTER & 3"x4" DOWNSPOUT

ROOF NOTES:

- PROVIDE ATTIC DRAFT STOPS IN LINE WITH UNIT PARTY WALLS EVERY 2 UNITS OR 3,000 S.F. MAX.
- NOTE: LOCATE DOWNSPOUTS AS CLOSE TO INSIDE BENDS AS POSSIBLE
- PAINT ALL ROOF TOP EQUIPMENT VENT STACKS, EXHAUST FANS AND FLUES, ETC. TO MATCH ROOFING COLOR.
- NOTE: SEE PLUMBING PLANS FOR ROOF TOP PENETRATION LOCATIONS AND FLASHING DETAILS. PROVIDE ICE & WATER SHIELD AT ALL ROOF SECTIONS (SEE BLDG. SECTION) AND 2'-0" EACH SIDE OF VALLEYS.
- INSTALL ALL VENT STACKS ON THE REAR SIDE OF THE ROOF
- SEAL ALL MECHANICAL, ELECTRICAL & PLUMBING PENETRATIONS AIR TIGHT. UTILIZE ASTM APPROVED ASSEMBLIES APPROPRIATE FOR WHERE FIRE RATED CONSTRUCTION IS INDICATED. SEE MEP PLANS FOR LOCATIONS.

GENERAL NOTES:

- UPPER AND LOWER VENTING AREAS PROVIDED SHALL BE EQUAL
- RIDGE, ATTIC AND SOFFIT VENTS TO BE DISTRIBUTED EVENLY THROUGHOUT ATTIC AREA
- ALL CALCULATED AREAS ARE MINIMUMS (MORE MAY BE PROVIDED EQUALLY)
- ALL VENTING AREAS ARE ASSUMED SEE PRODUCT SPECS. FOR ACTUAL NUMBERS
- ALL RIDGE VENTING TO BE FILTERED TO PREVENT SNOW INFILTRATION

ATTIC VENTILATION CALCS.

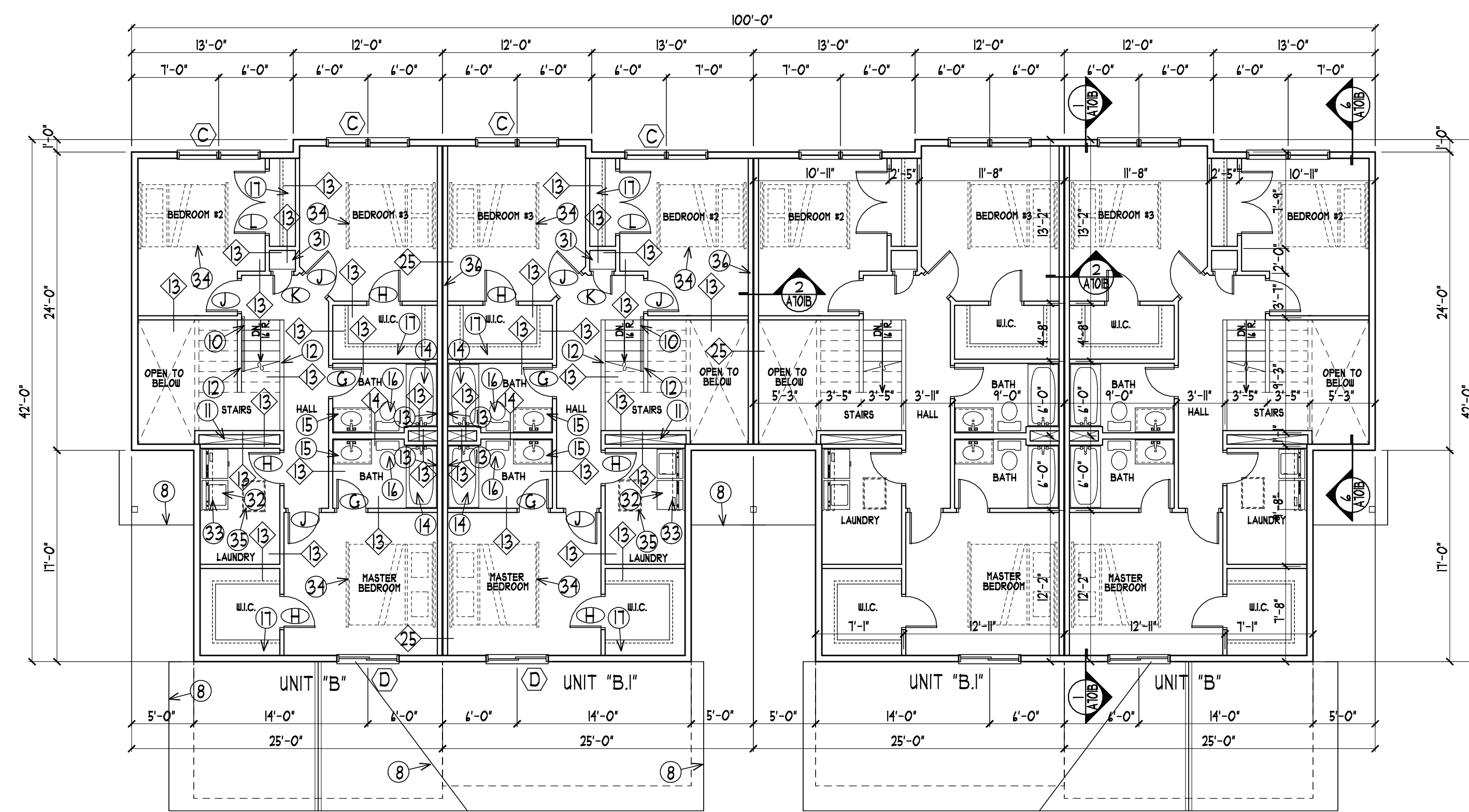
ATTIC ZONE	ATTIC AREA	REQ'D ATTIC VENTILATION	MINIMUM PROVIDED VENTILATION
A,B,C,D (UPPER UNIT ROOF)	152 S.F.	1.59 S.F. (221 S.I.) IN SOFFIT AND UPPER EACH	8.9 L.F. SOFFIT VENT 12.8 L.F. RIDGE VENT OR 2 STATIC ATTIC VENTS
E,H (LOWER GARAGE ROOF)	220 S.F.	0.31 S.F. (53 S.I.) IN SOFFIT AND UPPER EACH	2.1 L.F. SOFFIT VENT 2.9 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT
F,G (LOWER GARAGE ROOF)	200 S.F.	0.33 S.F. (48 S.I.) IN SOFFIT AND UPPER EACH	1.9 L.F. SOFFIT VENT 2.1 L.F. RIDGE VENT OR 1 STATIC ATTIC VENT

FLOOR PLAN NUMBER NOTES

1. STRUCTURAL POST. SEE STRUCTURAL PLANS FOR SIZE. PROVIDE COLOR CLAD WRAP FINISH WHERE REQUIRED.
2. 5'-0"x5'-0" FROST STOOP FOR EXTERIOR DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
3. NOT USED.
4. BALCONY OR POURED CONCRETE PATIO SLOPED AWAY FROM BUILDING. SEE PLAN FOR SIZE.
5. NOT USED.
6. CULTURED STONE THIS LOCATION. SEE EXTERIOR ELEVATIONS FOR STYLE AND AMOUNT.
7. POURED CONCRETE FLOOR AT O.H. DOORS.
8. LINE OF ROOF BELOW.
9. LINE OF ROOF, FLOOR OR BALCONY ABOVE, SHOWN DASHED.
10. HAND RAIL MOUNTED AT 34" TO 38" ABOVE NOSING OF STAIR TREADS.
11. CHASE FOR MECHANICAL DUCTS.
12. 42" HIGH HALF WALL WITH WOOD CAP.
13. GYPSUM BOARD BEHIND TUB SURROUND TO MAINTAIN FIRE RATING OF PARTY WALL.
14. BATHTUB WITH FIBERGLASS SURROUND. SEE PLUMBING PLANS.
15. LAVATORY WITH COUNTERTOP AND CABINET BELOW. SEE PLUMBING PLANS.
16. WATER CLOSET. SEE PLUMBING PLANS.
17. CLOSET ROD AND SHELF.
18. ELECTRIC FIREPLACE. VERIFY SIZE AND STYLE. SEE ELECTRICAL PLANS.
19. 12" COUNTERTOP OVERHANG FOR EATING BAR.
20. BLIND CORNER CABINET DOOR THIS SIDE.
21. LINE OF 12" DEEP UPPER CABINETS.
22. 24" DEEP FINISHED END PANEL AT FRIDGE.
23. LINE OF 24" DEEP UPPER CABINET ABOVE FRIDGE.
24. DISHWASHER. SEE MEP PLANS FOR HOOK-UPS.
25. RANGE WITH VENTED HOOD. SEE MEP PLANS FOR HOOK-UPS.
26. REFRIGERATOR. SEE MEP PLANS FOR HOOK-UPS.
27. STAINLESS STEEL DOUBLE BOIL KITCHEN SINK. SEE PLUMBING PLANS.
28. FLOOR DRAIN. SEE PLUMBING PLANS.
29. SEE MEP PLANS FOR EQUIPMENT THIS ROOM.
30. ELECTRIC PANEL. VERIFY LOCATION WITH ELECTRICAL PLANS.
31. 5" ADJUSTABLE LINEN SHELVES.
32. CLOTHES WASHER AND DRYER. SEE MEP PLANS FOR HOOK-UPS.
33. 40" LONG SHELF ABOVE LAUNDRY MACHINES.
34. FURNITURE SHOWN FOR SPACE PLANNING ONLY. (N.I.C.)
35. 22"x30" MIN. LOCKING ATTIC ACCESS.
36. PARTY WALL FIRE PARTITION BUILT TO BOTTOM OF FLOOR/ROOF SHEATHING. THIS SERVES AS REQ'D DRAFTSTOP IN TRUSS SPACE. FIRE BLOCK AS REQ'D. SEE DETS. 314/A101E.
37. REMOVABLE CABINET FRONT FOR WORK AREA. SEE 1 I 2A/A30C.
38. RANGE WITH ACCESSIBLE CONTROLS. SEE 1 I 1A/A30C.
39. REFRIGERATOR WITH ACCESSIBLE COMPARTMENTS. SEE 8A/A30C.
40. SINK WITH REMOVABLE CABINET FRONT. SEE 1 I 1A/A30C.
41. DISHWASHER WITH ACCESSIBLE CONTROLS. SEE 10A/A30C.
42. CLOTHES WASHER AND DRYER WITH ACCESSIBLE CONTROLS. SEE 13A/A30C.
43. ACCESSIBLE TURNING SPACE. SEE 14A/A30C.
44. ACCESSIBLE CLOTHES ROD AND SHELF. SEE 10 I 18A/A30C.
45. ACCESSIBLE DOOR FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 1 I 5A I 19A/A30C.
46. ACCESSIBLE PATIO DOOR. FOR CLEARANCE AND THRESHOLD REQUIREMENTS SEE 11A/A30C.
47. LINEN CABINET.
48. LAVATORY IN VANITY WITH REMOVABLE CABINET FRONT. SEE 4 I 4A/A30C.
49. ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE 1, 2, 3, 4A I 1A/A30C.
50. ACCESSIBLE BATHTUB. SEE 1 I 1A/A30C.
51. RETAINING WALL WITH CULTURED STONE VENEER AND 42" HIGH GUARD RAIL ON TOP.
52. SEE CIVIL PLANS FOR LENGTH AND GRADIENT AROUND IT.
53. SEE STRUCTURAL PLANS FOR BEAM OR TRUSS GIRDER ABOVE. WRAP WITH GYPSUM BOARD WHERE IT PROJECTS BELOW CEILING.
54. FULLY VERIFY EXTENTS W/ OWNER/G.C.
55. 2X FURRING WALL FOR PLUMBING.

GENERAL NOTES:

- A) VERIFY ADDITIONAL FINISH REQUIREMENTS w/ PLANS BY INTERIOR DESIGNER I F.F.I.E. SUPPLIER
- B) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL. PREFERRED LOCATION IS UNDER KITCHEN SINK.
- C) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- D) PROVIDE TEMPERED/SAFETY GLASS w/ ALL GLAZED OPENINGS WITHIN 24" OF DOOR JAMB AND OTHER LOCATIONS AS REQUIRED BY CODE.
- E) ALL DOOR HARDWARE AND PLUMBING CONTROLS TO BE LEVER TYPE.
- F) VERIFY REQUIREMENTS OF ALL SPECIALTY EQUIPMENT w/ OWNER.
- G) ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF OR BELOW CLOTHES DRYERS.
- H) G.C. TO PROVIDE IDENTIFICATION ON ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE PARTITIONS AND SMOKE BARRIERS IN ACCESSIBLE CONCEALED SPACES. MIN. 3" LETTERING AND 3/8" STROKE IN CONTRASTING COLOR. 15" FROM THE END OF WALL AND NO MORE THAN 30" HORIZONTALLY.
- I) REFER TO MECHANICAL & ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- J) PROVIDE TENANT DECK / PATIO LIGHTING. SEE ELECTRICAL PLANS BY OTHERS.
- K) ALL STRUCTURAL STEEL SHALL BE FIRE PROTECTED WITH INTUMESCENT PAINT OR L PER PROVIDED DETAILS INDEPENDENT OF THE ASSEMBLY THEY ARE WITHIN.
- L) PROVIDE 4" STUD WALLS AT ELECTRICAL PANELS AND PLUMBING WALLS (WHERE REQUIRED).
- N) SEAL ALL MECHANICAL & ELECTRICAL PENETRATIONS OF WALL/CEILING/FLOOR CONSTRUCTION.
- O) GUTTERS AND DOWNSPOUTS SHOWN ON SITE I ROOF PLANS AND EXTERIOR ELEVATIONS.



UNIT	DESCRIPTION	LOWER	UPPER	TOTAL
UNIT "B"	3 BED (2 1/2 BATHS)	400 S.F.	200 S.F.	600 S.F.
UNIT "B.I"	3 BED (2 1/2 BATHS)	400 S.F.	200 S.F.	600 S.F.
UNIT "B.II"	3 BED (2 1/2 BATHS)	400 S.F.	200 S.F.	600 S.F.
UNIT "B.III"	3 BED (2 1/2 BATHS)	400 S.F.	200 S.F.	600 S.F.

SECOND FLOOR PLAN - BLDG. "B"
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

LABEL	QTY.	MANUFACTURER	MODEL NO.	DESCRIPTION	NOMINAL SIZE
A	-	THERMO-TECH	CPD0418	PATIO SLIDER	4'-0"x8'-8"
B	-	THERMO-TECH	CPD0418	PATIO SLIDER	4'-0"x8'-8"
C	-	THERMO-TECH	(2) TSH0406E	SINGLE HUNG	(2) 3'-4"x6'-0"
D	-	THERMO-TECH	TSL042E	HORIZ. SLIDER	5'-0"x3'-4"
E	-	THERMO-TECH	TSH3048	SINGLE HUNG	2'-4"x4'-0"
F	-	-	-	-	-
G	-	-	-	-	-

NOTE: ALL OPERABLE WINDOWS MORE THAN 4'-0" ABOVE GRADE TO MAINTAIN A SILL HEIGHT OF 34" MIN. ABOVE FINISHED FLOOR OR PROVIDE LIMITERS PER CODE. MAINTAIN 32" MIN. CLEAR AT PATIO SLIDERS IN UNIT "C".

DOOR SCHEDULE "O"

Door #	Door Location (Room Name)	Door Size	Door Material	Assembly Rating	Doors Type	Frame Type	Hdur. Group	Comments (note: rating of door frame and hardware to match door rating)
EXTERIOR DOORS								
A	UNIT MAIN ENTRY	3'-0"x6'-8"	INSUL. ST.	NONE	1	1	1	-
B	-	-	-	-	-	-	-	-
C	UNIT GARAGE OHD	14'-0"x8'-0"	INSUL. ST.	NONE	3	2	3	-

Door Letter	Door Location (Room Name)	Door Size	Door Material	Door Rating	Doors Type	Frame Type	Hdur. Group	Comments (note: rating of door frame and hardware to match door rating)
INTERIOR DOORS								
D	MECH. ROOM	3'-0"x6'-8"	INSUL. ST.	20 MIN.	2	1	4	-
E	MUD ROOM	2'-8"x6'-8"	INSUL. ST.	20 MIN.	2	1	5	-
F	KITCHEN	2'-8"x6'-8"	HCWD	NONE	4	4	4	-
G	BATH/POWDER	2'-4"x6'-8"	HCWD	NONE	4	3	1	-
H	CLOSET	2'-4"x6'-8"	HCWD	NONE	4	3	8	-
J	BEDROOM	2'-4"x6'-8"	HCWD	NONE	4	3	1	-
K	CLOSET	1'-4"x6'-8"	HCWD	NONE	4	3	8	-
L	CLOSET	(2) 2'-4"x6'-8"	HCWD	NONE	4	3	9	PAIR OF DOORS
M	CLOSET	3'-0"x6'-8"	HCWD	NONE	4	3	8	-
N	BEDROOM	3'-0"x6'-8"	HCWD	NONE	4	3	1	-
P	BATHROOM	3'-0"x6'-8"	HCWD	NONE	4	3	1	-

DOOR TYPES:

1	INSULATED STEEL, PRE-FINISHED, FLUSH PANEL, HALF LITE (SAFETY GLAZING).	ALUM. ST.	ALUMINUM STORE FRONT
2 <td>INSULATED STEEL, PRE-FINISHED, FLUSH PANEL.</td> <td>INSUL. ST.</td> <td>INSULATED STEEL</td>	INSULATED STEEL, PRE-FINISHED, FLUSH PANEL.	INSUL. ST.	INSULATED STEEL
3 <td>INSULATED STEEL, PRE-FINISHED, RAISED PANEL O.H.D. w/ STEEL BACKER AND GLAZING.</td> <td>HCWD</td> <td>HOLLOW CORE WOOD DOOR</td>	INSULATED STEEL, PRE-FINISHED, RAISED PANEL O.H.D. w/ STEEL BACKER AND GLAZING.	HCWD	HOLLOW CORE WOOD DOOR
4 <td>1 3/8" WOOD, PRE-FINISHED, FLUSH PANEL.</td> <td>SCWD</td> <td>SOLID CORE WOOD DOOR</td>	1 3/8" WOOD, PRE-FINISHED, FLUSH PANEL.	SCWD	SOLID CORE WOOD DOOR
5 <td>-</td> <td>-</td> <td>-</td>	-	-	-

FRAME TYPES:

1	WOOD FRAME, PRE-FINISHED.
2	NO FRAME AT THIS DOOR.
3	WOOD FRAME, PRE-FINISHED TO MATCH DOOR.
4	POCKET DOOR FRAME.
5	-

HARDWARE GROUPS:

SCHLAGE OR EQUAL "AL" SERIES AT INTERIOR DOORS. "D" SERIES AT EXTERIOR DOORS. PROVIDE APPROVED LEVER HANDLES AT ALL DOORS AND BUMPERS WHERE REQUIRED. DOOR HARDWARE TO MATCH LABEL OF DOOR AND BE INSTALLED PER NFPA #80.

1	ENTRY HARDWARE, 1 1/2 PAIR HINGES, LOCKING LATCH, DEAD BOLT, ACCESSIBLE THRESHOLD, WEATHER STRIP.
2	ENTRY HARDWARE, 1 1/2 PAIR HINGES, LOCKING LATCH, THRESHOLD, WEATHER STRIP.
3	OVER HEAD DOOR HARDWARE, PROVIDE AUTOMATIC OPENER.
4	ENTRY HARDWARE, 1 1/2 PAIR HINGES, NON-LOCKING LATCH, THRESHOLD, WEATHER STRIP.
5	ENTRY HARDWARE, 1 1/2 PAIR SPRING LOADED HINGES, LOCKING LATCH, ACCESSIBLE THRESHOLD, WEATHER STRIP.
6	POCKET DOOR HARDWARE.
7	PRIVACY HARDWARE, 1 PAIR HINGES, PUSH BUTTON LOCKING LATCH.
8	PASSAGE HARDWARE, 1 PAIR HINGES, NON-LOCKING LATCH.
9	PASSAGE HARDWARE, 2 PAIR HINGES, 2 DUMMY LATCHES, 2 ROLLER CATCHES.
10	-

ABBREVIATIONS:

ALUM. ST.	ALUMINUM STORE FRONT
INSUL. ST.	INSULATED STEEL
HCWD	HOLLOW CORE WOOD DOOR
SCWD	SOLID CORE WOOD DOOR

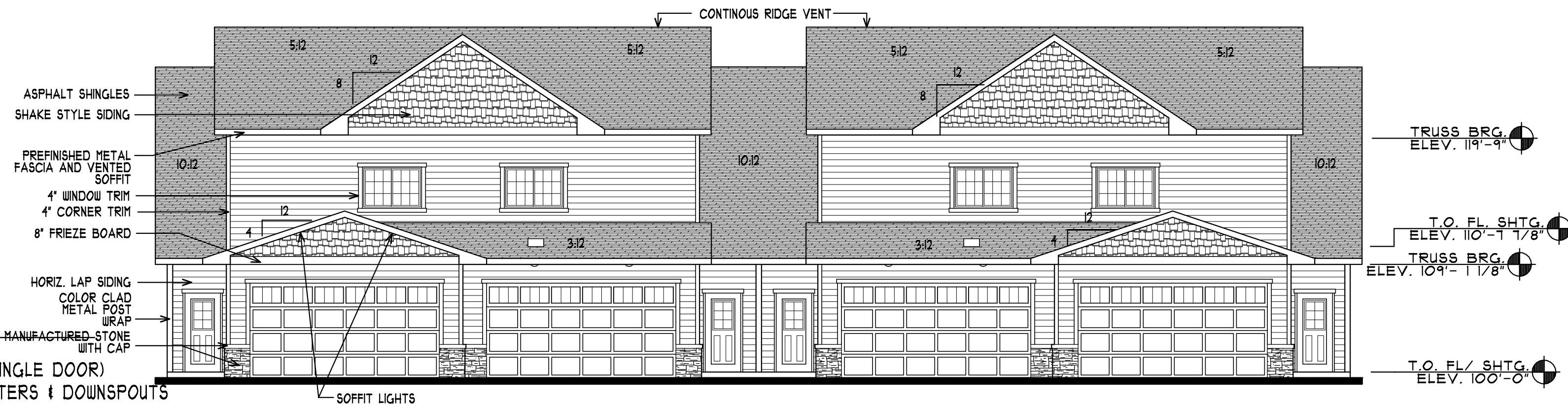
NOTE: VERIFY LOCATION OF ALL KEY FOB/CARD READERS WITH OWNER AND/OR MANAGEMENT.

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DEVELOPER: K.B. KELLER/BAARTMAN REAL ESTATE
 4 UNIT TOWNHOME FOR: VILLAS OF RIVERS RIDGE
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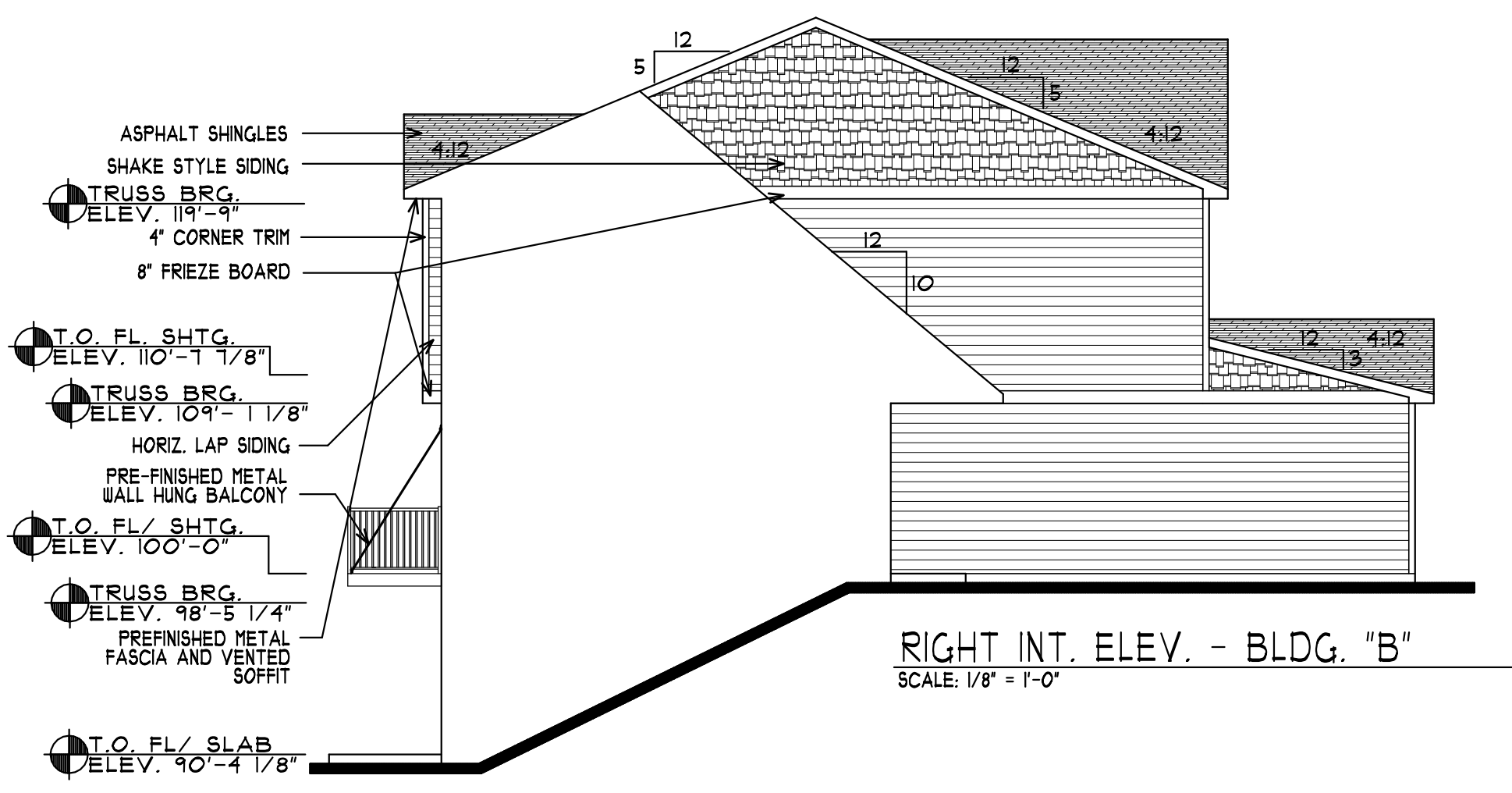
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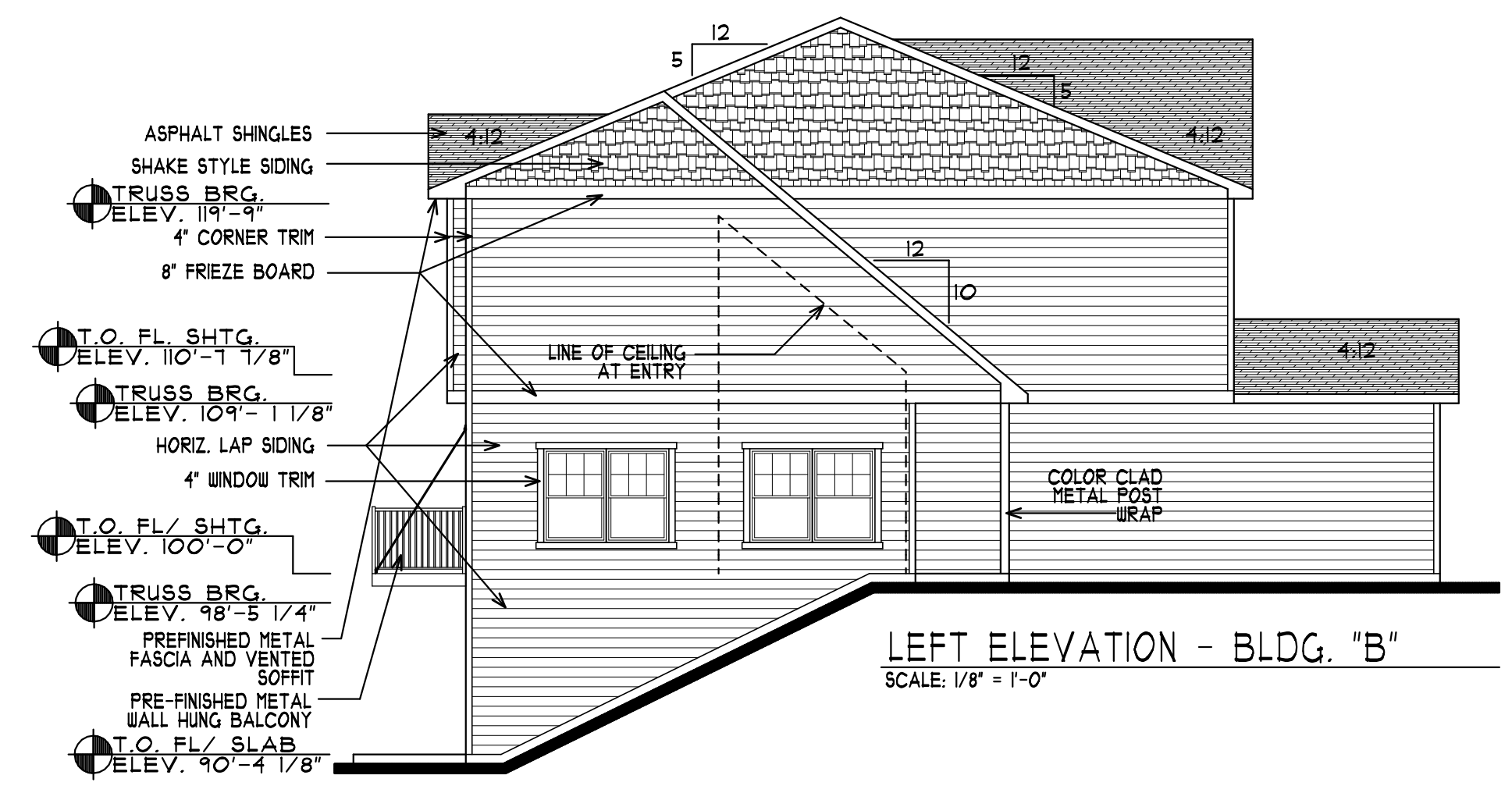


FRONT ELEVATION - BLDG. "B"
SCALE: 1/8" = 1'-0"

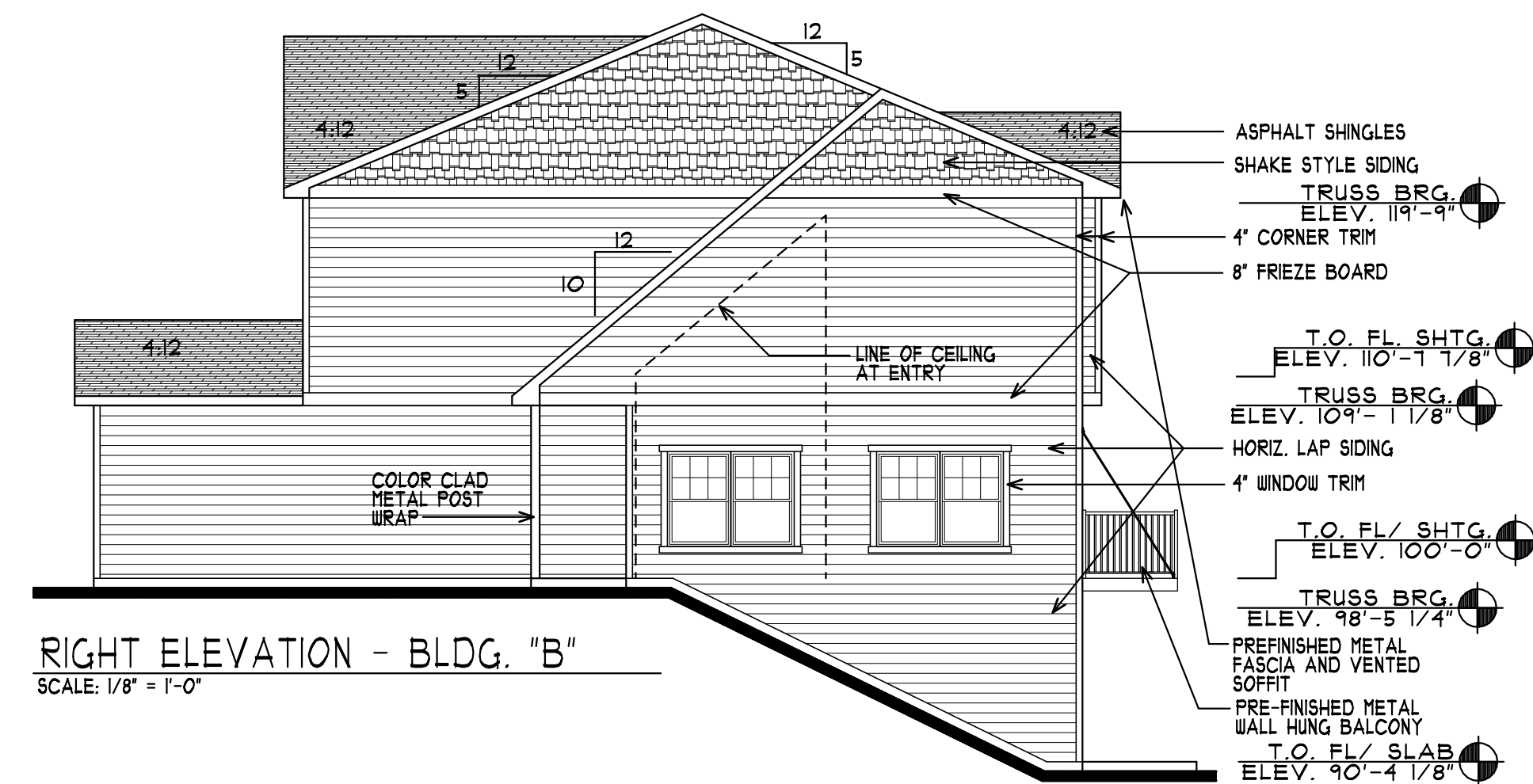
- GENERAL NOTES:**
- A) ALL OVERHEAD GARAGE DOORS TO HAVE SOFFIT LIGHTS (2 LTS. DOUBLE & 1 LT. SINGLE DOOR)
 - B) ALL LOWER ROOFS TO HAVE PRE-FIN. GUTTERS & DOWNSPOUTS
 - C) ALL PATIO DOORS TO HAVE EXTERIOR WALL LIGHTS



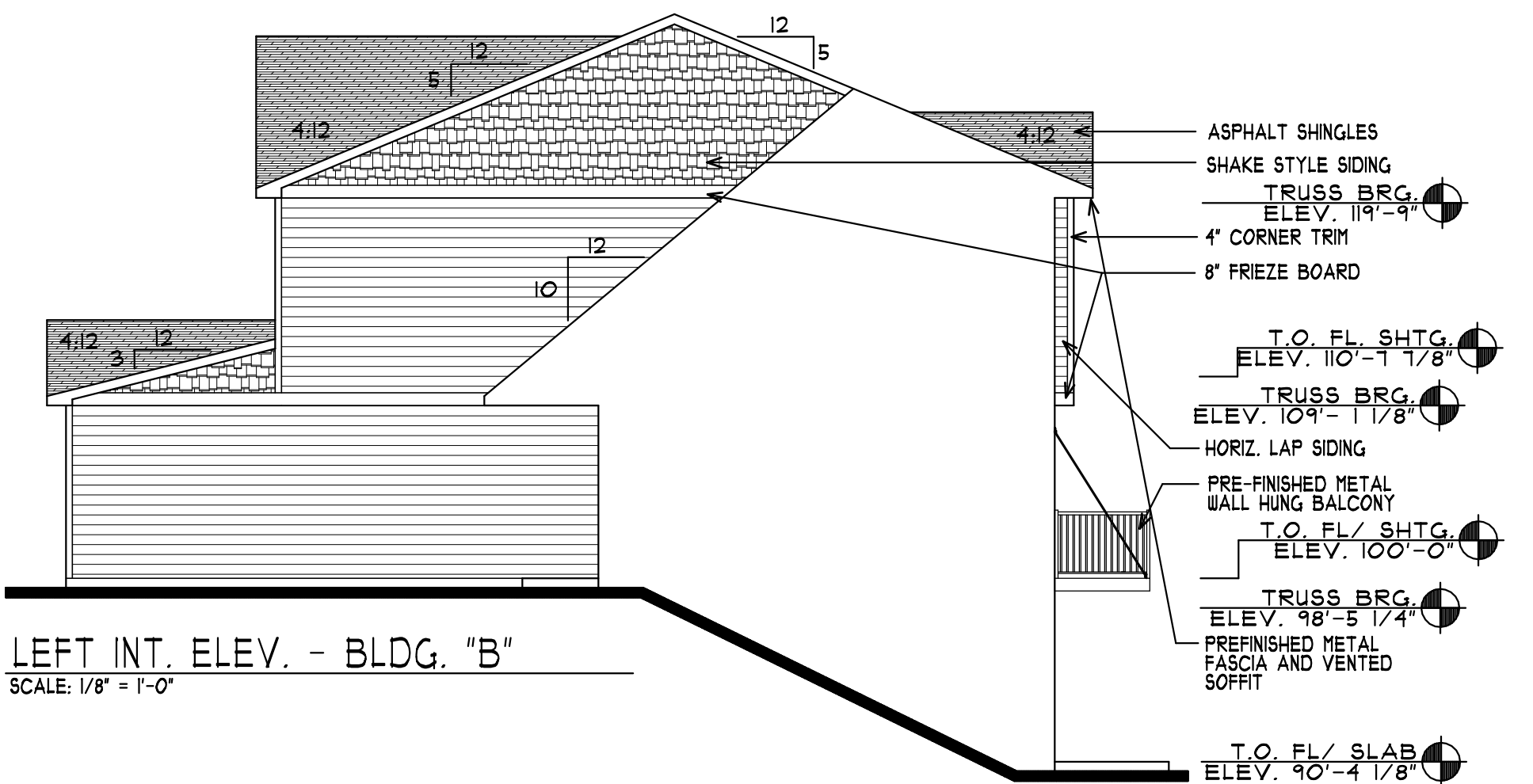
RIGHT INT. ELEV. - BLDG. "B"
SCALE: 1/8" = 1'-0"



LEFT ELEVATION - BLDG. "B"
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION - BLDG. "B"
SCALE: 1/8" = 1'-0"



LEFT INT. ELEV. - BLDG. "B"
SCALE: 1/8" = 1'-0"



REAR ELEVATION - BLDG. "B"
SCALE: 1/8" = 1'-0"

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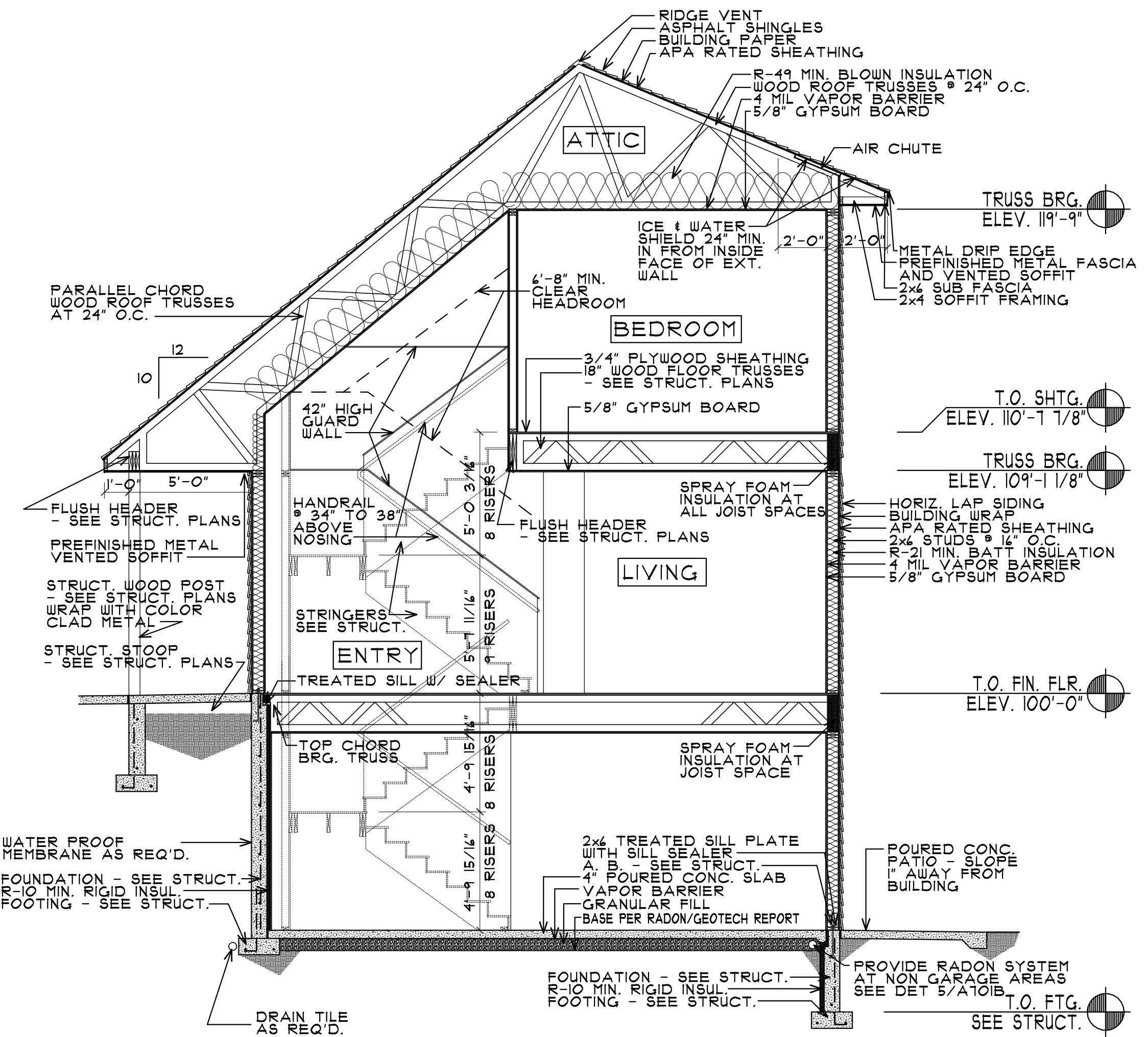
DEVELOPER: **KB KELLER/BAARTMAN** PROPERTIES
 4 UNIT TOWNHOME FOR: **VILLAS OF RIVERS RIDGE**
 RED WING, MN
 (651) 388-0000

REVISIONS COMMENTS
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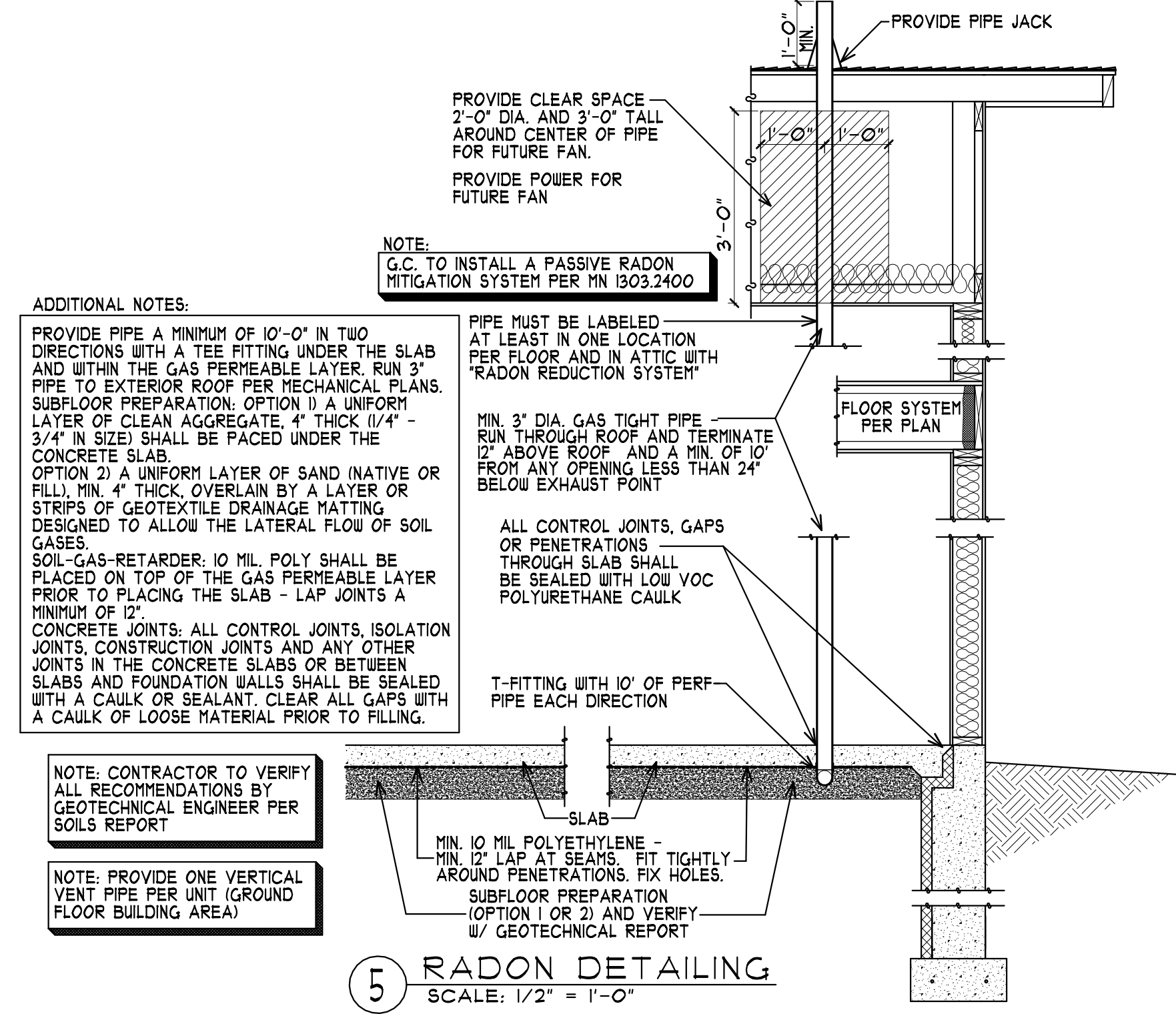
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6 ENTRY SECTION
 SCALE: 1/4" = 1'-0"



5 RADON DETAILING
 SCALE: 1/2" = 1'-0"

NOTE:
 G.C. TO INSTALL A PASSIVE RADON MITIGATION SYSTEM PER MN 1303.2400

ADDITIONAL NOTES:
 PROVIDE PIPE A MINIMUM OF 10'-0" IN TWO DIRECTIONS WITH A TEE FITTING UNDER THE SLAB AND WITHIN THE GAS PERMEABLE LAYER. RUN 3" PIPE TO EXTERIOR ROOF PER MECHANICAL PLANS. SUBFLOOR PREPARATION: OPTION 1) A UNIFORM LAYER OF CLEAN AGGREGATE, 4" THICK 1/4" - 3/4" IN SIZE SHALL BE FACED UNDER THE CONCRETE SLAB. OPTION 2) A UNIFORM LAYER OF SAND (INACTIVE OR FILL), MIN. 4" THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES. SOIL-GAS-RETARDER, 10 MIL. POLY SHALL BE PLACED ON TOP OF THE GAS PERMEABLE LAYER PRIOR TO PLACING THE SLAB - LAP JOINTS A MINIMUM OF 2'. CONCRETE JOINTS: ALL CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS AND ANY OTHER JOINTS IN THE CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT, CLEAR ALL GAPS WITH A CAULK OF LOOSE MATERIAL PRIOR TO FILLING.

PIPE MUST BE LABELED AT LEAST IN ONE LOCATION PER FLOOR AND IN ATTIC WITH 'RADON REDUCTION SYSTEM'

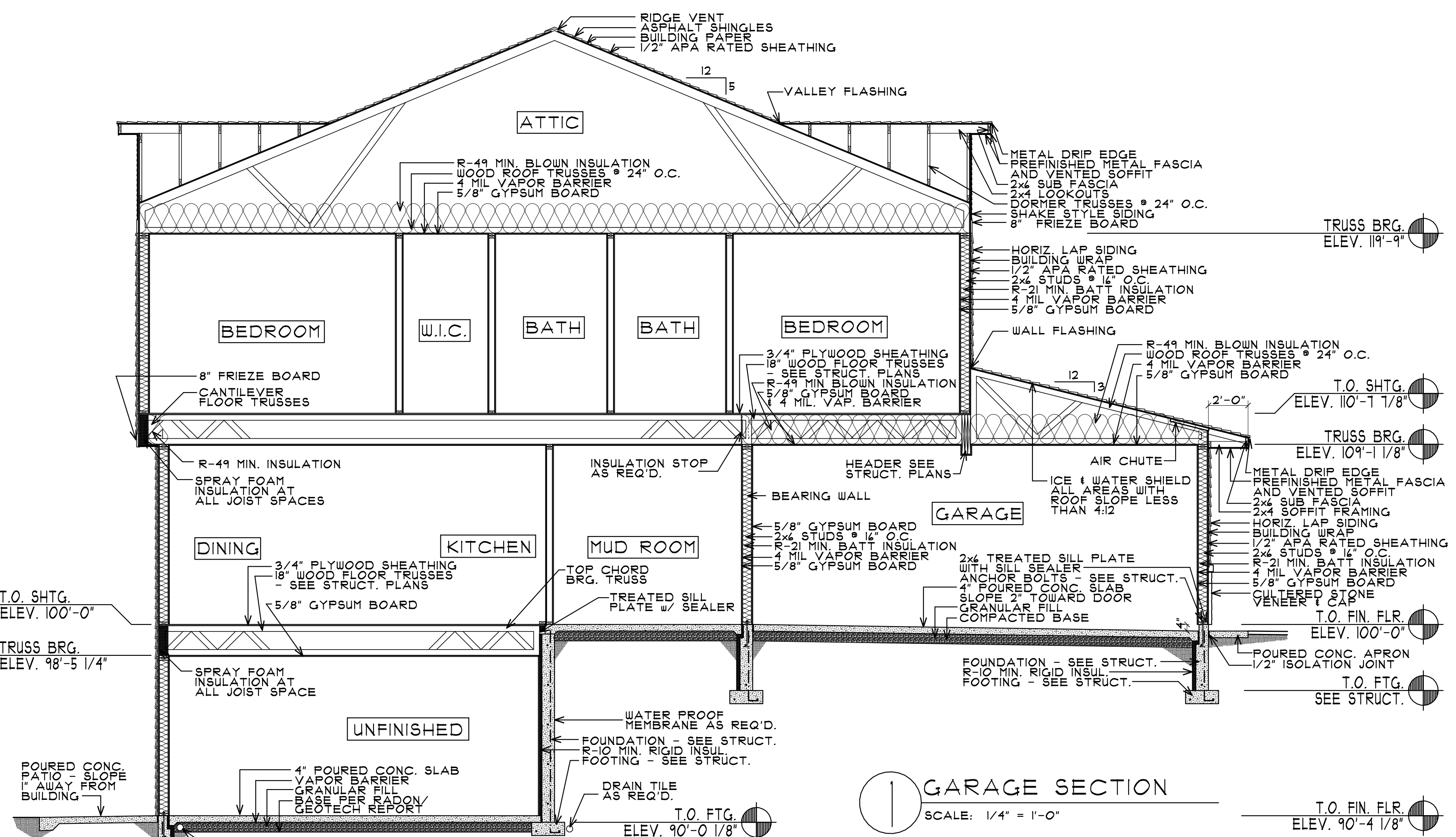
MIN. 3" DIA. GAS TIGHT PIPE RUN THROUGH ROOF AND TERMINATE 12" ABOVE ROOF AND A MIN. OF 10" FROM ANY OPENING LESS THAN 24" BELOW EXHAUST POINT

ALL CONTROL JOINTS, GAPS OR PENETRATIONS THROUGH SLAB SHALL BE SEALED WITH LOW VOC POLYURETHANE CAULK

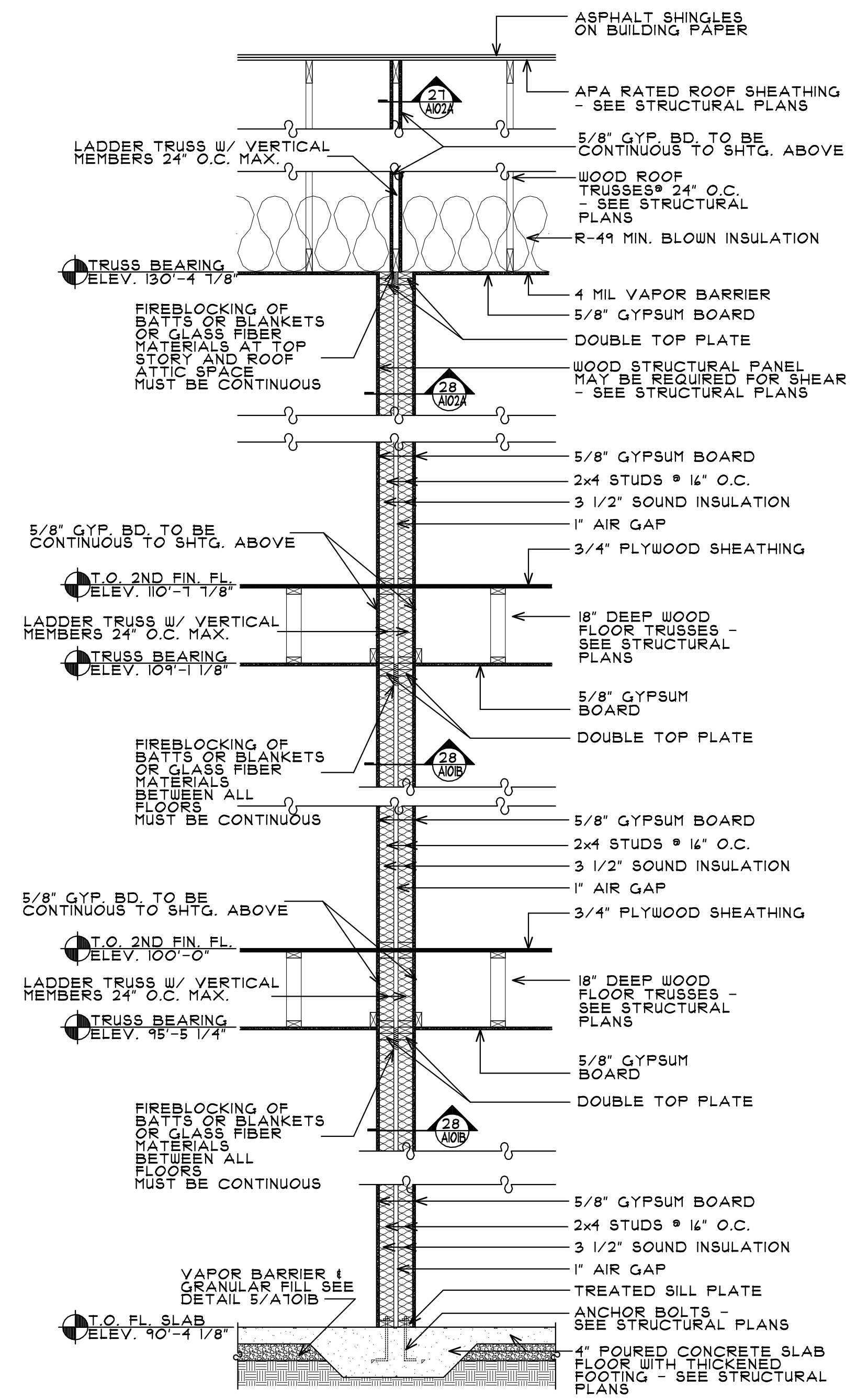
T-FITTING WITH 10" OF PERF. PIPE EACH DIRECTION

NOTE: CONTRACTOR TO VERIFY ALL RECOMMENDATIONS BY GEOTECHNICAL ENGINEER PER SOILS REPORT

NOTE: PROVIDE ONE VERTICAL VENT PIPE PER UNIT (GROUND FLOOR BUILDING AREA)



1 GARAGE SECTION
 SCALE: 1/4" = 1'-0"



2 COMMON WALL SECTION
 SCALE: 1/2" = 1'-0"